

Agenda
City of Springboro Planning Commission Meeting
Wednesday, February 11, 2026, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. January 21, 2026 Planning Commission Meeting
- III. Welcome New Planning Commission Member—Matt Schnipke
- IV. Agenda Items
 - A. Final Approval, Final Development Plan, Northampton Phase 3 PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), residential subdivision
 - B. Preliminary Review, Rezoning, South Richards Run Road from East Central Avenue (SR 73) to Duvall Drive, PUD-O, Planned Unit Development-Office, to PUD-M, Planned Unit Development-Manufacturing, and R-1, Estate-Type Residential District, to PUD-M
 - C. Preliminary Review, General Plan, South Richards Run Road from East Central Avenue (SR 73) to Duvall Drive, PUD-O, Planned Unit Development-Office, to PUD-M, Planned Unit Development-Manufacturing, and R-1, Estate-Type Residential District, to PUD-M
 - D. Preliminary Review, Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development
 - E. Preliminary Review, General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development
- V. Guest Comments
- VI. Planning Commission and Staff Comments
- VII. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, February 11, 2026, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Final Development Plan, Northampton Phase 3 PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), residential subdivision

Background Information

This agenda item is an application filed by M/I Homes of Cincinnati, owner and developer, requesting approval of the final development plan for the Northampton 3 PUD-R, Planned Unit Development-Residential, located at 1405 South Main Street (SR 741). The Northampton 3 subdivision was rezoned to PUD-R by City Council in September 2025 following review and approval by Planning Commission earlier in the year. The subdivision includes 34 single-family lots and open space. The subdivision ties into the developing Northampton 1-2 subdivision to the south by way of the primary entrance drive, Highlands Street, and a secondary access point to Perthside Drive. This item was discussed at the January 21 Planning Commission meeting; at that time, the Planning Commission authorized this item to be placed on the February 11 Planning Commission meeting agenda for formal approval.

As described in the Background Information for the January 21 Planning Commission meeting, the final development plan is similar to the general plan reviewed by Planning Commission in 2025, however changes requested by City Council were made including the addition of screening along South Main Street, that ODOT-approved safety rails be added along the walk-bike path adjacent to the retention pond, that any ponds be consistent in design with similar subdivisions within the City, and not like those installed in Northampton 1-2, and that all conditions of approval of the general plan/rezoning be incorporated. Exhibit 1, enclosed in the meeting materials, includes all conditions referenced above.

Since the January Planning Commission, City staff has been working with the applicant to address comments from Planning Commission, City staff, and the public; all changes to the submittal are focused on compliance with Chapter 1279, Landscaping, as shown on sheets 8, and 10-11 of the submittal, and are as follows:

1. City staff agrees with the credit for existing trees to remain on the site to 202 tree equivalents as shown on sheet 8 of 11. 32 of those trees will count against the north property buffer requirement of 44 trees, carrying over a credit of 170 trees to be applied elsewhere in the landscaping requirements.
2. The west buffer, and South Main Street frontage meet or exceed the minimum requirement and/or City Council approval; no changes.
3. The south buffer requirement of 47 trees is internal to Northampton 1-2, the applicant has proposed that due to topographical limitations in the area, that 10 trees be proposed adjacent to lot 22 and the subdivision entrance, and the remaining 37 be planted on the north side of the property.
4. The number of trees along the interior road system has been increased to meet the landscaping requirement: 94 shade trees and 37 ornamentals.

5. The site landscaping requirement of 181 trees has been met and exceeded with the 44 trees proposed in the 15-foot landscaping buffer plus the carryover of 170 trees in #1 above.
6. The developer will provide a minimum of one tree per parcel on lots, two per parcel for corner lots, plus one ornamental tree.
7. Staff also recommends that all new trees proposed on the northern buffer be a 50/50 mix of shade and evergreen trees. The City arborist will be consulted to verify plant selection. Also, trees proposed throughout the development will be grouped as practicable.

Staff Recommendation

City staff recommends approval of the final development plan subject to the following comments:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).
2. Incorporate all comments from September 2025 City Council approval of rezoning/general plan.
3. Regarding the landscaping plan, applicant to comply with items 6 and 7 in the Background Information narrative above.
4. All multiuse trails to be built to current AASHTO standard. Proposal for internal paths under review by non-motorized transportation consultant.
5. Detention pond grading to remain outside of proposed right of way line along the internal roadway and along SR 741. Add retaining walls if necessary.
6. Retaining walls to be maintained by the HOA. Add appropriate easements.
7. Verify street names.
8. Verify lot square footage on lots 25 through 34. Revise accordingly.
9. Cluster Mailbox Units to be reviewed and approved by the postmaster.

B. Preliminary Review

Rezoning, South Richards Run Road from East Central Avenue (SR 73) to Duvall Drive, PUD-O, Planned Unit Development-Office, to PUD-M, Planned Unit Development-Manufacturing, and R-1, Estate-Type Residential District, to PUD-M

C. Preliminary Review

General Plan, South Richards Run Road from East Central Avenue (SR 73) to Duvall Drive, PUD-O, Planned Unit Development-Office, to PUD-M, Planned Unit Development-Manufacturing, and R-1, Estate-Type Residential District, to PUD-M

Background Information

This agenda item is an application filed by LJB, Inc. on behalf of High Concrete Group, LLC, property owner, requesting the rezoning of 9.4686 acres of land on South Richards Run Road from East Central Avenue (SR 73) to Duvall Drive to PUD-M, Planned Unit Development-Manufacturing. A similar proposal—rezoning the entire High Concrete operation to M-2, Heavy Manufacturing District—was reviewed at the December 17 Planning Commission meeting and was scheduled for a Public Hearing of City Council on February 5. That application has been withdrawn in favor of the current application. The proposal includes the rezoning of the following sub-parcels; descriptions correspond to sheet C300 in the application included in the meeting materials:

- The rezoning of an undeveloped 1.486-acre site, labeled rezone parcel A, from R-1, Estate-Type Residential District, to PUD-M. This site was the location of a home prior to the construction of South Richards Run Road.
- The rezoning of 7.751 acres of land, labeled rezone parcels C-D, from PUD-O, Planned Unit Development-Office, to PUD-M. This site is mostly undeveloped but includes a High Concrete vehicle storage area at the northwest corner of Duvall Drive and South Richards Run Road.
- A 0.2316-acre parcel, owned by the City of Springboro, located to the west of Parcel D, from PUD-O to PUD-M. This residual acreage was left out of the acquisition of property by High Concrete's predecessor corporation from the City.

The change in zoning was made to address concerns that were raised in the lead up to the scheduled February 5 Public Hearing. The PUD process provides the City for expanded scrutiny over the development of the site through the review of a general plan. Rezoning to M-2 District would have required the applicant to submit plans through the site plan review process after rezoning, however those plans would only address the minimum requirements provided in the code for aspects of the site's development including building design, screening and landscaping, and more. The general plan process would allow for those aspects of the plan to be reviewed now and enforced through a final development plan, the second stage of the PUD review process. The PUD process also provides the applicant with a clearer path forward for the site's design with feedback from Planning Commission, City Council, City staff, and neighboring property owners during rezoning.

The remainder of the High Concrete operation would retain its existing M-1, Light Manufacturing District, and M-2 District zoning.

As indicated in the application, High Concrete proposes to construct a batch plant on the northwest corner of South Richards Run Road and Duvall Drive. While the plans suggest an open operation, the applicants have indicated the conveyors and silos will all be located inside a single building. The new batch plant will allow for the existing batch operation in the current plant to be reused for expanded forming and curing, increasing the overall plant capacity. To the north, trailer parking is proposed behind a landscape mound along South Richards Run Road.

The applicants propose to use the M-2 District's permitted uses as a basis for proposed PUD-M.

Adjacent land uses include the remainder of the High Concrete operation to the west which dates to 1969, to the north on the north side of East Central Avenue the common space, entrance, and south-most homes in the Richards Run subdivision; to the east on the east side of South Richards Run Road the South Richards Run Business Park (Irongate Realty, Imagination Station daycare, offices, Empowered Community Service), and undeveloped City-owned land; and to the south the City of Springboro Public Service Garage, and the Mound Steel operation to the southwest. Adjacent zoning includes M-2 District to the west and southwest, PUD corresponding to the Richards Run subdivision, PUD-MU, Planned Unit Development-Mixed Use, corresponding to the South Richards Run Business Park, PUD-O, Planned Unit Development-Office, corresponding to the City-owned land to the southeast and a portion of the City service operation to the south, and M-1 District to the south corresponding to the remainder of the City service operation.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other characteristics. Policy Area 14, South Richards Run Corridor, includes the subject property and others in the vicinity. The master plan

recommends, among other actions, infill development around the existing High Concrete operation, the use of South Richards Run Road as a bypass to South Main Street to reduce traffic congestion and heavy truck traffic there, and the development of other areas as office. The plan also encourages landscaping and design standards that coordinate building and lot design, with other portions of the policy area developing with non-industrial operations.

Staff Comments

City staff has no comments at this time; additional comments will be forwarded to members of Planning Commission prior to the February 11 meeting.

- D. Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development**

- E. Preliminary Review**
General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

Background Information

This agenda item is an application filed by Taft Stettinius & Hollister, LLP, requesting rezoning and general plan approval to allow the development of a mixed-use development southeast of the corner of West Central Avenue (SR 73) and Clearcreek-Franklin Road. The development, envisioned as The Lawn, would be located on 35.60 acres of land that was farmed as recently as this summer. Development would be accomplished through rezoning the property from O, Office District, to PUD-MU, Planned Unit Development-Mixed Use.

A similar application for the development of this property through the PUD approval process was reviewed as recently as the November 12, 2025 Planning Commission meeting. Following approval of the rezoning request and denial of the general plan request, the applicant withdrew the application immediately prior to the setting of the public hearing by City Council. As such this application is being considered beginning from the start of the PUD review process under preliminary review. The applicant has provided a summary of changes to the previous submittal in their application. The remainder of the background information is the same as from November 2025. Staff Comments have been updated.

The current O District zoning allows medical and general office development, nursing homes, medical clinics, veterinary hospitals, banks, personal service establishments, among other primary permitted uses, accessory buildings, off-street parking, and other accessory uses normally associated with the uses listed above.

The applicants are proposing the development of the property with two components within the PUD: a retail component and a multifamily residential component. The retail component includes an area on the easternmost side of the property adjoining The Enclave assisted living/memory care facility (355 West Central Avenue) and another retail component on the northwest corner of the property abutting the West Central Avenue/Clearcreek-Franklin Road intersection and Tractor Supply. The second component includes multi-family and townhome development; a total of 327 residential units are proposed, occupying the lands along the east side of Twin Creek, a stream that bisects the property and drains the western part of Springboro. The proposed residential development density is 20.77 dwelling units per acre for the residential component, although this number would be reduced considering the open space requirement of the residential component.

The applicant proposes multiple access points to the PUD-MU: one from the intersection of West Central Avenue and Springwood Drive, making it a four-way signalized intersection, an interconnecting right-in/right-out drive from The Enclave (which was originally part of the property through the early 2010s) and two more access points to the west of Twin Creek including one from the signal to Tractor Supply. A total of 4.66 acres of open space, or 29.6% of the proposed PUD's residential component; is proposed. Residential PUDs require a minimum of 25% open space. The O District has no open space requirement. The retail component of the PUD also has no open space requirement.

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, common areas, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of property, the dedication of right-of-way and the creation of dedicated open spaces. As with final development plans, record plans may be submitted in sections as the development is completed.

Adjacent land uses include to the north a large lot undeveloped and unused property to the north on the north side of West Central Avenue, commonly known as the Eastbrook Farm, Chase Bank (15 Springwood Drive), and the Premier Health office building (360 West Central Avenue); to the east, The Enclave; to the south the City of Springboro's Community Park and Victory Wholesale; and to the west Tractor Supply Company and a regional detention pond.

Adjacent zoning in the vicinity is to the north O District for the Eastbrook Farm and PUD on the site of Chase Bank and the Premier Health office building; PUD-Business to the east on the site of The Enclave; to the south R-2, Low-Density Residential District on the Community Park site, and ED, Employment Center District on the Victory Wholesale site (400 Victory Drive); and HBD, Highway Business District, to the west on the site of Tractor Supply Company (505 West Central Avenue).

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other characteristics. Policy Area 7, City Services Center, includes the subject property and lands fronting West Central Avenue from the City Building west to Clearcreek-Franklin Road. The policy area recommends mixed use development for the subject property, the employment of higher design standards, good internal connectivity for the site, and management of access to West Central Avenue. Retail uses that serve the immediate area are encouraged, and residential uses included in the mixed-use pattern is also encouraged.

Staff Comments

City staff has the following comments:

1. Identify existing vegetation to remain on the site post-development, if not specific numbers, general vicinity and acreage.
2. Improvements to the public right of way to be constructed per the recommendations of the traffic impact study.
3. Parking requirements to meet City code.

4. Continue to work with City staff on calculations used to derive density.
5. Increase minimum floor area for apartments to 720 square feet per Section 1262.09, Minimum Floor Area Per Dwelling Unit.
6. Utility and roadway improvements (private and public) shall meet City of Springboro specifications, including storm water management plan.
7. Create a property owners association (POA) for the development. POA to be completed prior to initial building permit being released. Association shall maintain common elements such as trails, lighting, storm water facilities, private roads, open space, etc.
8. Provide public access easements (ingress/egress) for all private roads throughout the site. Public roads to be built to City specifications.
9. SR 73 existing right-of-way to be dedicated, with a width of not less than 60 feet, along with 15 feet utility easement. Improvements shall include all traffic impact analysis recommendations as well as curb and gutter, sidewalk, bike lane, and storm sewers along SR 73.
10. Any development occurring in the floodplain/floodway, shall require the appropriate permitting through the City, FEMA, and any other federal requirements.
11. Incorporate recommendations of 2020 Bicycle and Pedestrian Plan and results of forthcoming Community Park to North Park shared use path feasibility study.

The following comments are regarding the proposed design manual beginning on page 16 of the booklet:

12. Page 24, Building materials, add vinyl to description of prohibited building material.
13. Page 25, Building color, see Section 1262.04(g)(3), Color, for code limitations.

The information contained in this report is based on material provided to the City of Springboro as of Thursday, February 5, 2026 at 5:00 p.m.



M/I Homes Final Development Plan

Northampton Ph 3 1405 S Main St Final Review

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN FINAL DEVELOPMENT PLAN RECORD PLAN VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** M/I Homes of Cincinnati, LLC
 Agent
 Lessee **Address:** 9349 Waterstone Boulevard Suite 100
 Signed Purchase
Contract Cincinnati, OH 95249

Telephone No. (513) 551-3954

Fax No. () N/A

Email Address jlanham@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Same as above

Address: _____

Telephone No. () _____

Property Address or General Location: 1405 SR741 Springboro, OH 45066

Parcel Number(s): 08-18-200-017-0 Acreage: 16.65

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: _____

For Residential Proposed Density 2.04 Number of Residential Units 34

Proposed Use: Seeking approval of the final development plan for Northampton Ph. 3

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

12-4-2025

(Date)

Justin Lanham

Printed Name

Exhibit 1, Northhampton subdivision Conditions of Approval.

At its meeting on May 14, 2025 the Springboro Planning Commission approved recommendations to City Council to approve the rezoning and general plan for the proposed Northhampton subdivision Phase 3 located at 1405 South Main Street (SR 741) subject to the following comments:

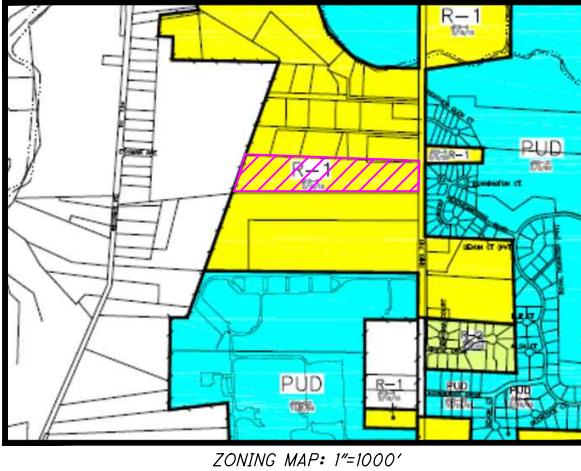
1. Home plans to comply with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code.
2. No vinyl siding to be used within the subdivision except as trim material.
3. All homes with exposed foundations to be bricked to within 30 inches of grade. For such homes/areas, provide plans.
4. For general plan preliminary review, identify all existing vegetation 4 inches DBH or greater on the site, then indicate those to be preserved.
5. Following preliminary review of general plan, submit a landscaping plan incorporating comments #3-4 above, and other required landscaped areas.
6. Development signage subject to review by Zoning Inspector.
7. Allow for public use of dedicated open space (paths, trails specifically) within the subdivision.
8. Following preliminary review of final development plan, submit an exterior lighting plan, if applicable, consistent with Chapter 1273 of Planning and Zoning Code.
9. Add note stating that all public improvements to be completed per the traffic study recommendations, including improvements along SR 741 and dedication of right of way.
10. Create an HOA for Phase 3.
11. Detention pond grading to remain outside of proposed right of way line. Adjust accordingly.
12. All public improvements to be completed per the traffic study recommendations, including improvements along SR 741 and dedication of right of way.

The following conditions of approval were added by City Council at their meeting on Thursday, September 4, 2025:

- (1) It includes the addition of the new screening along 741 on both the new Phase 3 section and the existing Phase 1 & 2 sections as agreed upon by the applicant and substantially as presented to staff;
- (2) It includes the ODOT approved safety rails along the path by the ponds substantially as presented to staff;
- (3) That any ponds in Phase 3 be consistent in design with similar subdivision ponds within the City and not like the existing Northhampton pond; and
- (4) That all the Conditions of Approval on Exhibit 1 of the Ordinance rezoning this property be included as part of the General Plan.



VICINITY MAP 1'=1000'



ZONING MAP: 1'=1000'

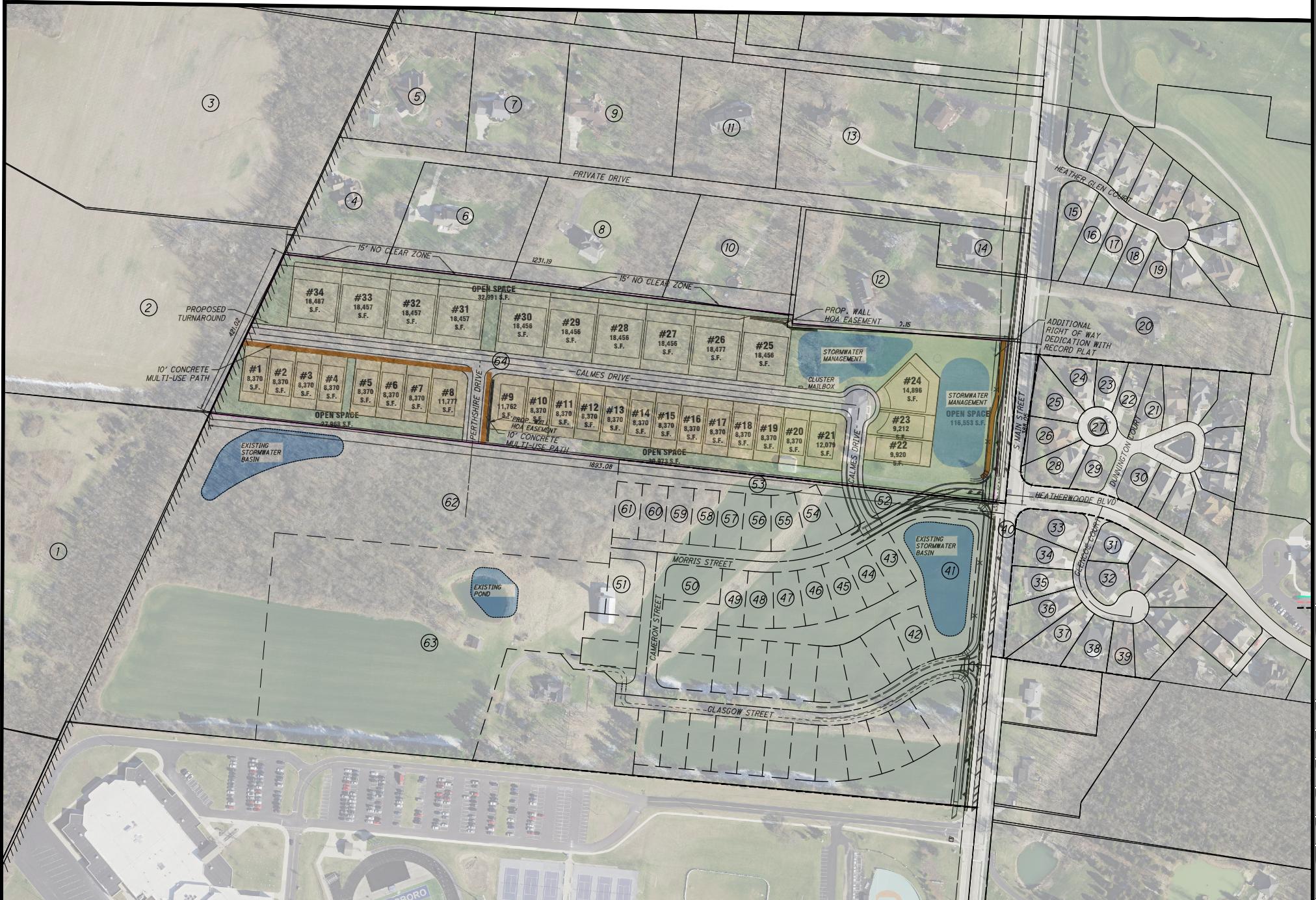
■	(R-1) ESTATE-TYPE RESIDENTIAL DISTRICT
■	(R-2) LOW DENSITY RESIDENTIAL DISTRICT (SINGLE FAMILY)
■	(R-3) MEDIUM DENSITY RESIDENTIAL DISTRICT (SINGLE & MULTI-FAMILY)
■	(HBD) HIGHWAY BUSINESS DISTRICT
■	(LBD) LOCAL BUSINESS DISTRICT
■	(CBD) CENTRAL BUSINESS DISTRICT
■	(UVD) URBAN VILLAGE DISTRICT
■	(M-1) LIGHT MANUFACTURING DISTRICT
■	(M-2) HEAVY MANUFACTURING DISTRICT
■	(ED) EMPLOYMENT CENTER DISTRICT
■	(PUD) PLANNED UNIT DEVELOPMENT DISTRICT
■	(PUD-MU) PLANNED UNIT DEVELOPMENT-MIXED USE
■	(PUD-O) PLANNED UNIT DEVELOPMENT-OFFICE
■	(PUD-B) PLANNED UNIT DEVELOPMENT-BUSINESS
■	(PUD-R) PLANNED UNIT DEVELOPMENT-RESIDENTIAL
■	(O-R) OFFICE-RESIDENTIAL DISTRICT
■	(O) OFFICE PARK DISTRICT
■	(ADD-1) AUSTIN DEVELOPMENT DISTRICT 1
■	(ADD-2) AUSTIN DEVELOPMENT DISTRICT 2

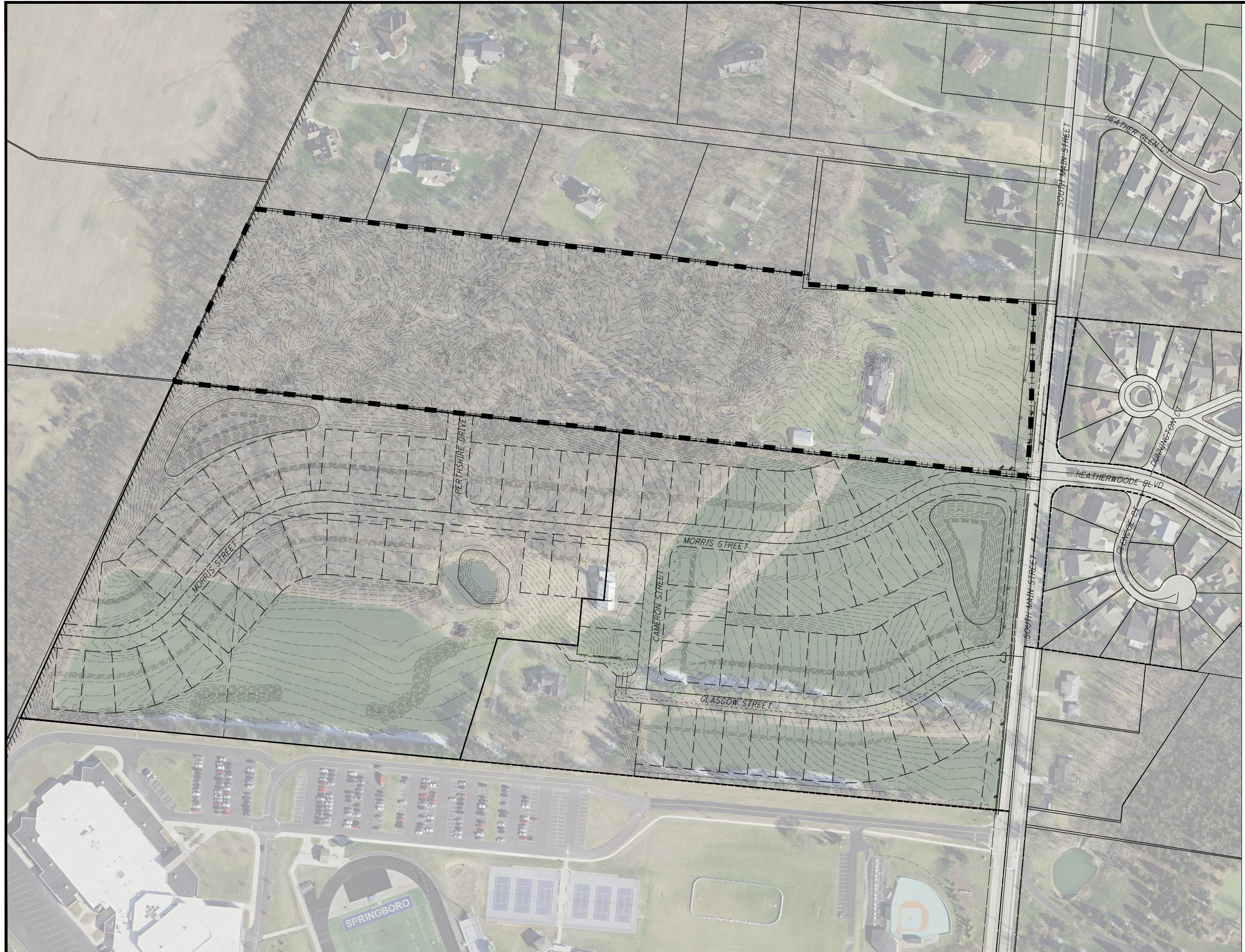
- ① KASH TERRY ARTHUR
6614 WEIDNER RD
SPRINGBORO OH 45066
- ② SAGE LAND DEVELOPMENT LLC
3601 RIGBY RD
STE 300
MIAMISBURG OH 45342
- ③ HENSING ROBERT J JR & KELLY M
3384 JENNINGS CHAPEL
WOODBINE, MD 21797
- ④ SMITH ROBERT S
1327 S MAIN ST
SPRINGBORO OH 45066
- ⑤ LAKE JASON J & LAUREN J
1321 S MAIN ST
SPRINGBORO OH 45066
- ⑥ BOCKELMAN JOSEPH &
DRIEHAUS BARBARA
1331 S MAIN ST
SPRINGBORO OH 45066
- ⑦ OMBRELLA TIMOTHY M & JENNA
1317 S MAIN ST
SPRINGBORO OH 45066
- ⑧ KESLING KIMBERLY A & BROWN
GILBERT L JR
1335 S MAIN ST
SPRINGBORO OH 45066
- ⑨ CURRY DAVID S
1313 S MAIN ST
SPRINGBORO OH 45066
- ⑩ BOND CHARISSA L & SETH M
1345 S MAIN ST
SPRINGBORO OH 45066
- ⑪ BRIAN BRAD
1309 S MAIN ST
SPRINGBORO, OH 45066
- ⑫ TUCKER ROY E & HARRIETT J TRUSTEES
1355 S MAIN ST
SPRINGBORO OH 45066
- ⑬ CRAFFREY JENNIFER & HENDERSON BROCK
1305 S MAIN ST
SPRINGBORO OH 45066
- ⑭ SMITH ERIK E
505 RENWOOD PL
SPRINGBORO, OH 45066
- ⑮ JOHNSON MICHELLE & ROBERT D
5 HEATHER GLEN CT
SPRINGBORO, OH 45066
- ⑯ ROBINSON LINDA S
15 HEATHER GLEN CT
SPRINGBORO OH 45066
- ⑰ COMBS TERESA K
25 HEATHER GLEN CT
SPRINGBORO OH 45066
- ⑱ SEAMAN EDWARD G & KAY S
35 HEATHER GLEN CT
SPRINGBORO, OH 45066
- ⑲ HUMANCHUK STEFANIE A
45 HEATHER GLEN CT
SPRINGBORO OH 45066
- ⑳ ARNDTS NATHAN & NATISHA
1360 S MAIN ST
SPRINGBORO OH 45066
- ㉑ BRANDABUR JUDITH A
44 DUNNINGTON CT
SPRINGBORO, OH 45066
- ㉒ BYRD CYNTHIA S
41 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉓ MEYER DAN W
35 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉔ BRUNNER E MELVIN & SUSAN
29 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉕ LAMM JULIA A & RICHARD D
23 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉖ CHRISTOPHER ANASTASIA
17 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉗ SIR EDWARDS GLEN OWNERS
ASSOCIATION
44 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉘ MCLAIN DOUGLAS & CHRISTINE
11 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉙ ANDERSON JANA S
5 N DUNNINGTON CT
SPRINGBORO OH 45066
- ㉚ GOLLIHUGH CURTIS R & LOIS J
4 DUNNINGTON CT
SPRINGBORO OH 45066
- ㉛ MUNTZ GARY W & MARY L
10 GLENCOE CT
SPRINGBORO OH 45066
- ㉜ BURCH KEVIN W
30 GLENCOE CT
SPRINGBORO OH 45066
- ㉝ BURNS PATRICK & PAMELA
5 GLENCOE CT
SPRINGBORO OH 45066
- ㉞ VALENTINO NICHOLAS V
15 GLENCOE CT
SPRINGBORO OH 45066
- ㉟ ASHBY HULAN C
25 GLENCOE CT
SPRINGBORO OH 45066
- ㉟ RUTLEDGE LARRY R JR
35 GLENCOE CT
SPRINGBORO OH 45066
- ㉟ HAGAMAN HENRY R & KAREN S
45 GLENCOE CT
SPRINGBORO OH 45066
- ㉟ MARTIN LORI A & DUDAS ELMER
55 GLENCOE CT
SPRINGBORO OH 45066
- ㉟ SKELDING RICHARD C & ROBIN K
65 N GLENCOE CT
SPRINGBORO OH 45066
- ㉟ CITY OF SPRINGBORO
320 W CENTRAL AVE
SPRINGBORO OH 45066
- ㉟ M/I HOMES OF CINCINNATI LLC
9349 WATERSTONE BLVD
SUITE 115
CINCINNATI OH 45249

SCALE IN FEET
0 75 150 300

NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN CITY OF SPRINGBORO

PROJECT AREA EXHIBIT





**NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN
CITY OF SPRINGBORO
EXISTING CONDITIONS**

SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554

www.CHOICEONEENGINEERING.com

ChoiceOne
Engineering

FILE NAME

EX GRADING

DRAWN BY

JLH

CHECKED BY

JSP

PROJECT NO.

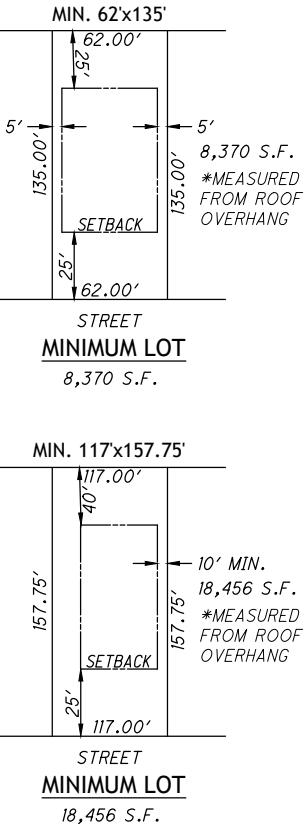
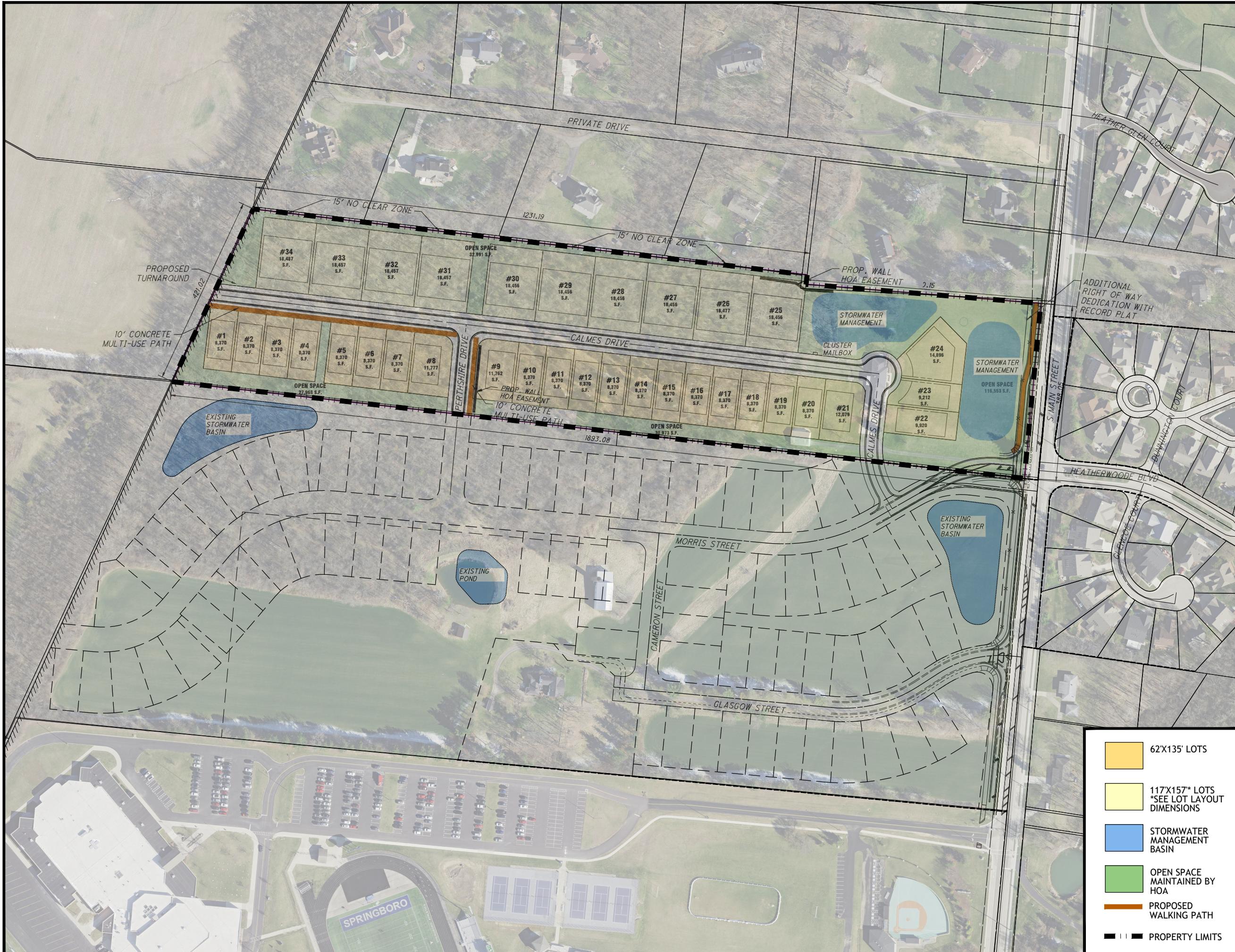
WARSPr2410

DATE

01-26-2026

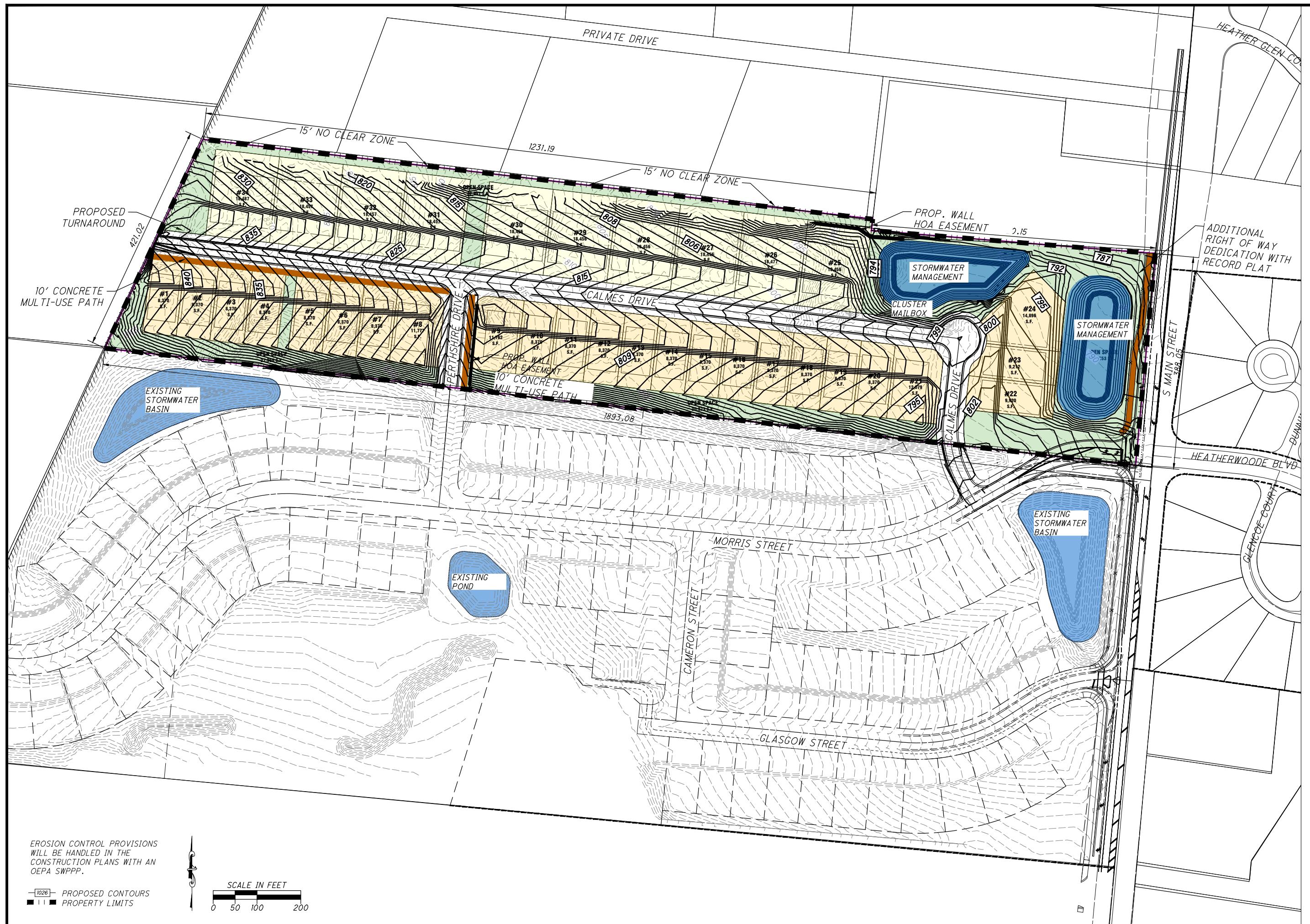
SCALE NUMBER

2 OF 11



NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN CITY OF SPRINGBORO CONCEPTUAL PLAN

SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
www.CHOICEONEENGINEERING.com



LEGEND

- PROP. WATER MAIN
- PROP. STORM MANHOLE
- PROP. CATCH BASIN
- PROP. STORM MAIN
- PROP. SANITARY MANHOLE
- PROP. SANITARY MAIN
- Ex. SANITARY MAIN
- Ex. WATER MAIN
- SETBACK LINE

STORMWATER MANAGEMENT BASIN

OPEN SPACE MAINTAINED BY HOA

PROPOSED WALKING PATH

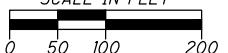
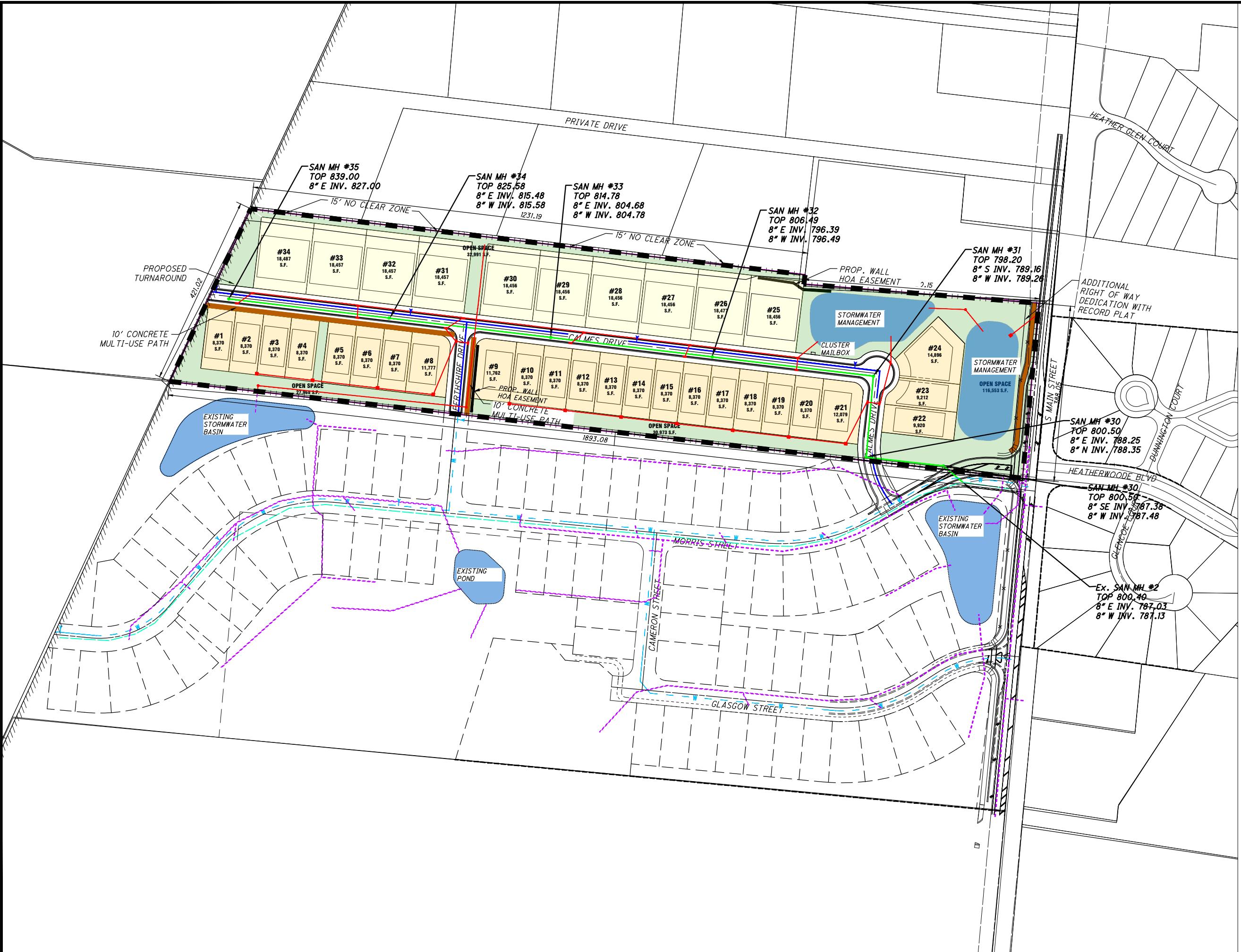
■ ■ ■ PROPERTY LIMITS

**NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN
CITY OF SPRINGBORO
PRELIMINARY UTILITY PLAN**

REVISIONS:

 FILE NAME: **UTILITY**
 DRAWN BY: **JLH**
 CHECKED BY: **JSP**
 PROJECT No.: **WARSPr2410**
 DATE: **01-26-2026**

 SHEET NUMBER: **1** OF **11**

 SCALE IN FEET



NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN CITY OF SPRINGBORO LOT DIMENSIONING PLAN

REVISIONS:
 FILE NAME 50 SCALE-1
 DRAWN BY JLH
 CHECKED BY JSP
 PROJECT No. WARSPr2410
 DATE 01-26-2026
 SHEET NUMBER
 6 OF 11



NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN CITY OF SPRINGBORO LOT DIMENSIONING PLAN

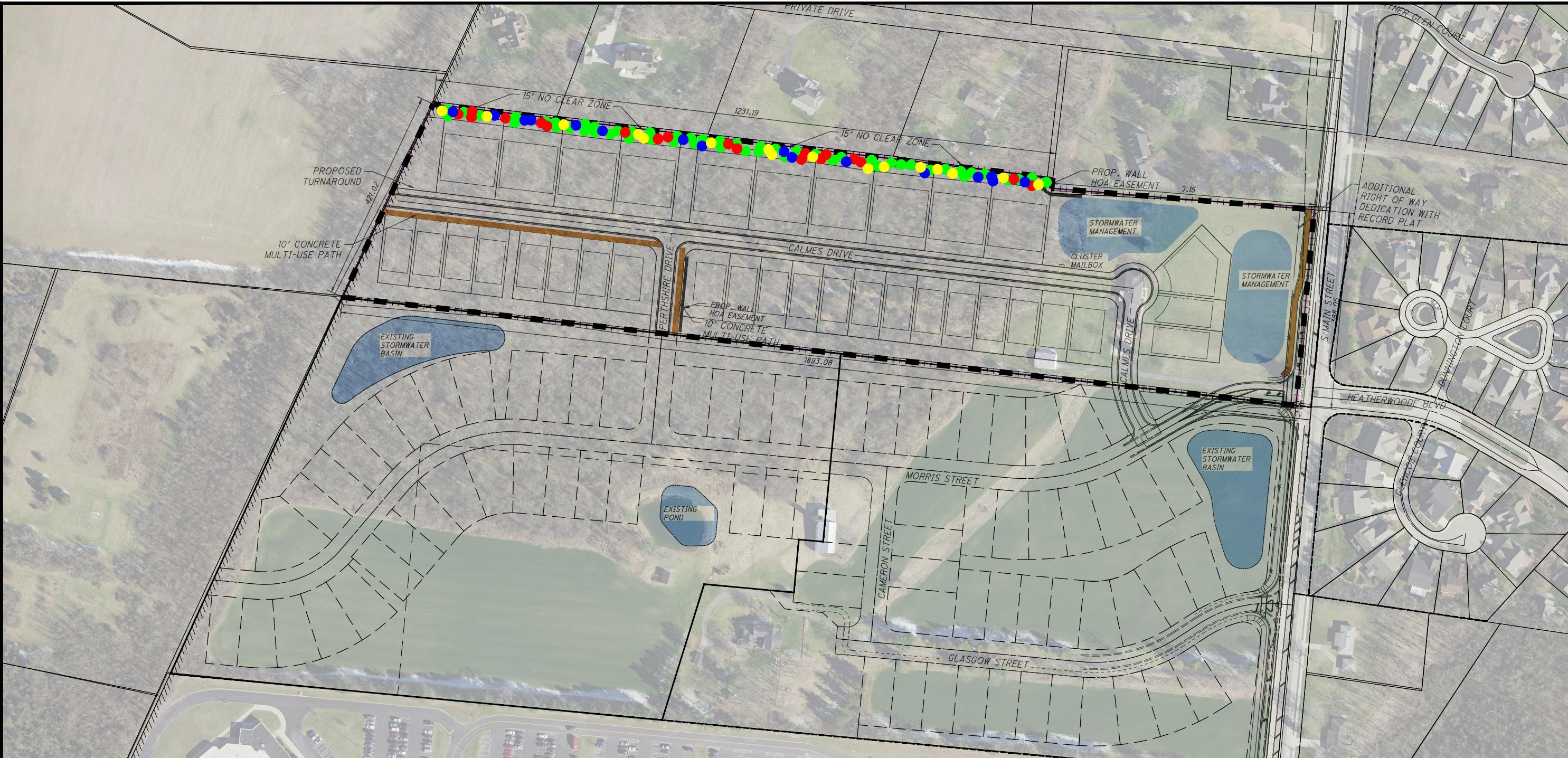


62'x135' LOTS
117'x157' LOTS
STORMWATER MANAGEMENT BASIN
OPEN SPACE MAINTAINED BY HOA
PROPOSED WALKING PATH
PROPERTY LIMITS

SCALE IN FEET
0 25 50 100

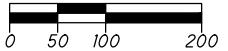
REVISIONS:
FILE NAME 50 SCALE-2
DRAWN BY JLH
CHECKED BY JSP
PROJECT NO. WARSPr2410
DATE 01-26-2026
SHEET NUMBER 7 OF 11

NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN CITY OF SPRINGBORO EXISTING TREE LOCATION EXHIBIT

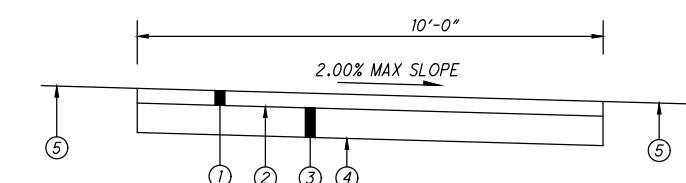
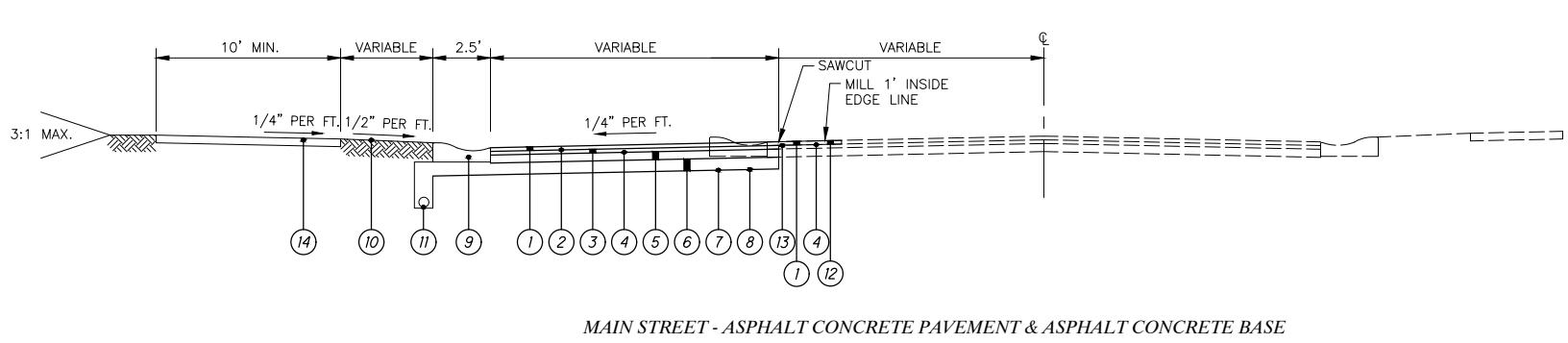


REVISIONS:

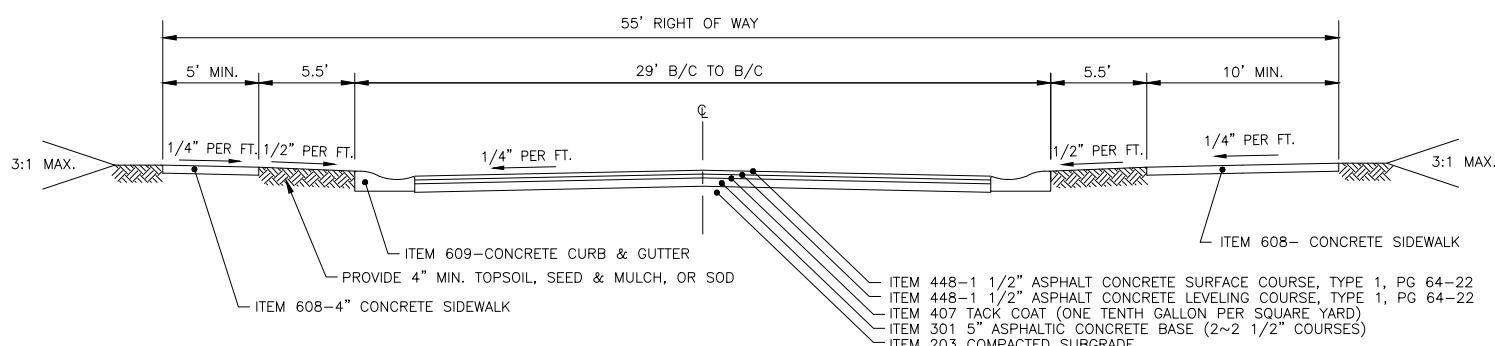
SYMBOL IN PLAN	TRUNK DIAMETER OF SINGLE TREE MEASURED AT DBH	NUMBER OF TREES ON SITE TO REMAIN	REDUCTION IN NUMBER OF NEW TREES REQUIRED	TOTAL REDUCTION CREDIT
●	4.00 - 6 INCHES	52 TREES	1 TREE	52 TREES
●	6.01 - 14 INCHES	19 TREES	2 TREES	38 TREES
●	14.01 - 20 INCHES	16 TREES	3 TREES	48 TREES
●	20.01 + INCHES	16 TREES	4 TREES	64 TREES
	TOTALS	103 TREES		202 TREES

 SCALE IN FEET


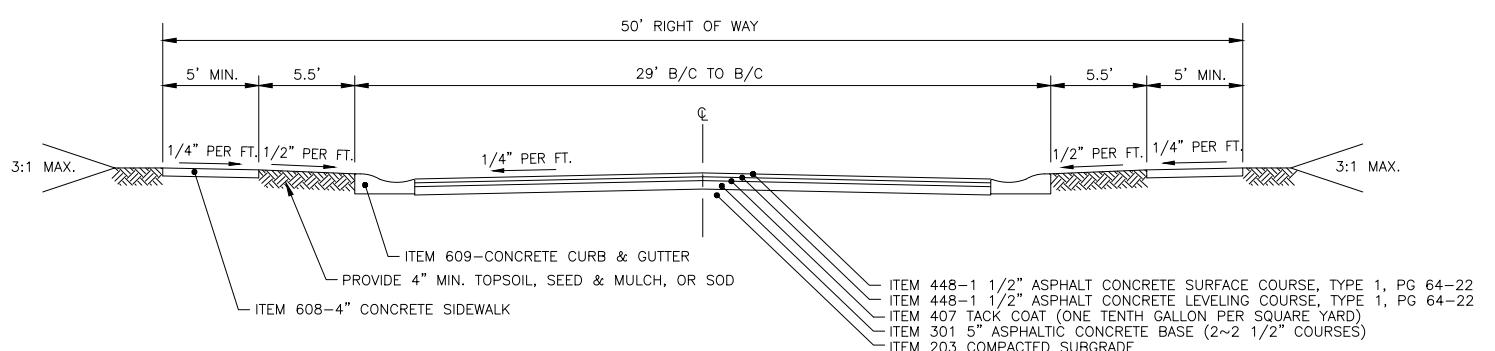
 FILE NAME: TREES
 DRAWN BY: JLH
 CHECKED BY: JSP
 PROJECT No.: WARSPr2410
 DATE: 01-26-2026
 SHEET NUMBER: 8 OF 11



- ITEM 442 - 1.5" ASPHALT CONCRETE SURFACE COURSE, 12.5 MM, TYPE A (449)
- ITEM 407 - TACK COAT APPLIED AT 0.04 GAL/SY
- ITEM 442 - 1.5" ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ITEM 407 - TACK COAT APPLIED AT 0.075 GAL/SY
- ITEM 301 - 6" ASPHALT CONCRETE BASE
- ITEM 304 - 8" AGGREGATE BASE (APPLY IN TWO EQUAL COURSES)
- ITEM 204 - SUBGRADE COMPACTION
- ITEM 204 - PROOF ROLLING
- ITEM 609 - COMBINATION CURB AND GUTTER, TYPE 2
- ITEM 659 - SEEDING AND MULCHING
- ITEM 605 - 6" BASE PIPE UNDERDRAIN
- ITEM 254 - PAVEMENT PLANING, ASPHALT CONCRETE (1.5")
- ITEM 442 - VBL DEPTH ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ITEM 608 - CONCRETE SIDEWALK



NORTHAMPTON RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE W/ 10' WALKING PATH
 PERTHSHIRE RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE W/ 10' WALKING PATH



NORTHAMPTON RESIDENTIAL ROADWAY - ASPHALT CONCRETE PAVEMENT & ASPHALT CONCRETE BASE

**NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN
CITY OF SPRINGBORO
TYPICAL SECTION**

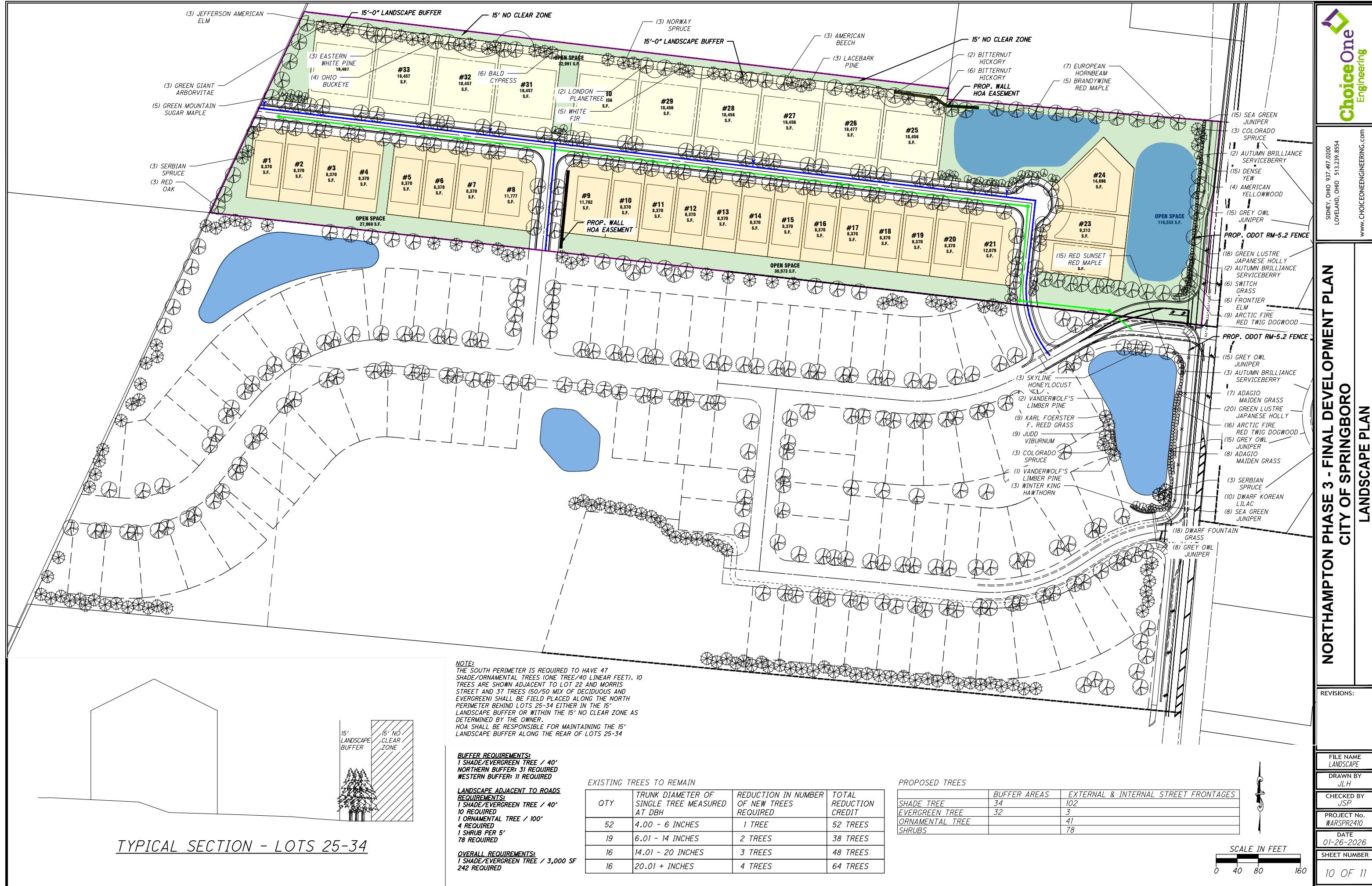
REVISIONS:
FILE NAME TYPICAL SECTION
DRAWN BY JLH
CHECKED BY JSP
PROJECT NO. WARSPr2410
DATE 01-26-2026
SHEET NUMBER 9 OF 11

NORTHAMPTON PHASE 3 - FINAL DEVELOPMENT PLAN

CITY OF SPRINGBORO

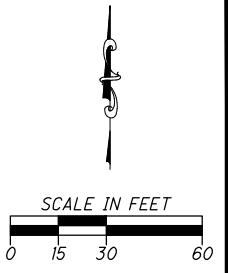
LANDSCAPE PLAN

REVISIONS:

 FILE NAME
 LANDSCAPE
 DRAWN BY
 JLH
 CHECKED BY
 JSP
 PROJECT NO.
 WARSPr2410
 DATE
 01-26-2026
 SHEET NUMBER
 10 OF 11




VIEW FROM 741





High Concrete Group Rezoning Request

City of Springboro
320 West Central Avenue
Springboro, OH 45066
Phone: (937) 748-4343
Fax: (937) 748-0815
www.ci.springboro.oh.us

APPLICATION—REZONING

CITY OF SPRINGBORO PLANNING COMMISSION

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** Noah Mazy High Concrete Group, LLC

Agent

Lessee **Address:** 95 Mound Park Drive

Signed Purchase Contract Springboro, Ohio 45066

Telephone No. (484) 794-2177 Cell; (717) 336-9300 Office

Fax No. ()

Email Address NMazy@high.net

PROPERTY OWNER NAME (IF OTHER): _____

Address: _____

Telephone No. ()

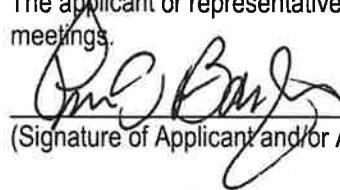
Property Address or General Location: Richards Run/ Duvall Drive

Parcel Number(s): 0407176008, 0407176001, Parts of 0407156026 Existing Zoning District: PUD-O, R-1

Proposed Zoning District: PUD -M

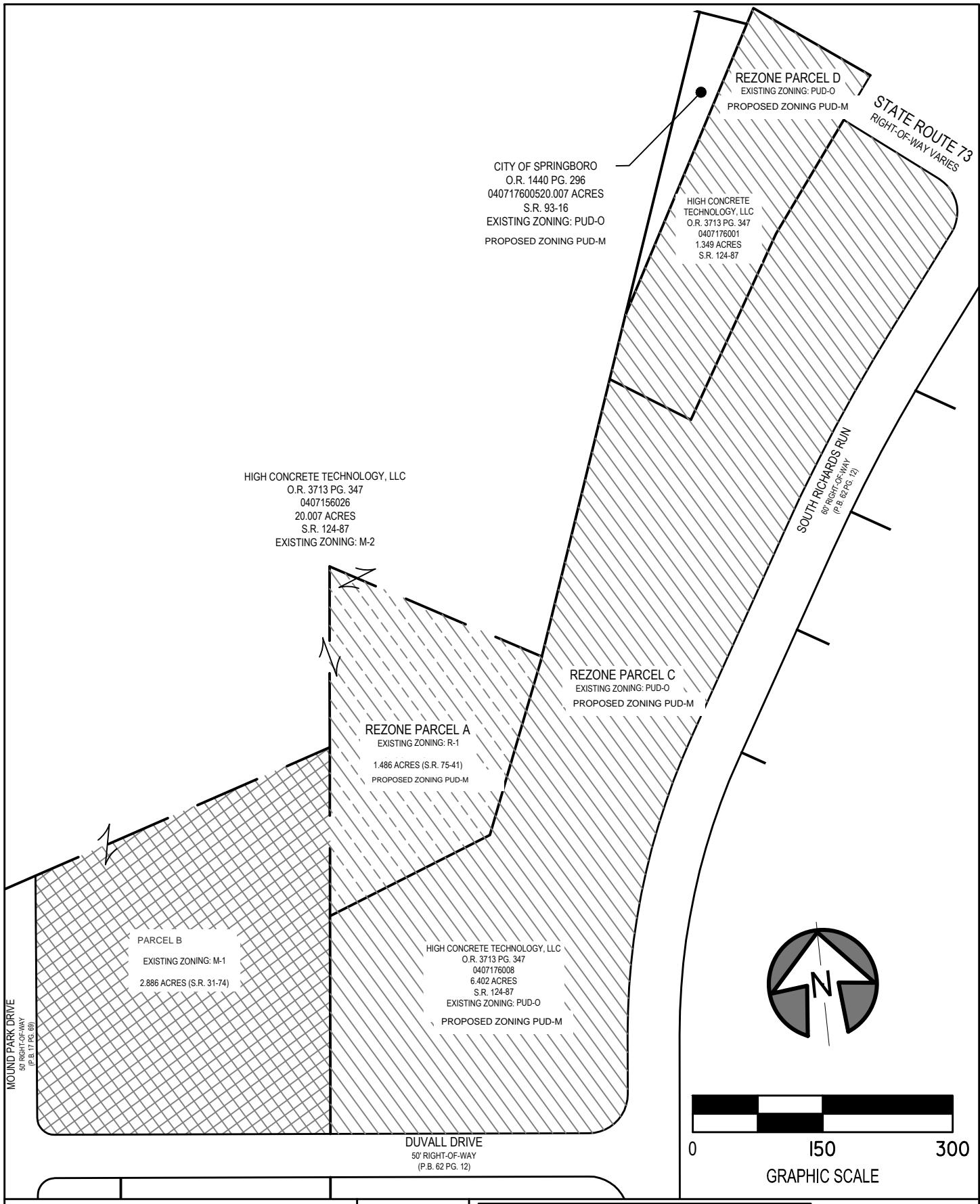
Proposed Use: Pre-Cast Concrete Production

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Peter S. Battaglia Agent, LJB Inc. 02-05-2026
(Signature of Applicant and/or Agent) (Date)

Peter S. Battaglia, PE; LEED AP

Printed Name



PROJECT: HIGH CONCRETE REZONING	JOB #: 0132235A.00		
SUBJECT: REZONING	DATE: 12/09/2025		
DSGN: NA	DRWN: CMM	CHKD: PSB	SHEET NO: 1/1



LJ Engineering
Building Partnerships

LJEngineering.com
(866) 552-3536
info@LJEngineering.com



Engineering

Building Partnerships

LJBinc.com
(866) 552-3536
info@LJBinc.com



PUD - M

A. PERMITTED USES

1. ALL PERMITTED USES ALLOWED IN THE M-2 DISTRICT ZONING
2. ALL ACCESSORY USES PERMITTED IN THE M-2 DISTRICT ZONING

B. CONDITIONAL USE

1. ALL CONDITIONAL USES ALLOWED IN THE M-2 DISTRICT ZONING

C. DEVELOPMENT STANDARDS

1. ALL DEVELOPMENT STANDARDS AS LISTED IN THE M-2 DISTRICT
ZONING EXCEPT AS MODIFIED PER THIS PUD-M DOCUMENT.

2. MINIMUM YARD SETBACKS

- a. FRONT YARD (STREET FACING) 40 FEET (MEASURED FROM THE STREET RIGHT OF WAY)
- b. SIDE YARD (STREET FACING) 40 FEET (MEASURED FROM THE STREET RIGHT OF WAY)
- c. SIDE YARD (INTERIOR- ABUTTING M DISTRICT) 10 FEET
- d. SIDE YARD (ABUTTING NON-M DISTRICT) AS PER M-2 ZONING DISTRICT REGULATIONS
- e. REAR YARD (INTERIOR- ABUTTING M DISTRICT) 10 FEET
- f. REAR YARD (ABUTTING NON-M DISTRICT) AS PER M-2 ZONING

3. BUFFERS AND SCREENING

a. RICHARDS RUN DRIVE

i.a. BUFFER: WIDTH 35 FEET (MEASURED FROM THE STREET RIGHT OF WAY)

ii.b. SCREENING: MINIMUM 5 FOOT HIGH BERM.

ii.b.a. MINIMUM OF 10 FOOT HIGH SCREENING INCLUDING BERM AND PLANTINGS OR FENCE

- a. DUVALL DRIVE
 - i. BUFFER: WIDTH 35 FEET (MEASURED FROM THE STREET RIGHT OF WAY)
 - ii. SCREENING: MINIMUM 4 FOOT HIGH BERM.
 - ii.a. MINIMUM OF 10 FOOT HIGH SCREENING INCLUDING BERM AND PLANTINGS OR FENCE

HIGH CONCRETE

95 MOUND PARK DRIVE
SPRINGBORO, OHIO 45066



HIGH CONCRETE GROUP

SPRINGBORO SITE MODIFICATIONS

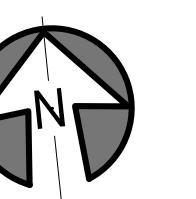
JUVALL DR. / S. RICHARDS RUN
SPRINGBORO, OHIO 45066

FILE PATH: Q:\High Conc Grp01302\6A.00 - High Concrete Site Modifications\Dev\Drawings\Zoning Site plan\13076_C300.dwg
CREATE DATE: 2/5/2026 11:41 AM SAVED BY: cmontgomery
PLOT DATE: 2/5/2026 11:45 AM PLOT BY: Clay Montgomery

DUVALL DRIVE
50' RIGHT-OF-WAY
(P.B. 62 PG. 12)

SWM AREA

-EX R/W—



A graphic scale consisting of a horizontal bar divided into two segments: a white segment on the left labeled '60' and a black segment on the right labeled '120'.

C-1



PUD - M

A. PERMITTED USE

1. ALL PERMITTED USES ALLOWED IN THE M-2 DISTRICT ZONING
2. ALL ACCESSORY USES PERMITTED IN THE M-2 DISTRICT ZONING

B. CONDITIONAL USE

1. ALL CONDITIONAL USES ALLOWED IN THE M-2 DISTRICT ZONING

C. DEVELOPMENT STANDARDS

1. ALL DEVELOPMENT STANDARDS AS LISTED IN THE M-2 DISTRICT ZONING EXCEPT AS MODIFIED PER THIS PUD-M DOCUMENT.

2. MINIMUM YARD SETBACKS

- a. FRONT YARD (STREET FACING) 40 FEET (MEASURED FROM THE STREET RIGHT OF WAY)
- b. SIDE YARD (STREET FACING) 40 FEET (MEASURED FROM THE STREET RIGHT OF WAY)
- c. SIDE YARD (INTERIOR- ABUTTING M DISTRICT) 10 FEET
- d. SIDE YARD (ABUTTING NON-M DISTRICT) AS PER M-2 ZONING DISTRICT REGULATIONS
- e. REAR YARD (INTERIOR- ABUTTING M DISTRICT) 10 FEET)
- f. REAR YARD (ABUTTING NON-M DISTRICT) AS PER M-2 ZONING

DISTRICT REGULATIONS

- a. RICHARDS RUN DRIVE
 - i.a. BUFFER: WIDTH 35 FEET (MEASURED FROM THE STREET RIGHT OF WAY)
 - ii.b. SCREENING: MINIMUM 5 FOOT HIGH BERM.
 - ii.b.a. MINIMUM OF 10 FOOT HIGH SCREENING INCLUDING BERM AND PLANTINGS OR FENCE

© DUVALL DRIV

- i. BUFFER: WIDTH 35 FEET (MEASURED FROM THE STREET RIGHT OF WAY)
- ii. SCREENING: MINIMUM 4 FOOT HIGH BERM.
- ii. a. MINIMUM OF 10 FOOT HIGH SCREENING INCLUDING BERM

HIGH CONCRETE

95 MOUND PARK DRIVE
SPRINGBORO, OHIO 45066

The logo for HIGH CONCRETE GROUP LLC. It features a stylized 'H' composed of two yellow 'I' shapes with a red circle at the top, followed by the word 'HIGH' in large black capital letters, 'CONCRETE' in a slightly smaller black font, 'GROUP' in a bold black font, and 'LLC' in a smaller black font at the bottom.

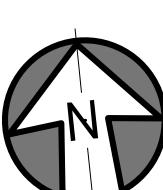
SPRINGBORO SITE MODIFICATIONS

DUVALL DR. / S. RICHARDS RUN
SPRINGBORO, OHIO 45066

© 1985-2025 LJB Inc. This drawing contains information that is proprietary to and property of LJB Inc. and shall be kept confidential. No publication or distribution of this drawing may be made without the express written consent of LJB Inc. except for the limited purposes set forth in the contract between LJB Inc. and party for whom this drawing was made.

SEARCHED	CMM	JOB NUMBER
RAWN	CMM	0130276
HECKED	PSB	DATE
		02/05/2026

SITE PLAN



A horizontal graphic scale consisting of a black bar divided into three segments. The first segment is white and labeled '0' below it. The middle segment is black and labeled '60' below it. The third segment is white and labeled '120' below it. The segments are separated by thin white lines.

C-2



**The Lawn @
SR 73 &
Clearcreek-
Franklin Rd,
Rezoning and
General Plan
Preliminary
Review**

City of Springboro
320 West Central Avenue
Springboro, OH 45066
Phone: (937) 748-4343
Fax: (937) 748-0815
www.ci.springboro.oh.us

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN

FINAL DEVELOPMENT PLAN

RECORD PLAN

VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner
 Agent
 Lessee
 Signed Purchase Contract

APPLICANT NAME:

Taft Stettinius & Hollister LLP, c/o Sonya Jindal Tork, Esq.

Address

425 Walnut Street, Suite 1800

Cincinnati, OH 45202

Telephone No.

(513) 498-8756

Fax No.

(513) 381-0205

Email Address

jindal@taftlaw.com

PROPERTY OWNER NAME (IF OTHER): Anne Easton-Hansen, Charles A. Easton, Terry C. Easton, James Kevin Swallow, Carrie Kendall

Address: 503 Watkins Pond Blvd.

Rockville, MD 20850

Telephone No. (937) 776-9813

Property Address or General Location: 0 W. Central Avenue Springboro, OH 45066

Parcel Number(s): 0414301006

Acreage: 35.601

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: Please see General Plan for acreage by category.

For Residential Proposed Density 20.8 du/ac Number of Residential Units 327

Proposed Use: The proposed use a mixed-use development featuring multi-family residential, retail, and public space.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


Sonya Jindal Tork (Jan 22, 2026 17:45:09 EST)

(Signature of Applicant and/or Agent)

1/22/2026

(Date)

Sonya Jindal Tork, Esq.

Printed Name

Jan 23, 2026

PUD List of Changes

1. **Overall Changes**- Lotting and site access was adjusted in the East District to accommodate more hospitality options at the park
2. **General Plan Exhibit**- Plan view and acreages for East District were updated
3. **General Plan Exhibit**- 'Park Expansion' label added to plan view
4. **General Plan Exhibit**- Acreages for East District and Rights of Way were updated on the middle table
5. **PUD Application**- Page 3- Plan view was updated
6. **PUD Application**- Page 3- 'Park Expansion' label added to plan view
7. **PUD Application**- Page 11- Plan view and acreages for East District were updated
8. **PUD Application**- Page 11- Acreages for East District and Rights of Way were updated on table
9. **PUD Application**- Page 11- 'Park Expansion' label added in plan view
10. **PUD Application**- Page 29- Development Plan exhibit has been updated

[JANUARY 23, 2026]

PLANNED UNIT DEVELOPMENT APPLICATION
CITY OF SPRINGBORO, OHIO
PLANNING COMMISSION

THE LAWN SPRINGBORO

PREPARED BY:

K+CO.

Development Team

KINGSLEY & CO.

Cincinnati, OH
(513) 903-7019
info@kingsleyandcompany.com

CHINEDUM NDUKWE, FOUNDER + CEO

Email: ck@kingsleyandcompany.com

DANIEL BUCHENROTH, DEVELOPMENT MANAGER

Email: daniel@kingsleyandcompany.com

DESIGN

YARD & CO.

Cincinnati, OH
(513) 813-8266

JOE NICKOL, PRINCIPAL

Email: joe@buildwithyard.com

ENGINEERING

KLEINGERS

West Chester, OH
(513) 779-7851

TROY MESSER, CIVIL ENGINEER

Email: troy.messer@kleingers.com

JAKE BLACKBURN, CIVIL ENGINEER

Email: jake.blackburn@kleingers.com

LEGAL

TAFT LAW

Cincinnati, OH
(513) 381-2838

SONYA JINDAL TORK, LEGAL COUNSEL

Email: jindal@taftlaw.com

Introduction

The Lawn in Springboro, Ohio, (project site) is located along West Central Avenue adjacent to The Enclave of Springboro (355 W Central Ave) and Tractor Supply Co. (505 W Central Ave). The 35-acre site sits centrally between the I-75 interchange and Wright Station at the Central Avenue and Main Street intersection and is across from the SureCare Medical Center and Springboro Municipal Building. Twin Creek runs through the middle of the site, providing a valuable natural asset.

The vision for the proposed mixed-use development of The Lawn supports the City's implementation of key goals and objectives included in the 2022 Springboro Master Plan. The Master Plan is founded on four themes: growth, experience, connectivity, and identity. The Lawn advances aspects of all four by: enhancing an existing neighborhood and community assets, introducing a diverse set of new housing types and retail opportunities, activating a vacant site, providing new pedestrian and bicycle connections, and enhancing the visual identity of Springboro along a major roadway.

The Lawn further aligns with the Master Plan's recommended Future Land Use. The project site is identified as mixed-use and is located within the Plan's Policy Area 7: City Services Center (p.60). This is described as a transitional area between the highway-oriented development patterns and the convenience retail focus at the Central Avenue & Main Street intersection. PA7 encourages these aspects which have been incorporated into the proposed Concept Plan for The Lawn:

- Pedestrian access along SR 73/Central Ave
- Retail to serve adjacent residents
- Connection between North Park and the Community Park
- Buildings oriented to SR73/Central Ave
- Mix of residential types
- Development that serves as a buffer between non-residential uses and surrounding neighborhoods



The 2022 Master Plan also provides connectivity recommendations. The proposed Concept Plan will “enhance pedestrian connections to adjacent residential areas” (p.90) through separated walkways, multi-use paths, and safe street crossings. It will also “enhance the character of the major roadways to slow down traffic” (p.94) by orienting buildings toward West Central Avenue and providing sidewalks, street trees, pedestrian-scaled fixtures, and mid-block crossings.

The thorough community engagement conducted throughout the master planning process provides an additional understanding of community preferences relevant to this proposed Concept Plan. Within the topic of housing, residents noted “a desire to see housing more friendly to young professionals, single people, young families, and older retirees (p. 20).” A majority of residents who intend to move within the next 5 years want to remain in Springboro and are seeking a smaller residence. Denser housing typologies like townhomes and small apartment buildings were most encouraged along Central Avenue and Main Street. Plan participants most commonly requested “more trails, parks, and naturalized areas” (p.19) when asked about future open space improvements. Additionally, residents are eager to have high-end dining, cafes, and entertainment venues to enjoy within Springboro. When presented with three growth scenarios, a balanced approach to development was most favored among plan participants (48%, p.24-25). This scenario included a diverse housing stock designed to attract younger and older populations and support new retail options while limiting impacts on the local school system.

The Lawn concept further provides an opportunity to implement a portion of a key project described in the 2020 Bicycle and Pedestrian Plan. The Plan describes a vision for a future Central Greenway intended to serve as the backbone of the City’s pedestrian and bicycle network. When built, the Central Greenway will link neighborhoods, parks, and people to each other and the regional trail system. This proposed concept plan incorporates trail development along the Twin Creek connecting North Park to the Community Park.



PLANNING COMMISSION APPROVAL CRITERIA

Fulfillment of all Requirements for Planning Commission Recommendation under Springboro Zoning Code Section 1266.10

The Lawn proposed development and its related application for amendment of the zoning map and General Plan meet all of the criteria required for the Planning Commission to recommend an amendment to the Official Zoning Map of the City of Springboro and the General Plan for approval to City Council, as outlined in Springboro Code Section 1266.10.

1. Conformance with General Development Plan: The proposed PUD zoning and General Plan for The Lawn Springboro are fully aligned with the City of Springboro's Master Plan (which replaced its previous General Development Plan), supporting plans, and related legislation. This alignment is particularly evident in how the project embodies the vision for Policy Area 7 (Central SR 73 Corridor), as outlined in the Master Plan. Specifically, The Lawn Springboro aligns with Policy Area 7 by:

- Encouraging mixed-use development along a major corridor: The project's integration of residential, retail, and recreational spaces creates a vibrant mixed-use environment along the SR 73 corridor, precisely as envisioned in the Master Plan. This approach promotes a dynamic and interconnected community where residents can live, work, and play.
- Supporting a blend of residential and commercial uses: The project thoughtfully balances residential and commercial elements, fostering a sense of community and providing convenient access to amenities for residents. This balanced approach aligns with the Master Plan's goal of creating diverse and sustainable neighborhoods.
- Promoting walkability, connectivity, and community gathering spaces: The Lawn Springboro prioritizes pedestrian-friendly design, with interconnected walkways, inviting public spaces, and a focus on creating a walkable environment. This emphasis on connectivity and community gathering spaces directly supports the Master Plan's vision for Policy Area 7.

Furthermore, The Lawn Springboro's location in the SR 73 corridor aligns with the Master Plan's emphasis on strategic growth in this area. The Future Land Use Map specifically identifies this corridor as a key area for development that enhances community engagement and economic activity. By bringing new residents, businesses, and recreational opportunities to the area, The Lawn Springboro directly contributes to the realization of this vision.

2. **Justification for PUD Exemption:** An exemption to conventional zoning is fully justified because the Comprehensive Land Use Master Plan for the City of Springboro can be more successfully implemented through the use of PUD zoning. Specifically, PUD zoning allows The Lawn Springboro to better achieve the City's vision and goals in the following ways:

- Encourages diverse housing options: The PUD enables the inclusion of a variety of housing types, including carriage houses, townhomes, and walk-up residential units. This diversity provides a range of housing options to meet the needs of a wider population and promotes a more inclusive community.
- Integrates housing, retail, and recreational spaces: The PUD facilitates the seamless integration of residential, commercial, and recreational spaces, creating a vibrant, pedestrian-friendly environment. This mixed-use approach fosters a sense of community and provides convenient access to amenities for residents.
- Enhances placemaking efforts: The PUD supports the creation of a strong sense of place, with well-designed public spaces, interconnected walkways, and a focus on community interaction. This aligns with the City's long-term goals of creating attractive and engaging public spaces.
- Provides flexibility in design and layout: The PUD offers the flexibility needed to achieve innovative design solutions that conventional zoning cannot accommodate. This allows for a more creative and responsive approach to site planning and development.

By utilizing PUD zoning, The Lawn Springboro can better align with Springboro's vision for a vibrant, mixed-use, pedestrian-oriented community. Conventional zoning, with its stricter regulations on land use and density, would limit the project's ability to achieve these goals. The PUD provides the necessary flexibility to create a development that truly embodies the City's vision for the future.

3. Compatibility with Site and Surrounding Land Uses: The Lawn Springboro's General Plan is compatible with the site's topography, location, and surrounding land uses, ensuring a harmonious integration with the existing community.

- Strategic Location: The site is strategically positioned along SR 73, an area designated for growth and mixed-use development in the City's Comprehensive Plan. This alignment with the City's vision for the area supports the project's compatibility.
- Balanced Land Use Transition: The proposed retail spaces will complement existing commercial corridors along SR 73, ensuring a balanced transition from the surrounding residential areas to commercial uses. This thoughtful approach to land use minimizes disruption to the existing neighborhood character.
- Minimal Nuisance Potential: The development's focus on residential and light commercial uses eliminates concerns about noise, smoke, dust, and debris typically associated with industrial or heavy commercial activities. This ensures a positive relationship with surrounding land uses.
- Sensitive Site Design: The site's gentle slope allows for efficient stormwater management and the creation of varied and attractive streetscapes. The proposed building heights and setbacks are carefully considered to respect the privacy and light access of surrounding residential properties.
- Mitigation Measures: To further minimize any potential impacts, the development will incorporate landscaping and buffering to reduce noise and visual impacts. Commercial uses will be strategically located and designed to minimize any disruption to nearby residential areas.

4. Support for Public Improvements: The General Plan is carefully designed to support and enhance existing infrastructure, including streets, utilities, other public improvements, and pedestrian connectivity. The development will connect to existing roadways and implement necessary street improvements such as turning lanes and traffic signal coordination. The Developer will coordinate with the City to ensure adequate utility capacity and develop pedestrian connections, including a trail system and pedestrian bridge, aligning with Springboro's Bicycle and Pedestrian Plan.

5. Efficient and Economic Use of Land: The General Plan represents an efficient and economic use of the land in view of the community's need for a balance of land uses. The proposed development optimizes land utilization by integrating 335 residential units, 55,000-80,000 square feet of retail space, and community-focused green areas. This compact, walkable environment encourages local economic activity and enhances the quality of life for residents by providing convenient access to essential services and recreational amenities.

6. Availability of Public Services: All necessary public streets, utilities, and services are either available or will be extended to support the development. Specifically, water and sewer services are accessible, with the developer responsible for extending these utilities as needed. Roadway improvements along SR 73 will be undertaken to accommodate increased traffic, and emergency services and waste management will be fully supported within the project's design.

7. Justification for Exception from Conventional Zoning: An exception from conventional zoning is warranted for The Lawn Springboro because it allows for the achievement of key design goals and community objectives that are not possible under traditional zoning regulations. The PUD provides the flexibility needed to create a truly unique and integrated development that aligns with the City's vision for the future. Specifically, the PUD is justified by the following factors:

- **Creating a Cohesive, Walkable Environment:** Traditional zoning would severely limit the density and mixed-use potential of the development, hindering the creation of a walkable, pedestrian-friendly environment. The PUD allows for the seamless integration of residential, commercial, and recreational spaces, fostering a sense of community and reducing reliance on automobiles.
- **Addressing Housing Needs:** The variety of housing types offered within The Lawn Springboro, including townhomes, walk-up apartments, and carriage houses, directly addresses the age-in-place and affordability concerns outlined in the Master Plan. This diversity of housing options caters to a wider range of residents and promotes a more inclusive community.
- **Promoting Economic Growth and Quality of Life:** The integrated retail, dining, and recreation areas create a vibrant hub of activity that supports both economic growth and an enhanced quality of life for residents. This unique development model fosters a sense of community and provides convenient access to amenities.

The Lawn Springboro's PUD zoning enables the creation of a dynamic and integrated community that would not be possible under conventional zoning. This exception allows the project to better align with the City's vision for a thriving, pedestrian-friendly, and inclusive community.

8. Protection of Natural Assets: The development protects and enhances natural assets by preserving open green spaces to maintain environmental balance. It integrates stormwater management systems to reduce runoff and enhance sustainability, creates a pedestrian-friendly greenbelt fostering community engagement while protecting natural landscapes, and maintains and improves tree coverage, ensuring the site retains its natural aesthetic.

Additionally, the developer will work with the Army Corps of Engineers and the EPA to remediate a stream on the western portion of the site, ensuring environmental integrity and long-term sustainability. The development protects and enhances natural assets by preserving open green spaces to maintain environmental balance. It integrates stormwater management systems to reduce runoff and enhance sustainability, creates a pedestrian-friendly greenbelt fostering community engagement while protecting natural landscapes, and maintains and improves tree coverage, ensuring the site retains its natural aesthetic.

9. Positive Effect on Health, Safety, and Welfare: The proposed PUD will have a substantial positive impact on the health, safety, and general welfare of Springboro by expanding housing options to meet growing demand, creating job opportunities through new retail and service establishments, improving public spaces and recreational areas to encourage active lifestyles, enhancing pedestrian safety with dedicated trails and street improvements to reduce vehicle congestion, and boosting the city's tax base, supporting long-term community benefits.

10. **Implementability of General Plan:** The General Plan is structured to ensure seamless implementation through a Final Development Plan that adheres to all City requirements. The developer is committed to working closely with Springboro's planning department to ensure alignment with zoning codes and land use regulations, efficient phasing of construction to minimize disruption, and delivery of high-quality design standards, ensuring the development remains a long-term asset to the City.

The Lawn PUD rezoning application and General Plan demonstrably satisfy all the criteria outlined in Springboro Zoning Code Section 1266.10. The proposed development is consistent with the City's planning documents, provides significant community benefits, and represents a well-planned and sustainable approach to development.

Master Plan

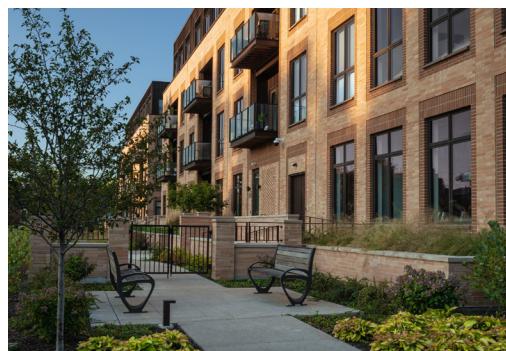
THE
LAWN

Overview / Site Design

The City of Springboro has been working hard to incrementally improve and bring vitality to its West Central Avenue corridor. It also has been focused on becoming a preeminent trail town, connecting residents and visitors to outdoor recreation throughout the city. The Lawn at Springboro addresses these twin objectives from the ground up, creating a new highly amenitized neighborhood around an expanded park and trail network.

In addition to over five acres of park and 5,075 linear feet of new trails, the new master planned neighborhood will consist of a mix of convenience and food/beverage retail anchored by a destination hospitality experience (ie "The Lawn") adjacent to the park. It will also have the opportunity to accommodate one or more mid-sized offices and a range of residential units with trailside access. The units will range from studios to three-bedroom in the form of carriage units, apartments, and townhomes.

An Association shall be created that maintains shared facilities that exist on private properties.



The Master Plan



Parcel Number	0414301006
Acreage	35.601
PUD Category	Mixed-Use
West District	
Residential (ac)	11.079
Retail (ac)	6.031
East District	
Residential (ac)	2.374
Commercial Retail/Office (ac)	1.302
Hospitality (ac)	4.673
Other	
Parks/Public (ac)	4.662
Rights of way (ac)	5.48
Total Units (du)	327
Average Density (du/ac)	20.8
Length of Trails (lf)	5,075

PROPOSED USES

The master plan may include one or more of the following residential types:

- Apartment/Multi-Family Dwelling
- Attached townhome
- Carriage Unit
- Duplex/Attached/Two-Family Dwelling
- Triplex

The master plan may include one or more of the following non-residential uses:

- Bank or Financial Institution w/drive through
- Bakery or Confectionary
- Bar or Tavern
- Charitable or Philanthropic Use
- Cultural, Municipal or Public Use
- Day Care Center
- Farmer's Market
- Food Trucks
- Garden Center/Greenhouse
- Medical Clinics
- Office
- Off-Street Public Parking Lot
- Outdoor Entertainment (accessory to a permitted restaurant, bar, or tavern use)
- Outdoor Storage (accessory to a principal use)
- Personal Service Establishment
- Pet Day Care Facility
- Private club
- Recreation
- Restaurant (with and without drive through)
- Restaurant- Outdoor Dining
- Retail Sales
- Sales (indoor) of Products Manufactured On-Site
- Seasonal Sales
- Temporary Uses
- Vehicle Fueling Station

Common Spaces

The Lawn is all about bringing the residents of and visitors to Springboro together in a shared experience. This ethos centers on a four-acre park that provides a new front door to the park from West Central Avenue. Furthering Springboro's vision as a trail town, the park expansion also includes 2,475 linear feet of new publicly accessible trails.

Addressing the park and trails are two halves to the proposed master planned neighborhood. The east side of the park is anchored by a destination hospitality experience (ie "The Lawn") that is intended to combine food, an active biergarten, and active recreation such as, but not limited to, yard games, pickleball, and sand volleyball. Also on the park's eastern edge will be a commercial site and townhouses. Both of these supportive uses place their front doors and gardens along access drives or the park.

To the west of the park, the trail network extends into a largely residential community that includes a clubhouse that separates the public aspects of the trail from the private courtyards of the residential community. While each structure within the community will have patios or balconies associated with the units, the site, overall, is expected to have common open spaces that comprise approximately 9% of the community. Retail lines the West Central Avenue frontage and will include sidewalks and frontage landscape that complements the West Central Avenue streetscape and signage. It will be an integral part of an important gateway to Springboro.

The minimum amount of open space assumed to be part of each created lot is included in this application's Design Guidelines.

TOPOGRAPHIC AND HYDROLOGICAL FACTORS

The two major topographic challenges with this site are the two streams running through the site. One running from the northwest corner of the site through the western portion of the site before tying into the larger stream. The larger stream splits the site in two and contains FEMA floodway and associated 100-year floodplain.

The smaller of the two streams starting at the northwest corner will be piped shortly after entering the site and piped under most of the development before being released at the same point where the stream ties into the larger stream on-site. The larger stream will be left intact throughout development and will have trails along it as required by the City of Springboro's mobility plan. Any earthmoving will be kept out of the FEMA restricted floodway

An exhibit has been provided showing the topo on site along with the FEMA mapped floodways and floodplains.



COMMON AREA MAINTENANCE

The Lawn Springboro will establish a Property Owners' Association (POA) responsible for the care and maintenance of all open spaces and recreational facilities within the development. The master developer will oversee maintenance operations, ensuring high-quality upkeep of landscaped areas, pedestrian pathways, plazas, and recreational amenities. Each tenant and property owner within the development will contribute to a Common Area Maintenance (CAM)-style fee, which will fund landscaping, lighting, cleaning, and repairs, ensuring long-term sustainability and aesthetic appeal of shared spaces.

Legal

DECLARATION OF LEGAL CONTROL AND OWNERSHIP INTERESTS

This Declaration is made as of the date set forth below by **Kingsley + Co.** ("Developer"), in connection with the zoning application for the proposed development located at **0 W. Central Ave. Springboro, OH 45066 (Parcel No. 0414301006)** (the "Property").

1. Legal Control of the Property

The Developer hereby declares and affirms that it has legal control of the Property through an executed Purchase Agreement between Developer and the Property owners, who have signed letters of authorization, attached as Exhibit A.

2. Ownership and Beneficial Interests

The current ownership and beneficial interests in the Property and the proposed development are as follows:

- Property Owner(s):** Anne Easton-Hansen, Charles A. Easton, Terry C. Easton, James Kevin Swallow, Carrie Kendall
- Developer Entity:** Kingsley + Co.
- Beneficial Interest Holders:** None
- Development Partnership Structure:** TBD at the time of purchasing the property. Kingsley + Co. will retain ownership and/or interest in the development.

3. Proposed Development

The Developer intends to undertake a mixed-use development on the Property, consistent with the rezoning request. The proposed development is a mixed-use development featuring residential, retail, and recreational spaces, designed to enhance walkability, community engagement, and connectivity to nearby parks and amenities.

4. Affirmation

The Developer affirms that the information provided herein is accurate and complete to the best of its knowledge and that it has the necessary authority to submit this zoning application.

Executed this 20th day of March, 2025.

Developer:

Kingsley + Co.

By:


Chinobum Ndukwe

President + CEO

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Charles A Easton, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 5 day of ^{March} February, 2025.

Property Owner:

Name: Charles A. Easton

Signature: Charles A. Easton

Title: OWNER UNDIVIDED

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Anne Easton-Hansen, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13th day of March, 2025.

Property Owner:

Name: Anne Easton-Hansen

Signature: 

Title: Owner

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Terry C. Easton, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13th day of February, 2025. 13, March, 2025

Property Owner:

Name: Terry C. Easton

Signature: s Terry C. Easton

Title: Owner

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Carrie Kendall, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13 day of February, 2025.

Property Owner:

Name: Carrie Kendall

Signature: Carrie Kendall

Title: Owner

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, James Mevin Swaller, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this _____ day of February, 2025.

Property Owner:

Name: James Mevin Swaller
Signature: James Mevin Swaller

Title: _____

Design Guidelines

THE
LAWN

Overview

The Lawn is envisioned to be a colorful and modern neighborhood nestled against the park. Its look and feel will be contemporary, clean, lush, and active with its brand identity rooted in gathering for people of all ages. The look, feel, and identity is woven throughout all aspects of the site and building design standards for the neighborhood's development.

This vision is also represented in the mix of uses that will be attracted to the site. Retail and commercial spaces will address West Central Avenue while the park will be the shared address for hospitality and residential uses. Residential buildings will be a blend of human-scaled carriage units, townhouses, and apartment buildings that each face a courtyard, trail, and/or the park itself.

PERMITTED USES

	Minimum Lot Width or Area	Minimum Open Space	Front Yard Setback	Sum of Side Yard Setback	Rear Yard Setback	Maximum Occupied Height	Minimum Occupied Height
Residential	16'	5%	5'	0'	3'	3 stories	1 story
Non-Residential	60'	5%	10'	10'	5'	3 stories	1 story

RESIDENTIAL USES MINIMUM FLOOR AREAS

- Minimum unit size: 500 square feet
- Minimum building footprint: 500 square feet

General Site Development

STREETS AND SITE ACCESS

Street Right-of-Way (ROW)

Streets and lanes shall be primarily designed for safe pedestrian and bicycle movements with the following requirements: When divided, drive lanes shall be a minimum of 10 feet (10') wide. In nonmarked lanes, the total clear width shall be a minimum of eighteen feet (18') in width. Sidewalks shall be a minimum of five feet (5') in width. Trails shall be a minimum of twelve feet (12') in width. Planting beds where trees are anticipated shall be a minimum of six feet (6') in width. Flat or raised curbs are permitted. Bollards are permitted to separate vehicular and pedestrian traffic. Speed limits shall not exceed twenty (20) miles per hour.

Street Radii, Corner Radii & Clear Zones

Intersections shall be primarily designed for safe pedestrian and bicycle movements while ensuring emergency and service vehicles may adequately maneuver. Corner curb radii shall be between eight feet (8') and twenty-five feet (20') as determined by the intended use. Residential areas: up to fifteen feet (15'). Mixed-use areas: up to twenty-five feet (20'). In areas where larger turning radii may be warranted, this need shall be accommodated by mountable curbs and or textured pavements. Clear zones along primary access routes shall be maintained at a twenty-five foot (25') radius to allow emergency vehicles (e.g., fire ladder trucks) to turn corners. Secondary and internal streets and drives shall have a minimum of fifteen foot (15') clear zones.

Materials

The primary materials used are conventional standard asphalt or concrete. Alternative materials like brick, cobblestone, pavers, or other paving products are also anticipated.

PARKING

Parking Requirements

Residential

A minimum of one car per residential bedroom shall be provided. A minimum of two cars per townhouse unit shall be provided. A non-reserved quarter ($\frac{1}{4}$) parking space shall be provided for every unit. One secure bike parking space shall be provided for every unit. Accommodations for electric charging stations and golf cart parking are encouraged. When possible, parking shall be located and designed such that future redevelopment of the parking is possible.

Non-residential

Non-residential parking shall be set by user requirements or per the City requirements, whichever is fewer. When possible, parking shall be located and designed such that future redevelopment of the parking is possible.

Shared Parking

Parking areas that are shared by one or more uses that peak at different times may share up to twenty percent (20%) of the required parking spaces.

Parking Size and Location

On-street parking stalls shall be a minimum of seven by twenty-four feet (7' x 24') in width and length. Off-street parking stalls shall be a minimum of nine by eighteen feet (9' x 18') in width and length. The minimum drive aisle width shall be twenty-four feet (24') in width. Both on and off-street parking shall contribute to meeting the minimum parking requirements.

Parking shall be to the side or rear of buildings unless that building's primary orientation is to the park or trail in which case the primary location of the parking shall be to the side of the structure. In all cases, clear pedestrian passage from sidewalks and/or trails to the primary entrance to the building shall be clearly delineated and designed.

Parking Lot Landscape

Landscape islands/beds of at least five feet (5') in width must be provided at end caps of parking aisles. Parking lots that abut a street or lane for greater than sixty linear feet shall maintain a minimum five foot (5') planting bed along the edge. Parking lots that abut property that is not included in the master planned site, a minimum of ten feet (10') planting area shall be maintained. For other specifications, reference City requirements on Chapter 1280.

SITE SIGNAGE

The project shall include an overall project identity for entries, streets, and general wayfinding. Public facility signage will be established by the City. Individual project signage criteria will be developed as projects progress. All signage will meet or exceed the requirements established in Chapter 1281 of the City's Planning Zoning Code.



Reference imagery for entrance and wayfinding signage.

OTHER INFRASTRUCTURE

Minimizing the visual impact of utility and equipment may be accomplished by locating them discreetly and screening them from public view using various methods such as landscaping, walls, fences, and architectural elements. The goal is to maintain an aesthetically pleasing streetscape and protect the visual quality of public spaces.

Utility Easements along Streets

All public street utility easements should be accommodated within the planned street rights-of-way (ROW) or designated service lanes whenever feasible. These easements should be placed beneath pavement, landscaping, or sidewalks as needed. Any deviation from this standard will be considered by the City only in cases where specific site development requirements demonstrate that a variation is necessary.

Utility cabinets should be placed discreetly and screened with plant material. Exposed structures requiring open-air locations, such as rooftop mechanical/HVAC equipment, utility, and/or other functional hardware, must be adequately screened from public view. If a structure has a rooftop, these features must be screened behind parapets, decorative roof elements, or screen enclosure walls for a visual distance of no less than fifty feet (50') or beyond any public-facing elevation that can be viewed from any public view. All tenant service areas, including service docks, back-of-house areas, trash containers or compactors, recycling bins, grease traps and general service locations must be fully screened with non-lockable closure gates on one side for access and removal (excluding menu boards).

Loading Space Requirements

Retail and commercial areas, loading may be accomplished at specific curbside or parking lot locations as practical and necessary. Large format uses requiring large service bays shall screen all areas with walls and/ or screen doors that fully hide all service vehicles, both lengthwise and in height, and are to be consistent materials/colors that complement their base building architectural character.

Screen Wall Construction and Materials

Masonry, brick, stone, decorative block, composite materials, pressure-treated wood and/or painted or powder-coated metal are all acceptable materials to screen attached or free-standing service areas and bays. Storage facilities shall feature walls that reflect the surrounding architectural character and tall-growth landscaping.

Public Space

LANDSCAPE

Plant Material Selection

Plant materials should be chosen for their ability to thrive in the Springboro climate, moderate growth rate, and achievable maintenance requirements. All planted surfaces, whether in-ground or raised landscape beds, shall be fully irrigated and well-maintained.

The landscape design should consider the entire development site and consist of a mix of plants with year-round appeal, including annuals, perennials, shrubs, and trees. Plant selection for public facilities will be at the City's discretion.

LIGHTING

Public Space Lighting

Consistent, human-scaled, commercial grade fixtures for street and trail lighting shall be provided on all streets, sidewalks, and trails, including public gathering/event spaces located on public and private spaces within the neighborhood.

Lighting Design

All outdoor lighting shall be directed so as to prevent night sky pollution, glare on adjacent properties and streets, and to shield the lighting from residences, to the maximum extent feasible. All fixtures shall be LED or similar product, and their placement, along with all support posts/poles and brackets, shall be consistent in fabrication quality, and selected to enhance the overall design character of The Lawn.

Decorative Accent/Architectural Lighting

Decorative accent/architectural lighting meant to illuminate a building feature or surface, is permitted in so much as it does not conflict with other standards included in this document.

SITE FURNISHINGS/COMMON AREAS

Pedestrian Access

Consistent, human-scaled, commercial grade fixtures for street and trail lighting shall be provided on all streets, sidewalks, and trails, including public gathering/event spaces located on public and private spaces within the neighborhood.

Streetscape

All major roads or circulation routes shall be planted with the same or otherwise complementary species and cultivar of street tree. Street tree species shall be selected to allow growth into a continuous sidewalk canopy and to provide shade, to the extent possible, the street. Street trees shall be spaced at equal intervals (approximately thirty feet depending on species) along street frontage to establish a consistent edge. Entrances/exits must not include plantings that obscure sight lines within three feet (3') and seven feet (7') above the finished grade.

DRAINAGE AND WATER DETENTION

Stormwater management will be handled throughout the site by storm sewers that ultimately lead to either detention or retention basins that will control water quality and runoff control for the development. Locations for these basin will be determined further into design.

SIGNAGE, WAYFINDING, AND GRAPHICS

Project Signage/Brand

A unified approach to signage shall be incorporated to enhance wayfinding, create visual consistency, and improve identification across The Lawn. Sign sizes should generally correspond to the scale of the structure they accompany. All signs must maintain uniformity in type, material, and color. A clear signage hierarchy will be established to support area recognition, business identification, directional guidance, and other related signage needs. Springboro Ordinance 96-38, Section 826 of the Springboro Sign Code contains additional details.

Individual Project and/or Tenant Sign Criteria

Signage for multi-tenant properties must present a coordinated design. A cohesive design theme shall be applied to all signage, regardless of variations in size or placement.

OUTDOOR STORAGE

On occasion, Outside Storage may be necessary in multi-family amenity areas and retail areas where outdoor dining and related activities are anticipated. Outside storage of merchandise, raw material, finished products, and/or equipment must be visually screened from any publicly visible right-of-way and private roadways.

Building Design

GENERAL ARCHITECTURAL CHARACTER

The Lawn's design aims to ensure consistent, high-quality design, materials, and construction that align with Site Development.

ORIENTATION TO STREET

Buildings shall orient themselves to the following preferential order, depending on the relevance to their specific location: trail, park, and then the street. Buildings located at the intersections of one or more of these types of addresses should be designed to meet both by 'turning the corner' with appropriate design attention given.

BUILDING MASSING AND REPETITION

All repeated building types/floor plans shall include a minimum of two facade options, not including options for color or corner treatments when relevant to that plan's usage. No two plans (except for town houses and carriage units) shall be used more than once in a row or across from one another. Any building longer than sixty feet shall be articulated to break down the continuous facade through the use of some combination of the following: window or bay patterns, height, step or setbacks at one or more floor levels, and/or balconies (inset or projecting).

Building Height

Building heights shall be measured in stories. No building shall exceed three stories above the highest ground on which the building sits. Finished floor elevations for residential buildings shall not be less than eighteen inches (18") above the space the building primarily addresses (i.e. a street, trail, or park).

Rooflines

Residential roofs may be flat or sloped. Flat roofs, when present, must have parapets or cornices to provide visual interest and screen rooftop equipment. Rooftop decks and patios are encouraged. All parapets and cornice features, including rooftop uses, are exempted from building height measurements.

Building Materials

Commercial-grade materials are required. Acceptable materials include pre-cast masonry, brick, decorative block, cementitious siding, wood, natural stone, cast or cultured stone, exposed metal, and stucco. Prohibited materials include EIFS, plywood, unadorned corrugated siding, and plastic panels in publicly visible locations.

Glass Materials

Clear or colored glass, translucent, sandblasted, and decorative glass are acceptable. Retail and commercial storefronts should be predominantly clear glass.

Visible Roofing Materials

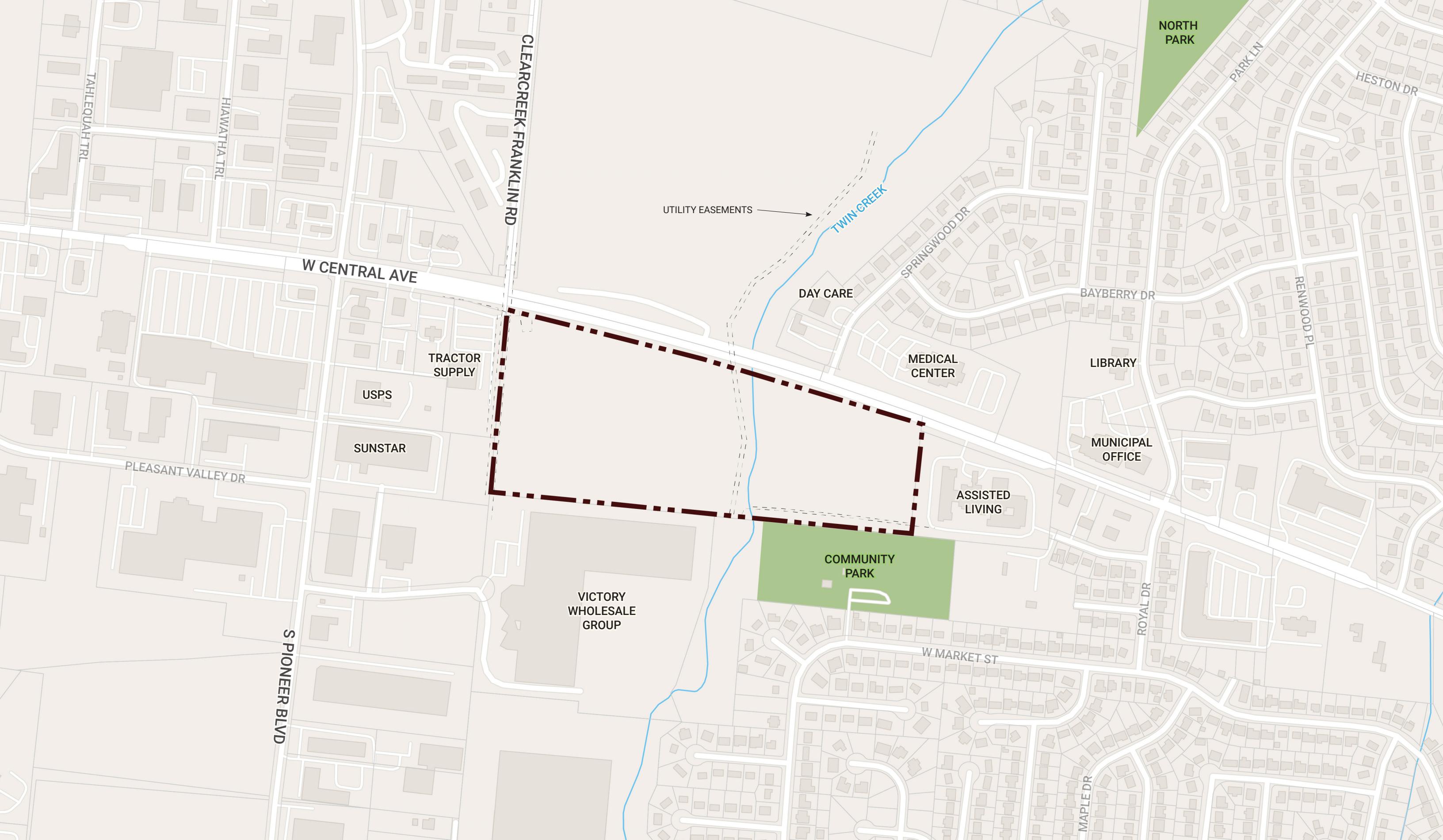
Sloped roofs may use slate-style shingles, fiberglass shingles, or standing seam metal.

Building Color

Color schemes should be limited to no more than two colors on a given facade, unless otherwise approved. Color schemes should visually tie the building's massing together. Monolithic color schemes are discouraged, but monochromatic palettes with shade variations are acceptable.

Appendix & Exhibits

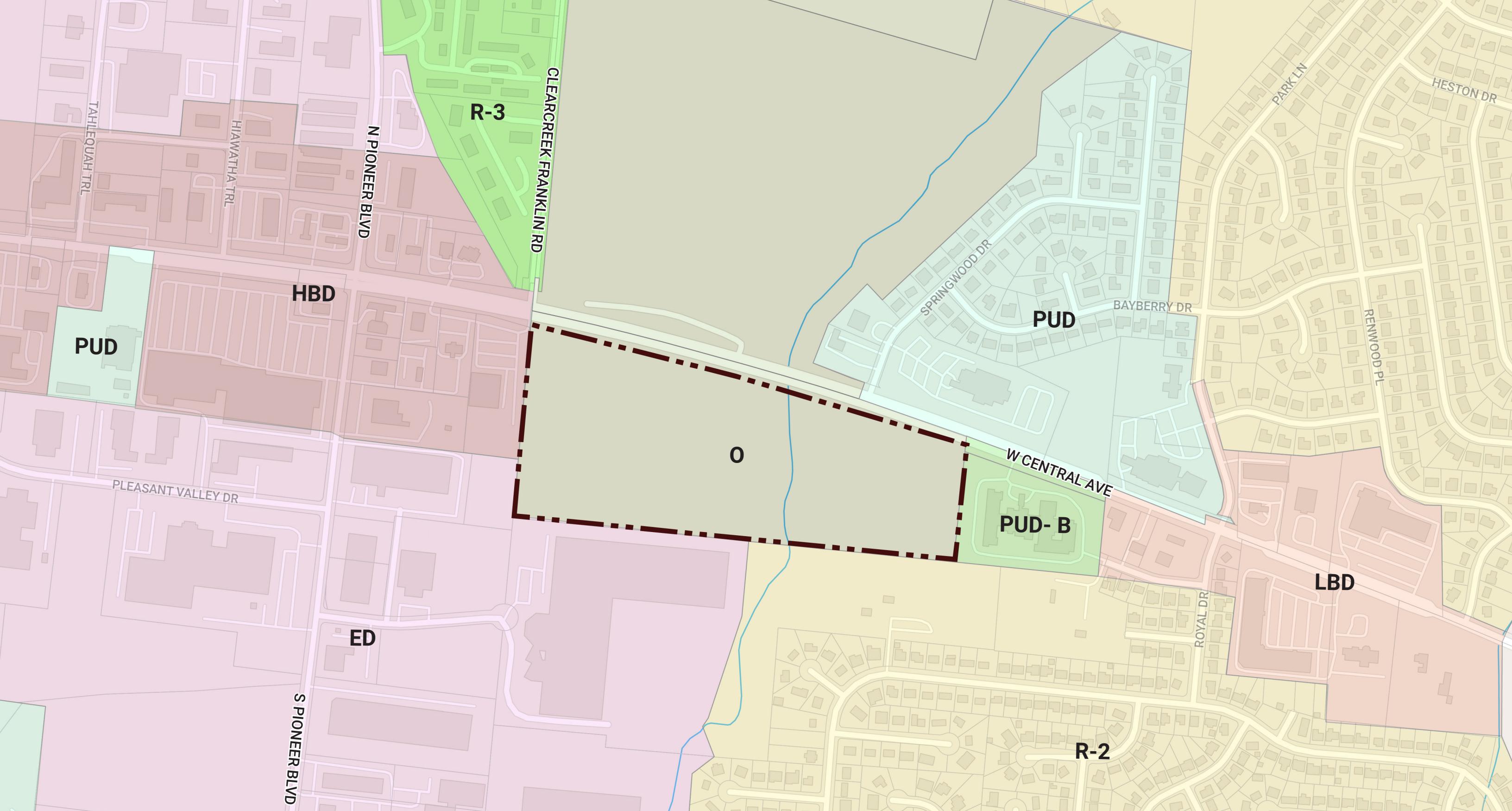
THE
LAWN



Vicinity Map

0 400 800 FEET





Zoning

O - OFFICE PARK DISTRICT

HBD - HIGHWAY BUSINESS DISTRICT

LBD - LOCAL BUSINESS DISTRICT

PUD - PLANNED UNIT DEVELOPMENT DISTRICT

PUD-B - PLANNED UNIT DEVELOPMENT-BUSINESS

R-2 - LOW DENSITY RESIDENTIAL DISTRICT

0 400 800 FEET





Development Plan

0 200 400 FEET

N

Property Ownership

Property Owners within 300ft							
Account	Parcel ID	Owner	Property Address	City, State, ZIP	Tax Name	Tax Address	City, State, ZIP
703237	0420485028	City of Springboro	0 S Pioneer Blvd	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
703252	0420485031	Sunstar Engineering Americas INC.	85 S Pioneer Blvd	Springboro, OH 45066	Sunstar Engineering Americas INC.	85 S Pioneer Blvd	Springboro, OH 45066
703050	0420485012	Locaputo Partnership, LLC	505 W Central Ave	Springboro, OH 45066	Locaputo Partnership, LLC	4472 Bridgetown Rd	Cincinnati, OH 45211
703092	0420485016	United States Postal Service	55 S Pioneer Blvd	Springboro, OH 45066	United States Postal Service	PO Box 40595	Philadelphia, PA 19197
702108	0420485008	Sunstar Engineering Americas INC.	450 Victory Dr	Springboro, OH 45066	Sunstar Engineering Americas INC.	85 S Pioneer Blvd	Springboro, OH 45066
703094	0420485018	Lebanon Citizens NAT'L BA	525 W Central Ave	Springboro, OH 45066	LCNB	PO Box 59	Lebanon, OH 45036
502812	0414363001	Promotional Wholesalers	400 Victory Dr	Springboro, OH 45066	Coforge BPS	2727 LBJ Freeway	Dallas, TX 75234
515604	0413102003	Village of Springboro	666 W Market St	Springboro, OH 45066	Village of Springboro	320 W Central Ave	Springboro, OH 45066
519863	0413127003	Village of Springboro	0 Oak Dr	Springboro, OH 45066	Village of Springboro	320 W Central Ave	Springboro, OH 45066
552969	0414377005	Springboro OH Senior	355 W Central Ave	Springboro, OH 45066	Coforge BPS	2727 LBJ Freeway	Dallas, TX 75234
552970	0414600002	City of Springboro	0 Oak Dr	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
553664	0414376024	Miami Valley Hospital	0 W Central Ave	Springboro, OH 45066	Miami Valley Hospital	110 N Main St, STE 1250	Dayton, OH 45402
553663	0414376023	Springboro 360 APL RKC LLC LLC	360 W Cebtral Ave	Springboro, OH 45066	Springboro 360 APL RKC LLC LLC	800 W Madison #400	Chicago, IL 60607
526053	0414378015	Schueler Michael T	15 Springwood Dr	Springboro, OH 45066	Schueler Michael	PO Box 35605	Dallas, TX 75235
517542	0414378016	Sumas Holdings LLC	25 Springwood Dr	Springboro, OH 45066	Sumas Holdings LLC	3829 Top Flite Ln	Mason, OH 45040
553954	0414301007	Eastbrook Farms INC	0 Route 73	Springboro, OH 45066	Eastbrook Farms INC	3000 G Henkle Dr	Lebanon, OH 45036
702477	0420427020	Meadowview Properties I LLC	5 Clearcreek-Franklin Rd	Springboro, OH 45066	Meadowview Properties I LLC	5975 Castle Creek Pkwy Drive N STE 100	Indianapolis, IN 46250
703021	0420427018	City of Springboro	0 W Central Ave	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
701756	0420427009	Music Limited Partnership	512 W Central Ave	Springboro, OH 45066	Music Limited Partnership	405 Main St	Springboro, OH 45066
703152	0420427019	City of Springboro	0 Clearcreek-Franklin Rd	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
549410	0414301004	City of Springboro	0 Clearcreek-Franklin Rd	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066



PROPOSED USES

The master plan may include one or more of the following residential types:

- Apartment/Multi-Family Dwelling
- Duplex/Attached/Two-Family Dwelling
- Attached townhome
- Triplex
- Carriage Unit

The master plan may include one or more of the following non-residential uses:

- Bank or Financial Institution w/drive through
- Outdoor Storage (accessory to a principal use)
- Bakery or Confectionary
- Personal Service Establishment
- Bar or Tavern
- Pet Day Care Facility
- Charitable or Philanthropic Use
- Private club
- Cultural, Municipal or Public Use
- Recreation
- Day Care Center
- Restaurant (with and without drive through)
- Farmer's Market
- Pet Day Care Facility
- Food Trucks
- Restaurant- Outdoor Dining
- Garden Center/Greenhouse
- Sales (indoor) of Products Manufactured On-Site
- Medical Clinics
- Seasonal Sales
- Office
- Temporary Uses
- Off-Street Public Parking Lot
- Vehicle Fueling Station
- Outdoor Entertainment (accessory to a permitted restaurant, bar, or tavern use)

Parcel Number	0414301006
Acreage	35.601
PUD Category	Mixed-Use
West District	
Residential (ac)	11.079
Retail (ac)	6.031
East District	
Residential (ac)	2.374
Retail/office (ac)	1.302
Hospitality (ac)	4.673
Other	
Parks/Public (ac)	4.662
Rights of way (ac)	5.48
Total Units (du)	327
Average Density (du/ac)	20.8
Open Space (ac)	8.885
% Open Space	25

PERMITTED USES

	Minimum Lot Width or Area	Minimum Open Space	Front Yard Setback	Sum of Side Yard Setback	Rear Yard Setback	Maximum Occupied Height	Minimum Occupied Height
Residential	16'	5%	5'	0'	3'	3 stories	1 story
Non-Residential	60'	5%	10'	10'	5'	3 stories	1 story

RESIDENTIAL UNITS MINIMUM FLOOR AREAS

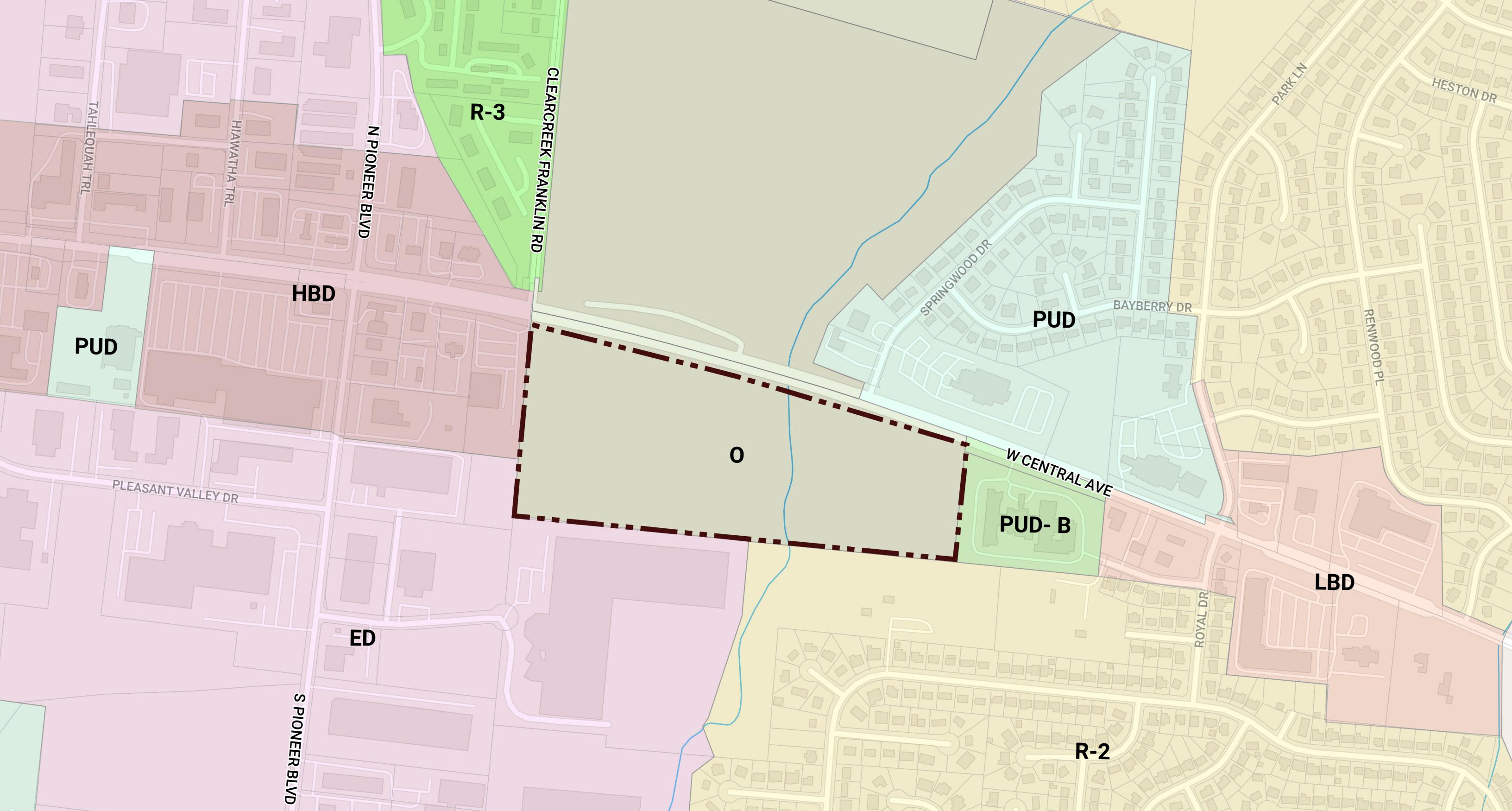
- Minimum unit size: 500 square feet.
- Minimum building footprint: 500 square feet



Vicinity Map

0 400 800 FEET





Zoning

O - OFFICE PARK DISTRICT

HBD - HIGHWAY BUSINESS DISTRICT

LBD - LOCAL BUSINESS DISTRICT

PUD - PLANNED UNIT DEVELOPMENT DISTRICT

PUD-B - PLANNED UNIT DEVELOPMENT- BUSINESS

R-2 - LOW DENSITY RESIDENTIAL DISTRICT

0 400 800 FEET





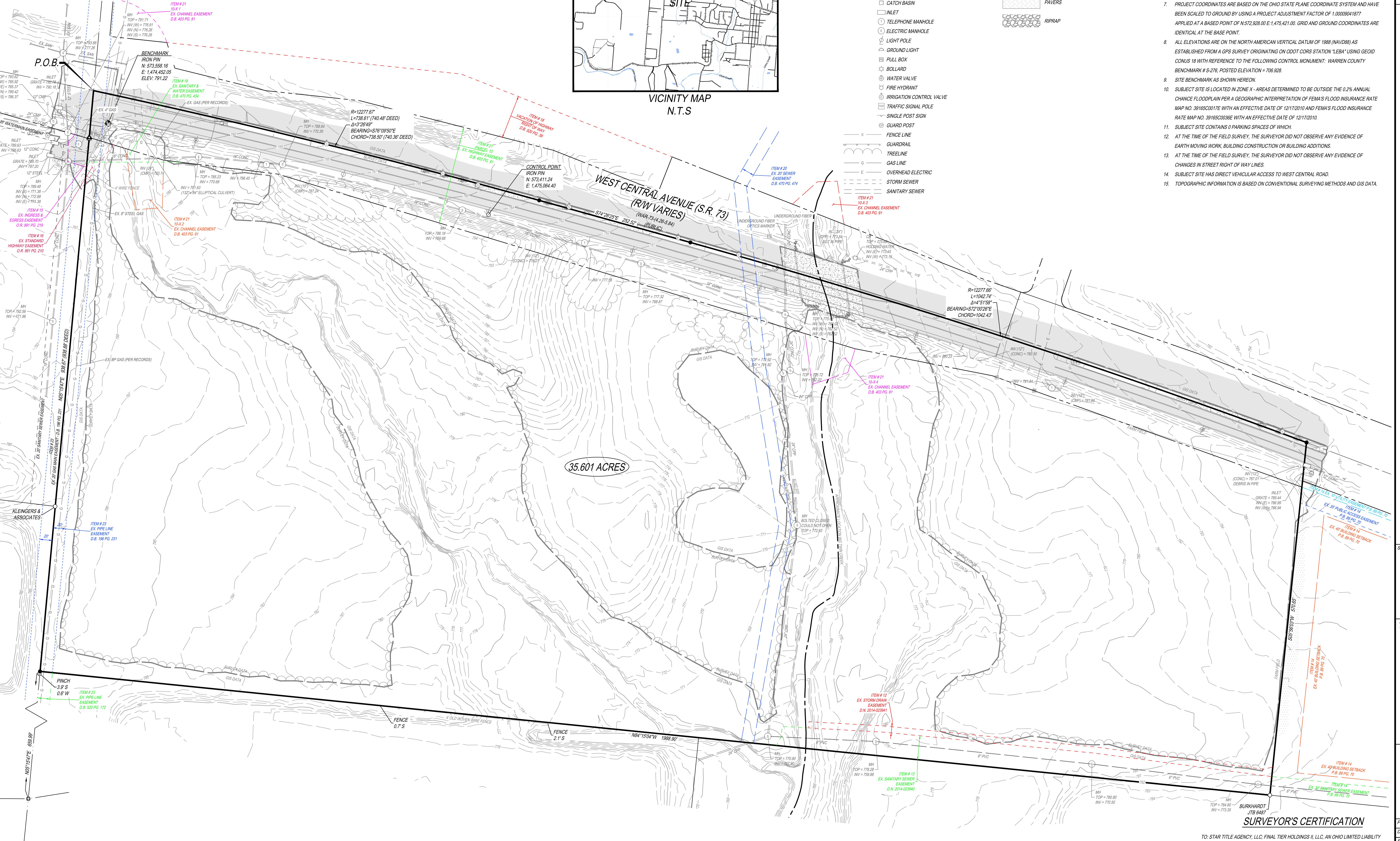
NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A
COMPILED AVAILABILITY RECORD INFORMATION AND
SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND
MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE
EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES
CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY
PROTECTION SERVICE AT 811 OR 1-800-662-2764 BEFORE ANY
PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



**GIS WITH
FLOODPLAIN**

SHEET NO.

1-1





January 21, 2026

PC Minutes

for review

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, January 21, 2026

I. Call to Order

Chair Becky Iverson called the Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice Chair, Robert Dimmitt, Steve Harding, Scott Marshall, John Sillies.

Staff Present: Dan Boron, City Planner; Chad Dixon, City Engineer and September Bee, Planning Commission Secretary.

Ms. Iverson announced that the City of Springboro City Council appointed Mr. Matt Schnipke to fill the vacancy on the Planning Commission Board and he will be attending the meetings starting on February 11, 2026.

II. Approval of Minutes

December 17, 2025 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Harding motioned to approve the December 17, 2025 Planning Commission minutes. Mr. Marshall seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

III. Election of Officers for 2026 Chair and Vice Chair

Ms. Iverson asked for nominations for Chair.

Mr. Harding nominated Ms. Iverson as Chair.

Ms. Iverson asked if there were any other nominations for Chair. There were none. She asked if there was a second for the nomination. Mr. Sillies seconded.

Ms. Iverson called for a vote appointing Mr. Iverson as Chair of Planning Commission for 2026.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Ms. Iverson asked for nomination for Vice Chair.

Mr. Harding nominated Mr. Pearson as Vice Chair.

Ms. Iverson asked if there were any other nominations for Vice Chair. There were none. She asked if there was a second for nomination. Mr. Marshall seconded.

Ms. Iverson called for a vote appointing Mr. Pearson as Vice Chair of Planning Commission for 2026.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

IV Agenda Items

A. Final Approval, Minor Change to Approved General Plan, Clearview Crossing PUD-R, Planned Unit Development-Residential, southwest corner East Central Avenue (SR 73) and Red Lion-Five Points Road, addition of home plans and exterior elevations to approved list

Background Information

This agenda item is a request submitted by Cristo Homes seeking approval for a minor revision to the approved general plan for the Clearview Crossing PUD-R, Planned Unit Development-Residential, located at the southwest corner of East Central Avenue (SR 73) and Red Lion-Five Points Road. Clearview Crossing was approved for rezoning and general plan review as a PUD by Planning Commission in January 2023, and by City Council in April 2023. The final development plan was approved by the Planning Commission in July 2023, and record plan review and approval from Planning Commission and City Council took place in 2024. The developer of the subdivision has been Maronda Homes of Cincinnati; Maronda Homes has also been the sole home builder to this point, and their home designs were included in the approved general plan. Maronda Homes has sold some of the remaining unbuilt lots to Cristo Homes; in turn Cristo Homes has submitted a request to allow 16 new home designs with variations for use in the subdivision. These designs are like the ones originally approved for the subdivision in 2024; the plans will need to meet other conditions of the 2024 approval including excluding the use of vinyl siding.

Chapter 1266, PUDs, of the Planning and Zoning Code classifies the proposed change as a minor revision to the approved general plan. Minor revisions such as the one proposed are approved by Planning Commission; no City Council action is necessary. Two similar revisions to the Northampton PUD-R were approved by the Planning Commission in 2025.

Staff Recommendation

Staff recommends approval of the revision to the approved general plan for Clearview Crossing PUD-R, Planned Unit Development-Residential, subject to the following comments:

1. Vinyl may not be used as a primary exterior building material in the subdivision.
2. Setbacks are measured from the overhang.
3. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).
4. Will the proposed house plans fit on homesite with the existing setbacks and other development standards for the subdivision?

Discussion

Mr. Craig Rassi, Maronda Homes, was present to answer questions from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said this item is like two requests that were made last year, both by M/I Homes for the Northampton subdivision. This request falls under the minor changes category and does not need to be approved by Springboro's City Council, but it does require review by Planning Commission to incorporate into the approval.

Maronda Homes is selling twenty undeveloped lots in the Clearview Crossing subdivision to Cristo Homes. Cristo would like to add to the approved list of plans, reviewed and approved in 2023. Staff reviewed the plans submitted by Cristo and they are like the already approved plans for Maronda. All the staff conditions of approval required for Maronda will apply to the Cristo buildings, including the prohibition of vinyl siding. In total, 16 new plans have been submitted.

Ms. Iverson asked if there were any further questions or comments. There was a brief discussion about the similarity in the new styles of homes being submitted and it was agreed that the plans were acceptable.

Ms. Iverson asked Mr. Rassi if he had any questions or comments. He did not.

Ms. Iverson called for a motion to approve the Final Approval, Minor Change to Approved General Plan, Clearview Crossing PUD-R, Planned Unit Development-Residential, southwest corner East Central Avenue (SR 73) and Red Lion-Five Points Road, addition of home plans and exterior elevations to approved list.

Mr. Pearson motioned to approve the Final Approval, Minor Change to Approved General Plan, Clearview Crossing PUD-R, Planned Unit Development-Residential, southwest corner East Central Avenue (SR 73) and Red Lion-Five Points Road, addition of home plans and exterior elevations to approved list subject to staff comments. Mr. Harding seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Ms. Iverson said the motion carries.

B. Preliminary Review

Final Development Plan, Northampton Phase 3 PUD-R, Planned Unit Development-Residential, 1405 South Main Street (SR 741), residential subdivision

Background Information

This agenda item is based on an application filed by M/I Homes of Cincinnati, owner and developer, requesting preliminary review of the final development plan for the Northampton 3 PUD-R, Planned Unit Development-Residential, located at 1525 South Main Street (SR 741). The Northampton 3 subdivision was rezoned to PUD-R by City Council in September 2025 following review and approval by Planning Commission earlier in the year. The subdivision includes 34 single-family lots and open space. The

subdivision ties in the developing Northampton 1-2 subdivision to the south by way of the primary entrance drive, Highlands Street, and a secondary access point to Perthside Drive.

The final development plan is like the general plan reviewed by Planning Commission in 2025, however the following changes to the general plan were requested by City Council:

- That additional screening along South Main Street be added.
- That ODOT-approved safety rails be added along the walk-bike path adjacent to the retention pond.
- That any ponds be consistent in design with similar subdivisions within the City, and not like those installed in Northampton 1-2.
- That all conditions of approval of the general plan/rezoning be incorporated.

Exhibit 1, enclosed in the meeting materials, includes all conditions referenced above.

Staff Comments

City staff has the following comments on the proposed general plan:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached).
2. Regarding the landscaping plan, revise as follows:
 - a. Landscaping along South Main Street frontage meets September 4 Council approval for evergreen and shade trees (11 provided, 9 required), andamentals (4 provided, 3 required).
 - b. West buffer landscaping exceeds requirement (14 provided, 12 required).
 - c. For north buffer requirement, 44 trees are required (1,740 linear feet/1 tree per 40 linear feet), but 80 are provided between the 68 equivalent tree calculation provided on sheet 8 of 11 for meeting, and the 12 trees shown between lot #25 and South Main Street (12 trees). Credit for the 36-tree overage to the site landscaping requirement. See also (f) below.
 - d. Provide landscaping on south property line at rate of 1 tree/40 feet (1,880 linear feet or 47 trees (1 tree/40 linear feet)).
 - e. Provide 93 shade (1 shade tree/40 feet of 3,700 feet of frontage) and 37 ornamental (1 ornamental tree/100 feet of 3,700 feet of frontage) trees on internal street network. Staff identified 74 trees on the internal network. Trees may be clustered to provide impact at key areas of the subdivision.
 - f. A total of 205 site trees required per code Section 1280.04(f). Less the 36 trees recommended in (b) above, and the 44 trees included in the buffer on lots 25-34, 125 trees to be installed elsewhere on the site.
 - g. Indicate mechanism for maintenance of landscape buffer shown on lots 25-34.
3. All multiuse trails to be built to current AASHTO standard. Proposal for internal paths under review by non-motorized transportation consultant.
4. Detention pond grading to remain outside of proposed right of way line along the internal roadway and along SR 741. Add retaining walls if necessary.
5. Retaining walls to be maintained by the HOA. Add appropriate easements.
6. Verify street names.
7. Verify lot square footage on lots 25 through 34. Revise accordingly.
8. Cluster Mailbox Units to be reviewed and approved by the postmaster.

Discussion

Mr. Justin Lanham, M/I Homes, and Mr. Jeff Puthoff, Choice One Engineering, were present to answer questions or comments from Planning Commission members and staff.

Ms. Iverson said this item is on the agenda for Preliminary Review only and no vote will be taken at this meeting. She asked Mr. Boron for a summary of this item.

Mr. Boron said this is a final development plan, which is the second step of the three-step process for approval of PUDs. Northampton Phase 3 is the Calmes property and will interconnect with the Northampton Phase 1 and 2 subdivisions.

The changes to the final development plan are relatively minor because so much detail has already been provided by M/I Homes and the team from ChoiceOne in previous reviews of the general plan for this property. There are several staff comments, mostly having to do with the landscaping plan which was the subject of discussion back and forth between staff, comments received from the public, as well as members of the City Council and the development team from M/I Homes.

City staff received two sets of comments from members of the public and those have been forwarded to all Board members. The comments are primarily regarding landscaping.

Ms. Iverson said there was a strong desire from residents and City Council as well, to buffer the corridor along SR 741. She asked Mr. Lanham if he had any questions regarding the staff comments.

Mr. Lanham said he would like to discuss staff comments #3 - #8 first and then return to comment #2 regarding the landscaping. Regarding staff comments #6, verifying street names, there are two sets of street names on the drawing, Highlands and Calmes. M/I Homes would like to go with Calmes to honor the family at the previous property owner's request.

Mr. Dixon said the name change would have to be approved by both the fire and police districts that the name is not a repetition; if it is not a repetitive name, the name change from Highlands to Calmes would be acceptable.

Mr. Lanham asked if staff comment #7 was just asking that the lot sizes noted on the drawings be verified by their team.

Mr. Boron said yes, they just need to be verified to ensure they are correct and accurate.

Mr. Lanham said M/I Homes was fine with all the remaining comments but would like to discuss staff comment #2 regarding the landscaping requirements. Referring to the landscaping plan, he said that before the general plan review in November, ChoiceOne had gone to the site and measured and identified all the trees and they are accounted for on the landscaping drawing. There are 103 trees in the 15-foot no clear zone that will be saved. Once calculated in the zoning code this comes out to a 202-tree total reduction credit. How will that credit be applied?

Mr. Boron said it can be credited first with the northern boundary perimeter requirement and then elsewhere, including the site requirement.

Mr. Lanham said they will be planting 44 new trees along the back of lots 25 - 34 in the front half of the buffer zone. In addition, along the northern property line, in the open space, there will be 12 more trees planted. The wooded area not included in the no clear zone will be cleared of trees.

Mr. Boron said the areas that the City is looking for trees that must be planted are along SR 741, on the streets internal to the system and rest are negotiable, including the trees on individual parcels. The 202 trees on the north side not only apply to that buffer, but the remainder can be distributed around to meet the site requirements. Because some of the staff calculations were incorrect, the number of trees discussed in staff comment #2f will be much reduced. If the northern perimeter requirements that were the subject of discussion during the City Council review are met, the remaining trees can be distributed as needed.

Referring to staff comment #2d, Mr. Lanham said that on the southern property line, the line shared between Phase 3 and 1-2, has a sharp drop from the rear of the top lots to the lower lots. The top will be planted with the code-required number of trees, but would it be acceptable to cluster them there or will they be required to plant them along the entire edge?

Mr. Boron said that because they are separate PUDs, they do need to meet the requirements of having trees along the entire property at the rate of 1 tree per every 40 linear feet. These trees can be any type of tree, including evergreens and ornamentals; they do not all have to be shade trees.

Mr. Lanham asked if they had to be located along the southern property line because while they do not plan to have a retaining wall in that area, it will have a long slope, and the concern is how well the trees will survive with water runoff.

There was a brief discussion about the type of trees that might do well on the slope and it was determined that once the topography and grading plan has been finalized for the south edge of the property, Planning Commission members would accept with staff accepting plans showing the trees will be in the same vicinity but not necessarily right on the property line.

Mr. Lanham addressed staff comment #2e, providing trees on the internal street network. They have 74 trees and 130 trees are required. They will add 56 more trees; there are already plans to have two trees per lot, so they will add two more trees to each lot to meet the requirements.

Mr. Boron said the trees can be any type of trees and they can be clustered. They do not need to be evenly spaced along the streets so they can be more creative with their design with a mix of trees to work with.

Mr. Lanham moved on to staff comment #2g, mechanism for maintenance of landscape buffer shown on lots 25 – 34. He said that the HOA maintenance easement would be responsible for removing dead, diseased trees and vegetation as opposed to the property owner being responsible for the removal.

Mr. Boron stated that HOA documents typically are not done as part of the final development plan but as part of the Phase three Record Plan Approval.

Ms. Iverson asked if Mr. Lanham had any further questions. He did not.

Mr. Harding asked about the timing for the addition of the four-way intersection lining up with the Heatherwoode Boulevard entrance.

Mr. Puthoff said they were wrapping up the entirety of the widening of SR 741 and will be submitting them to Engineering staff for their review in early February 2026. The roadwork itself will start soon after the end of the school year.

Mr. Pearson asked if there were any elevations available for the northern retention pond; any rendition of what it might look like from the road?

Mr. Puthoff said there was nothing included in this submittal, but they could supply staff and Planning Commission members with more information about how the grading will look and a rendering of what that will look like from South Main Street. There will not be a retaining wall or any additional signage.

He added that the layout and calculations for drainage are usually part of the construction plan phase. Rough calculations have been submitted to Engineering staff, and they have enough information to know that their idea will work, but more consideration will be given to the aesthetic side of things to make sure it meets the standards set at the City Council's review of their plan.

Ms. Iverson asked if there were any other questions or comments. There were none. She said the Planning Commission meeting will move on to guest comments at this time.

V. Guest Comments

Ms. Iverson asked for any guest comments.

Mr. Tim Ombrello, 1317 South Main Street, introduced himself and said he was here to represent all of the neighbors who live directly to the north of 1405 South Main Street to voice their concerns about the Northampton Phase 3 development. He thanked the City Council and Planning Commission members for being attentive to the desires of the neighbors.

He said they would like to keep as much of a visual boundary to the north as possible. They would like to see more evergreens incorporated into the plan and mounding and reiterated how concerned they all were about the seasonal creeks running through their properties and asked that the drainage system design minimize any changes to the creeks.

Ms. Iverson thanked Mr. Ombrello for his comments.

VI. Staff Comments.

Ms. Iverson said that the next Planning Commission meeting will be held on Wednesday, February 11, 2026, at 6:00 pm in Council Chambers. The deadline for submittals for the meeting is January 23, 2026, but the due date can be extended slightly because tonight's meeting was moved back a week.

Ms. Iverson asked members who attended the Miami Valley Planning and Zoning Workshop in December to give a summary of their experiences at the event.

Mr. Marshall and Mr. Pearson both said they had attended the morning conference discussion addressing ADA laws and accessibility for all. They agreed that it was informative and overall thought that the conference was successful and well worth their time.

Mr. Marshall said that he may be arriving late to the February meeting but should be able to attend. All other Planning Commission members present said they would be at the next meeting.

Ms. Iverson added that Mr. Schnipke will be attending the meeting for the first time in February and he will be officially welcomed at that time.

Ms. Iverson asked for further questions or comments. There were none.

VII. Adjournment

*Mr. Harding motioned to adjourn the January 21, 2026 Planning Commission Meeting at 6:44 pm
Mr. Sillies seconded the motion.*

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; (6 yes – 0 no)

Becky Iverson, Planning Commission Chairperson

Dan Boron, City Planner

September Bee, Planning Commission Secretary