

**Agenda**  
**City of Springboro Planning Commission Meeting**  
**Wednesday, August 20, 2025, 6:00 p.m.**  
**Council Chambers, City Building, 320 West Central Avenue**

- I. Call to Order
  
- II. Approval of Minutes
  - A. July 9, 2025 Planning Commission Meeting
  
- III. Agenda Items
  - A. Final Approval, Final Development Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component
  
  - B. Preliminary Review, Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in rear yard setback
  
- IV. Guest Comments
  
- V. Planning Commission and Staff Comments
  
- VI. Adjournment

**Background Information & Staff Recommendations**  
**City of Springboro Planning Commission Meeting**  
**Wednesday, August 20, 2025, 6:00 p.m.**  
**Council Chambers, City Building, 320 West Central Avenue**

**III. Agenda Items**

**A. Final Approval**

**Final Development Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component**

**Background Information**

This agenda item is an application of a final development plan, submitted by CASTO, Columbus, Ohio, seeking approval to construct the multifamily component of the Easton Farm located at 605 North Main Street (SR 741). CASTO's application was submitted under the authority of Easton Farm Partners, LLC, of Columbus, Ohio, owner. Final development plan review and approval by Planning Commission is the second step in the three-step Planned Unit Development (PUD) approval process. The application includes several elements including civil engineering and site layout, building elevations and floor plans, and design standards.

This item was reviewed on a preliminary basis at the March 19 and June 11 Planning Commission meetings. At the conclusion of the June 11 review the Planning Commission authorized the applicant to submit plans for formal approval at a future Planning Commission meeting.

The property at 605 North Main Street (SR 741), commonly known as the Easton Farm, was rezoned to PUD-MU, Planned Unit Development-Mixed Use, under order of the Warren County Court of Common Pleas in 2022. The order, a Judgment Entry, rezoned the property from R-1, Estate-Type Residential District, to PUD-MU with four components: a mixed-use area on the northeast corner of the property, a residential component comprising the bulk of the property, a component on the west edge property reserved for maintenance of the original farmstead including two single-family homes and farm buildings, and a multifamily component, located on the southeast corner of the property, that is the subject of this application. Since the Judgment Entry, the City of Springboro purchased 60 acres of the site originally proposed for the residential component.

No other components of the PUD-MU will be discussed as part of this application except for the street connections necessary to accommodate the multifamily component's development. The Judgment Entry provides for review of the details for the multifamily component by Planning Commission through the final development plan process. No review or approval by City Council is required of the final development plan.

Since the June 11 review of the final development plan, the applicants have removed vinyl as an exterior building material, provided links to walkways on the larger development, expanded the submittal to include construction details, provided plans for lighting and signage, and made revisions to the landscaping plan.

The multifamily component is 11.83 acres in area with frontage on North Main Street (SR 741). The property will also have frontage on Easton Farm Boulevard and Noel Drive. Easton Farm Boulevard is the principal access road to the PUD-MU and is located proximate to the existing driveway to the property/farmstead. Direct access to the multifamily component is by way of two drives accessing

Noel Drive.

CASTO's proposal for the multifamily component includes 248 apartment units, four fewer than the 252 units permitted under the 2022 Judgment Entry. The residential buildings range in size from 8 to 30 units. All the apartment buildings contain no more than three occupied floors. CASTO proposes 127 one-bedroom, 117 two-bedroom, and 4 three-bedroom apartments.

Also proposed in the component is a clubhouse (including rental office), mailroom/maintenance facility, and a pool, all internal to the apartment buildings. On the south end of the component is a programmed green space, dog park, and pickleball area. The southeast corner of the site includes a retention pond.

A total of 476 parking spaces are proposed for the site, up from the 360 proposed in the March 19 plan. This includes 159 garage spaces on the first floor of the apartment buildings, and 207 surface parking spaces. No structured parking is proposed.

### **Staff Recommendation**

City staff recommends approval of the final development plan for the multifamily component of the Easton Farm PUD-MU contingent on addressing the following comments:

1. List permitted uses on proposed for the component: multi-family residential dwellings, uses and structures normally accessory to the use on sheet C3.0 (copy from page 3 of design manual).
2. Proposed lighting fixtures are consistent with Chapter 1273, Exterior Lighting, of Planning and Zoning Code and Dark Sky provisions. The following needs to be addressed in the plan on sheet E4-201:
  - a. Lighting levels in parking/circulation areas need to be within range of 0.4 and 6.0 foot-candles and conform with uniformity standards expressed in with maximum to minimum (no more than 10:1), and average to minimum (no more than 4:1) ratios.
  - b. See Table 9 in Chapter 1273 for lighting level minima/maxima for building entrances, walkways, and other side elements.
  - c. Lighting for pickleball courts to comply with lighting uniformity standards.
  - d. Lighting (AL2 P2) in adjacent public right-of-way is outside this review.
3. For landscaping plan, please address the following:
  - a. On sheet L2.0, under Site Landscaping remove statement \*Buffer trees count towards this requirement. They do not, however, the number of trees provided appears to meet standard.
  - b. Provide landscaping on SR 741 frontage adjacent to proposed detention area.
4. Signage plan to be reviewed by Zoning Inspector. consistent with Chapter 1281 of Planning and Zoning Code. In the meantime, the following comments apply:
  - a. Signage not permitted on residential structures. See also comment #19f.
  - b. Development signs to be designed for entire PUD and situated at SR 741/Easton Farm Boulevard intersection outside of this review process; development signage to be moved inbound of that intersection towards intersection of Easton Farm Boulevard and Noel Drive.
  - c. Identity and other signage to be submitted to Zoning Inspector for review separate from the final development plan process.
5. Bike racks to be consistent with APBP Bicycle Parking Guidelines; contact City staff for additional information.
6. Mechanical systems, if applicable, to be screened from rights-of-way immediately adjacent to site through building design for rooftop mechanical, and landscaping/fencing for ground units.
7. Public roadway construction drawings (Easton Farm Blvd & Noel Drive & SR 741) under review.

8. Roadway Improvements are to be completed as a part of the FDP, including the roadway frontage of Easton Farm Blvd and Noel Drive as well as SR741 traffic signal improvements and turn lanes at the agreed upon schedule.
9. Storm water pollution prevention plan (SWPPP) to meet EPA requirements.
10. Move storm sewer along the south boundary to be 7 feet offset from northerly easement line.
11. Provide water master meter in each building in a meter room.
12. Add a sewer span and manhole along Street A to the west of Noel Drive (120 feet at 0.5%) tying into manhole AA. Add note stating 6" sewer laterals to be SDR 35 or SCH 40 material at min 2% slope.
13. Provide record plan replatting the site to include the new boundary for the apartments, additional right of way along Noel Drive, along with any other revisions due to roadway/site plan revisions. Also add street names and label them as private on the record plan, as well as adding public water and sewer easements.
14. Add curb stops within three feet of water lateral tap at main line. Provide 4" water main material on plans (ductile iron pipe class 52).
15. Verify that 30-unit buildings requires two~4" water laterals.
16. How is maintenance of the detention pond being accomplished, through a development association? Provide documentation for review.
17. An "AS BUILT" drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.
18. The following comments apply to the July 25 development standards:
  - a. Page 2, paragraph 3, change phrase to "radii shall be a minimum" in first sentence.
  - b. Page 3, per comment #1, include this information on sheet C3.0.
  - c. Page 3, use requirements table, remove or cite superscript 1 reference after Multi-Family.
  - d. Page 9, paragraph 1, remove last phrase "unless otherwise noted below." All standards meet Chapter 1273 provisions.
  - e. Page 11, under Parking Ratio, update figure to 1.92.
  - f. Page 13, remove Building Signage provision.

## **B. Preliminary Review**

### **Variance Request, 295 Montgomery Lane, Beck Ridge PUD-R, Planned Unit Development-Residential, covered patio in required rear yard setback**

#### **Background Information**

This agenda item is an application, filed by Nathan Carmack, contactor, on behalf of Hannah and Daren Yingling, property owners, requesting a variance from the minimum rear setback to allow the construction of a covered patio on the residence located at 295 Montgomery Lane in the Beck Ridge subdivision. The rear yard setback for this property is 25 feet; the applicants would like to construct an attached covering to an existing patio to within 16 feet of the rear property line.

Beck Ridge is zoned PUD-R, Planned Unit Development-Residential. The Planning and Zoning Code provides relief from the strict interpretation of the code in PUDs such as Beck Ridge from the Planning Commission. Variances from the strict interpretation of the code for conventionally-zone properties (R-2, HBD, O-R for example) from the Board of Zoning Appeals.

The City has asked the applicant to provide documentation from the Beck Ridge homeowners association (HOA) indicating approval of the proposed construction, as well as neighbors owning properties on abutting property.

## **Staff Comments**

City staff has the following comments regarding this variance request.

1. Complete variance application with City staff (fee, etc.).
2. Provide documentation from Beck Ridge HOA and adjacent property owners.

The information contained in this report is based on material provided to the City of Springboro as of Thursday, August 7, 2025 at 12:00 p.m.



# **Easton Farms Multi-Family Buildings FDP**

City of Springboro  
320 West Central Avenue  
Springboro, OH 45066  
Phone: (937) 748-4343  
Fax: (937) 748-0815  
[www.ci.springboro.oh.us](http://www.ci.springboro.oh.us)

# APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN

FINAL DEVELOPMENT PLAN

RECORD PLAN

VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner  
 Agent  
 Lessee  
 Signed Purchase Contract

**APPLICANT NAME:** Easton Farm Apartments, LLC

Address: 250 Civic Center Drive  
Suite 500

Telephone No. ( 614 ) 744-2057

Fax No. ( )

Email Address ctumblin@castoinfo.com

**PROPERTY OWNER NAME (IF OTHER):** Easton Farm Partners, LLC

Address: 985 N. High St., Suite 200, Columbus, OH 43201

Telephone No. (614) 356 - 5659 (Jeff Fontaine)

Property Address or General Location: 605 N. Main St.

Parcel Number(s): 1414240001 Acreage: 11.81 acres

PUD Category:  Residential  Retail  Office  Manufacturing  Mixed Use

If Mixed Use, Acreage in Each Category: \_\_\_\_\_

For Residential Proposed Density ~21 Units/A Number of Residential Units 248

Proposed Use: Multi-Family

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

  
\_\_\_\_\_  
(Signature of Applicant and/or Agent)

7/22/2025  
\_\_\_\_\_  
(Date)

Chris Tumblin (VP of Development, Casto)  
\_\_\_\_\_  
Printed Name

## EASTON FARM APARTMENTS - INTRODUCTION

**Project:** Easton Farm Apartments will consist of approximately 248 multi-family units on  $\pm 11.8$  acres. The Project is located on the west side of State Route 741, between Anna Drive and Gardner Park to the north, and North Park and Tamarack Way on the south, in the City of Springboro.

The following Master Plan Exhibit shows Easton Farm Apartments, relative to other future, planned development in the immediate vicinity. The following standards are only applicable to the Project, as defined above and not to the other surrounding development parcels.

### Master Plan Exhibit



## PUBLIC RIGHT OF WAY & UTILITIES

The following requirements are applicable to the public roadways immediately adjacent to the Project, Noel Drive and Easton Farm Boulevard. These requirements shall not be applicable for interior, private streets within the Project.

**Utility Easements along Streets** - All public street utility easements shall fit within planned street ROW's or in dedicated service lanes where possible, and are to be located under pavement, landscape and sidewalk areas as necessary. Deviation from this requirement may be considered by the City for specific site conditions that prove a variation is necessary. Private utilities to be within established easements.

**Street Radii Corner Radii & Clear Zones** - Corner curb radii shall a minimum of twenty feet (20') as determined by the intended use. To allow emergency vehicles (e.g. fire ladder trucks) to turn corners, a twenty-five-foot (25') radius Clear Zone may need to be established free of all vertical obstructions including but not limited to street lighting poles, decorative bollards, wayfinding signage, sign poles, fire hydrants, utility boxes, or dense vegetation landscaping or street trees.

**Utility and Equipment Locations** - All utility and telecommunication distribution lines along public right of way shall be located within underground established easements, with all visible, utility access boxes placed as to not interfere with building pads, sidewalks, pathways and other pedestrian zones, light poles, wayfinding, directional or other street signage, parking areas, landscaping other than trees. Any above ground fixture or device should be visually screened from public pedestrian and vehicular zones, preferably within landscape beds, landscaped parking 'islands' and/or landscape buffer areas.

## MULTI-FAMILY DEVELOPMENT REQUIREMENTS

The following standards are applicable to the Project, as defined on Page 1.

**Permitted Uses:**

Use	Approved
Accessory Buildings, Structures, and Uses	x
Multifamily Apartments	x
Condominium Residential	x
Essential Services and Utilities	x
Home Occupations	x
Co-Working Space/Ancillary Office Use	x
Ancillary Recreational Uses <sup>1</sup>	x

- 1) Including, but not limited to sport courts, swimming pools, dog parks, walking trails, grilling areas.
- 2) Co-working spaces will be for the use of residents and their invited guests only.

**Use Requirements:**

The following is applicable for all structures allowed as Permitted Uses.

Use	Front Yard	Sum of Side Yard Setback	Rear Yard Setback	Max Occupied Stories/Height
Multi-Family <sup>1</sup>	0'	0'	15'	3 stories
Accessory Structures	5'	5'	5'	2 stories
Parking	10'	10'	10'	N/A
Sidewalk	0'	0'	0'	N/A

Note: Setbacks above, are minimum setback requirements.

- 1) Stairs from the multi-family buildings located along Noel Drive shall be allowed to protrude into the setback and general utility easement, provided there is a minimum of 10' of clear space within the easement where private utilities may be located.

## SITE DEVELOPMENT

**Utility and Equipment Screening** - All exposed structures requiring open-air locations, particularly rooftop mechanical/HVAC equipment, utility and/or other functional hardware, whether located atop, attached, or separated from the building it services, shall be adequately screened from public view. If atop a structure, these features shall be screened behind parapets, decorative roof elements, or screen enclosure walls for a visual distance of no less than one hundred feet (100'). Screen devices shall be fabricated to match and/or enhance the overall architectural massing, with materials and colors harmonious with the overall building(s) or block where applicable. Where possible, such elements as generators, electrical and telecommunication cabinets and ground mounted mechanical/HVAC equipment shall be adequately screened by either screen walls or dense landscaping if they are in open area settings.

**Service/Loading Area Screening** - All trash containers, recycling bins, compactors, shall be placed or screened as is practical from public view, preferably in rear, or side yard or interior service rooms. Where exposed to public view, such components shall be adequately screened with architecturally complementary access doors and screen walls, and/or berms or dense landscaping. Screen wall, doors and/or roof enclosure elements are to be constructed of materials, colors, trim and/or patterns to mimic the primary architectural character of surrounding buildings.

**All service bay screen walls** will mimic building design, materials, colors of walls and fences, if visible from any public right-of-way, and shall be uniform and compatible with the base-building architectural style, color and building materials of the principal building and its surroundings.

**Fencing** - Any or all fencing is to be painted or powder-coated metal railing, set into ground or bolted/incorporated into a wall or between pier supports. Chain link fences are not permitted along the public right-of-way, but may be placed only around the dog park, tennis courts, pickleball courts, or other similar recreational facilities and in service areas screened from public view. In the case chain link fence is utilized, it shall be black or green vinyl coated and shall be maintained in good condition.

**Open Space Area Requirements** Open space shall be provided at a ratio of 25%.

Note: For the purposes of this section, Open Space is defined in the Definitions Section.

## BUILDING DESIGN

**Architectural Character** - The following architectural design guidelines are meant to achieve the result of establishing consistent, high-quality design, materials and construction that works with the site and streetscape guidelines to establish and reinforce the 'neighborhood' design and planning goals.

**Orientation to Street** – Building entrances shall be oriented toward the street, primary right of way, open areas or courtyard unless deviation is appropriate. Buildings located on an intersection shall have consistent architectural style and detailing on both street-fronting elevations.

Accessory building entrances, including the clubhouse, water service building, or maintenance building shall not be required to be oriented toward the street.

**Orientation of Windows and Doors** - All windows and doors, openings or frame fenestrations located within an opening shall be 'vertical' in orientation, meaning a primary design character of most building openings reflects a more top to bottom aesthetic.

**Glass Materials** - Clear or colored glass, translucent, sandblasted and/or decorative pattern glass that can emit light through is encouraged.

**Building Materials** - Building materials shall be commercial grade, and applied in variety of stylish, creative and clever applications across the expanse of all visible public-facing elevations. Acceptable materials shall be consistent with Section 1264.04 (h)(4) of the City of Springboro's Development Standards.

**Rooflines** - Flat roofs are permitted, however, parapets or the underside of roof eaves should showcase some form of cornice or similar design element, masonry and/or brick trim and/or patterning, decorative blocks/brackets, moldings or some form of architectural emphasis along the roofline to tie that element to the building massing below. Where an adjacent building's façade, which adjoins it, has a similar roofline height, a variation of the parapet or roofline is required.

NOTE: All rooflines must be designed to fully screen any rooftop HVAC, utility, or functional equipment from view by a pedestrian standing at ground level, at a location up to 100 feet from the building footprint and at a base elevation comparable to that of the subject building.

**Building Heights** – Buildings shall be limited to three (3) stories in height.

Individual structures should feature a variety of heights, utilizing elements such as roofline variation, decorative towers or portal elements, steeples, pediments, clerestories, dormers or domes, consistent with the overall architectural character and these architectural guidelines. The height of enclosed unoccupied building elements may not exceed a maximum height up to sixty feet (60') from main street level grade. Purely decorative unoccupied elements such as mansard and/or peaked roofs may be located on top of enclosed space, to a total building height of no more than seventy feet (70').

**Building Massing** - Individual buildings and any attached structures should strive for complementary building massing, reminiscent of traditional townscape/ streetscape patterns. “Monoplanar” or monolithic appearance and surfaces, with little variation in setbacks, wall fenestration, or rooflines are not permitted.

Building massing should take into account adjacent buildings, property uses, sightlines, identity, and relationship to its site to accomplish building a contextual variety in its overall massing. As noted above, elements such as rooflines, setbacks, decorative architectural elements, visual openings and wall fenestration elements such as ‘pop-outs’, window openings, trellises, pergolas, verandas, entrances, piers, pilasters, decorative panels, or grilles, and eaves or cornice lines are highly encouraged, and visual articulates a structure’s overall massing and creates pedestrian scale to its overall context.

**Color Consistency** Color scheme(s) should help to visually tie all parts of building massing(s) together. Monolithic or singular color schemes and appearances are discouraged, but monochromatic color palettes featuring shade variations are acceptable. Colors used at the front façade should be utilized on the sides and rear of buildings.

## LANDSCAPING

**Purpose** - The purpose of the landscape design guidelines is to create a cohesive and higher quality landscape design throughout the site and enhance the overall surrounding development. The landscape design guidelines and requirements shall take precedence over the landscape regulations in the city's ordinance.

**Plant Material Selection** - Plant materials shall be chosen which are indigenous, moderately fast growing and require low maintenance. Plants shall be salt-spray tolerant, compatible with existing soil conditions and tolerant of a wide range of conditions. All planted surfaces shall be maintained in good working order. The landscape design shall incorporate the total development site, be in context with adjacent users, and consist of a palette of plants with year-round appeal which might include annuals, perennials, shrubs and trees.

**Planting Standards** - Shade trees shall have a DBH (diameter at breast height) of at least 2 inches, ornamental trees shall have a DBH of at least 1.5 inches, and evergreen trees shall be at least 6 feet high at the time of planting. Deciduous and evergreen shrubs shall be a minimum of 18 inches at the time of planting with no fewer than 6 main branches.

**Surface Parking Area Screening** – Head in parking spaces and driveways adjacent to public streets shall be screened to a height of 36 inches above the finished parking surface.

**Internal Parking Lot Landscaping** - A minimum of five percent (5%) of any one total interior surface parking area shall be landscaped with planted islands or landscape island beds for every linear run of no more than 16 parking spaces. Exceptions to this rule are if the entire run is no more than 15 spaces, or if a landscaped cross-surface walk is aligned within or part of a larger landscape island or row, or if an irregularly shaped island creates a naturally larger landscape bed area where the edges may be more low plantings, and the interior may be more lawn in season. A minimum of one (1) trees, of no less than 2" caliper. At least 50% of each interior landscaped area shall be covered by living plant material, such as sod, shrubs, perennials, or groundcover. The use of all mulch islands shall be prohibited.

**Exemptions** - Parking area landscape requirements shall be waived if the surface parking area is not, nor will ever conceivably be, visible from a public right-of-way, or is considered a temporary use.

**Planting Island Requirements** - Planted islands shall be at least 9' in width (face-of-curb-to face-of-curb) and the length of the adjacent parking space with a pervious surface area adequate for proper root aeration and expansion.

**Screening Materials** - Plants used as screening shall have 100% opacity year-round. Screening material shall be one (1) foot more than the height of the screened structure but not exceed ten (10) feet in height. Screening material shall be of a height and density so as to provide the full desired effect within three (3) growing seasons.

**Street Trees Along Public Right of Way** – Areas fronting public right of way shall be planted with regularly spaced shade trees, with a minimum of one (1) tree per 40 linear feet of road frontage (minimum 2” caliper). Openings for driveways and sidewalks shall not be counted for the purposes of computing road frontage length. Where tree lawns are provided, street trees shall be centered within the tree lawn. All street trees will need to be coordinated with utilities and be located a minimum of twenty (20) feet from intersections and ten (10) feet from fire hydrants or utility poles. The aforementioned street trees may be planted within the public right of way, provided there is an agreement in place with the City for maintenance and ongoing upkeep of the landscape. Street trees may be planted within a public easement, if the location is approved in writing by the City’s staff.

**Buffers** – With the exception of the southern property boundary, landscape buffers between adjacent properties shall be a minimum of 10 (ten) feet in width and have one (1) tree per forty (40) linear feet. Landscape buffers along state route 741 shall be a minimum of 10 (ten) feet in width and have one (1) tree per forty (40) linear feet.

**Site Landscaping** – One (1) tree shall be planted per 3,000 square feet of open space. Trees planted within buffer areas shall count towards the minimum number of site trees required.

**Street Furniture** - ‘Street furniture/furnishings’ are key features of public spaces that can greatly facilitate in creating vibrantly-used pedestrian spaces along all streetscapes, open spaces and connecting outdoor areas. These features include such basic items as benches, trash receptacles, bollards, drinking fountains, wayfinding and street signs. Other elements include game areas and surfaces, moveable tables, chairs, outdoor lounge seating groupings, picnic benches and tables, market umbrellas, outdoor fireplaces, water features, children’s play areas, sculpture and other durable, exterior public art. Street furniture shall be chosen and placed in consultation with the City and shall be located within agreed zones to maintain a clear pedestrian path. Street furniture shall be made of materials consistent with extended public use. These materials include painted or powder-coated metal with a matte finish; wood in either a stained, painted or treated finish; outdoor grade fabrics and canvas, and in certain instances, high-impact, composite or resin-based materials that mimic natural finishes that are weather and fade resistant. All street furniture and public features shall always be maintained in good working order and appearance by their respective owner(s) and repaired or replaced as necessary. Street furniture shall be consistent in material, color and style along both sides of any street in public areas facing other developments. All street furniture elements, either new or replacement that vary in color, material, number, placement or size from prior approved plan(s) are subject to an administrative review and approval by the City.

## VEHICULAR AND PEDESTRIAL CIRCULATION

All outdoor lighting of buildings, surface parking areas, service zones, or any non-illuminated, surface mounted project signage, shall be directed to prevent glare on adjacent properties and streets to the extent feasible. Their placement, along with all support posts/poles and brackets, shall be consistent in fabrication quality, and selected to enhance the overall design character of the development. Exterior lighting to comply with City requirements in Chapter 1273, Exterior Lighting, unless otherwise noted below.

**Street Lighting** - Consistent and commercial grade fixtures for street and pedestrian lighting shall be provided on all streets, sidewalks and pedestrian pathways, including public gathering/event spaces, both public and private within the Property. Street and pedestrian poles shall be located at all intersections and along sidewalks at intervals.

Note: All lighting fixtures, light levels, placement and scale needs to be coordinated with any existing adjacent or abutting streetscape, developed property, or proposed project to avoid redundant fixtures and 'over-lit' conditions along these interfaces. Street lighting shall be scaled to the pedestrian, with pedestrian street support posts no less than 12' high to underside of actual fixture, which shall be the recommended minimum height.

Pedestrian light poles are to be featured within all community gathering space areas. Streetlight fixtures shall be painted or powder coated metal, with a matte finish. An alternative for public spaces, gathering areas, and pedestrian pathways are low-profile LED, internally lit bollards, placed at intervals to fully illuminate all pedestrian surfaces, or concealed, undermount lighting that surface illuminates or 'washes' pedestrian walk or gathering areas. A street/pedestrian lighting plan, showcasing a fixture schedule, light levels, and placement within the Property, and showing any adjacent existing fixture(s) and placement, shall be submitted to the City for approval.

**Safety** - The safe and functional movement of both vehicles and pedestrians, on and off-site, shall be provided as the primary consideration in designing transportation networks within the Property, and all site plans shall be crafted to minimize such conflicts wherever possible.

**Pedestrian Circulation** - Pedestrian circulation is highly encouraged, and can be accomplished via sidewalks, crosswalks, cross-surface lot walkways, community gathering spaces, plazas, terraces, seating and amenity zones, hard-surface paths, bike paths, and permeable pathway surfaces. These varying pathways should be crafted to connect buildings, and surrounding development parcels. Early site planning should make this a core design consideration within and along the edges of the Property.

**Sidewalks** - Where appropriate, sidewalks shall be provided along the front of every multi-family building. Sidewalks shall be intentionally developed to interconnect different land use areas and open spaces. Sidewalks along the public right of way should be no less than 5' wide.

**Sidewalks and Buildings** - Pedestrian connections, including crosswalks, sidewalks and pathways shall be provided along any surrounding streets, along the front of any building or group of structures, on all specified and dedicated public streetscapes.

**Open Space/Gathering Spaces** - Usable and functional open spaces and programmable event spaces are encouraged. This may include/allow for landscaped traffic islands, pedestrian plazas, arrival courts, landscaped sidewalk/pathway areas, game areas, dog parks, tenant amenity features such as water features, retention ponds, fireplaces and seating areas, general green space, playgrounds, tot lots, pocket parks and other recreational uses.

## OFF-STREET PARKING REQUIREMENTS

Size of parking spaces and aisles Parking spaces and drive aisles shall be sized in a manner consistent with the following chart, unless specifically allowed otherwise by the City.

PARKING DIMENSIONS					
ANGLE (DEGREES)	0	30	45	60	90
Stall Width	8'	9'	9'	9'	9'
Stall Length	23'	18'	18'	18'	18'
Stall Length Perpendicular to Aisle	8'	17'	19'	20'	18'
Aisle Width, One Way	12'	12'	12'	18'	24'
Aisle Width, Two Way	20'	20'	20'	22'	24'
Total Width, One Stall, One-Way Aisle	20'	29'	31'	38'	42'
Total Width, Two Stalls, One-Way Aisle	28'	46'	50'	58'	60'
Total Width, One Stall, Two-Way Aisle	28'	37'	39'	42'	42'
Total Width, Two Stalls, Two-Way Aisle	36'	54'	58'	62'	60'

The number of parking spaces, which are required in each usage classification, are as follows:

**Parking Ratio** – The Project shall have a minimum parking ratio of 1.70 spaces per dwelling unit.

Note: The above parking ratio does not include available parking location within adjacent Noel Drive. The City and Developer have agreed that approximately 50 parking spaces will be constructed along Noel Drive. The residents living at the Project and their visitors will have access to these parking spaces, thus increasing the effective parking ratio for the Project.

**Off-Street Surface Parking Lot Placement** - Any off-street, surface parking areas shall be set back a no less than ten feet (10') from any existing, surrounding public arterial, including along the property line adjacent to State Route 741 and along the length of Easton Farm Blvd. Placement of surface parking areas should be related to both the building type served and the adjacent buildings, connecting streetscapes and uses, which may require the lot to be screened by building or landscaping from surrounding streets and/or pedestrian pathways.

## DRAINAGE & WATER DETENTION

**Detention** – Storm retention/detention pond is proposed within the Project along the southern boundary of the site near State Route 741. The area surrounding the basin shall be landscaped with lawn and a variety of tree plantings.

## SIGNAGE/ENVIRONMENTAL GRAPHICS

**Signage/Environmental Graphics** – Signage shall comply with Chapter 1281 of the City of Springboro code unless otherwise noted below.

**Building Signage** – Signage may be placed on a principal or accessory building. Building signage shall be measured based on the actual dimension of the lettering to its furthest extents. Any individual building signage area shall not exceed 60 square feet (maximum limit shall not impact monument signage sizing).

**Monument Signage** – Up to two monument signs shall be allowed. Acceptable primary materials include: pre-cast masonry, brick, decorative block, cementitious siding, wood (both new and reclaimed in specific applications), metal, natural stone, cast or cultured stone. Accent/supplemental materials may include stucco, EIFS, or materials of equal appearance consistent with the acceptable architectural character of the project.

**Signage Lighting & Lettering** – Lettering may be backlit or internally illuminated. Any direct light fixtures for a ground sign shall be positioned in a manner that prevents glare.

## Definitions

The following words when used in this Development Standards document or any supplement hereto (unless the context shall prohibit) shall have the following meaning:

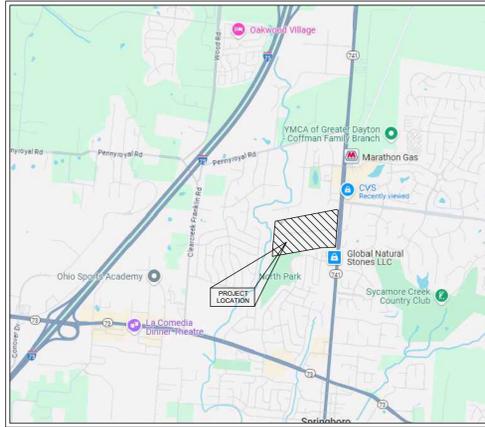
1. “ACCESSORY STRUCTURE” A building, clubhouse shed, covering, water room, maintenance building, or vertical design element which is subordinate and/ or supportive to a main or primary building or series of buildings. Such structures are often freestanding but may be attached if the use requires, and are often purely functional and/or decorative, and in architectural harmony with its primary building(s). Accessory structures are predominantly one story and may be habitable and/or climate controlled as use permits.
2. “CITY” shall mean the City of Springboro, Ohio
3. “DEVELOPER” shall mean and refer to the record owner, whether one or more persons or entities, of the fee simple title to the Property. Developer shall not mean or refer to any mortgagee or subsequent holder of a mortgage, unless and until such mortgagee or holder has acquired title pursuant to foreclosure or any proceedings in lieu of foreclosure.
4. “FENESTRATION” shall mean openings in a building elevation, such as windows and doors.
5. “HOME OCCUPATION” shall mean a home-based business restricted to the owner or tenant of any residential dwelling unit and up to two employees, and shall not include noxious or disruptive functions, including the disruption of parking for neighboring residents. Home occupation uses are not limited to accessory structures.
6. “IMPERVIOUS SURFACE” shall mean any material that substantially reduces or prevents the infiltration of storm water into previously undeveloped land. Impervious surfaces shall also mean any surface that has been compacted or covered with a layer of material so that it is highly resistant to infiltration by water. Impervious surface shall include compacted sand, lime rock and clay as well as conventional surfaces such as gravel driveways, parking areas, surfaced streets, roofs, sidewalks, structures and other similar surfaces.
7. “MAXIMUM UNOCCUPIED HEIGHT” shall mean the height limit on certain Structures, as set forth herein, measured from front exterior grade level to the highest unoccupied level of an enclosed Structure.
8. “OPEN SPACE” shall mean any hardscaped, landscaped, grass or appropriate vegetation area, including, but not limited to a retention pond, dog park, open lawn, programmed tenant/pedestrian areas, park area, sport courts and areas reserved for general recreational uses. Open Space shall not include landscaped islands within parking areas.
9. “SET BACKS” shall mean designated areas adjacent to lot lines on which the construction of buildings is not permitted.

10. “STORMWATER MANAGEMENT” shall mean the impoundment of stormwater in ponds, swales, or other collection devices, and the holding of such for a period of time and release at the prescribed rate determined by the City.

11. “STRUCTURE” shall mean any improvement on the Property that is capable of occupancy or use including, but not limited to, any building, garage, fence, wall, sign or any other temporary or permanent improvement.

# EASTON FARM APARTMENTS CONSTRUCTION DRAWINGS

SECTION 14, TOWN 2, RANGE 5 BTM  
CITY OF SPRINGBORO/CLEARCREEK TOWNSHIP  
WARREN COUNTY, OHIO



VICINITY MAP  
NO SCALE

## OWNER

HALL REBECCA & TED D.  
CO-TRUSTEES OF THE TED & REBECCA HALL  
LIVING TRUST DATED 4-8-99 1/2 INT. &  
COOK, RUTH E. & TODD W., CO-TRUSTEES OF  
THE COOK REALTY TRUST DATED 7-22-04 1/2 INT.  
605 N MAIN STREET  
SPRINGBORO, OHIO 45066

## BENCHMARK

CROSS NOTCH IN SIDEWALK  
ON WEST SIDE OF S.R. 741  
N: 577464.354  
E: 1480438.217  
ELEV: 883.35

## DEVELOPER

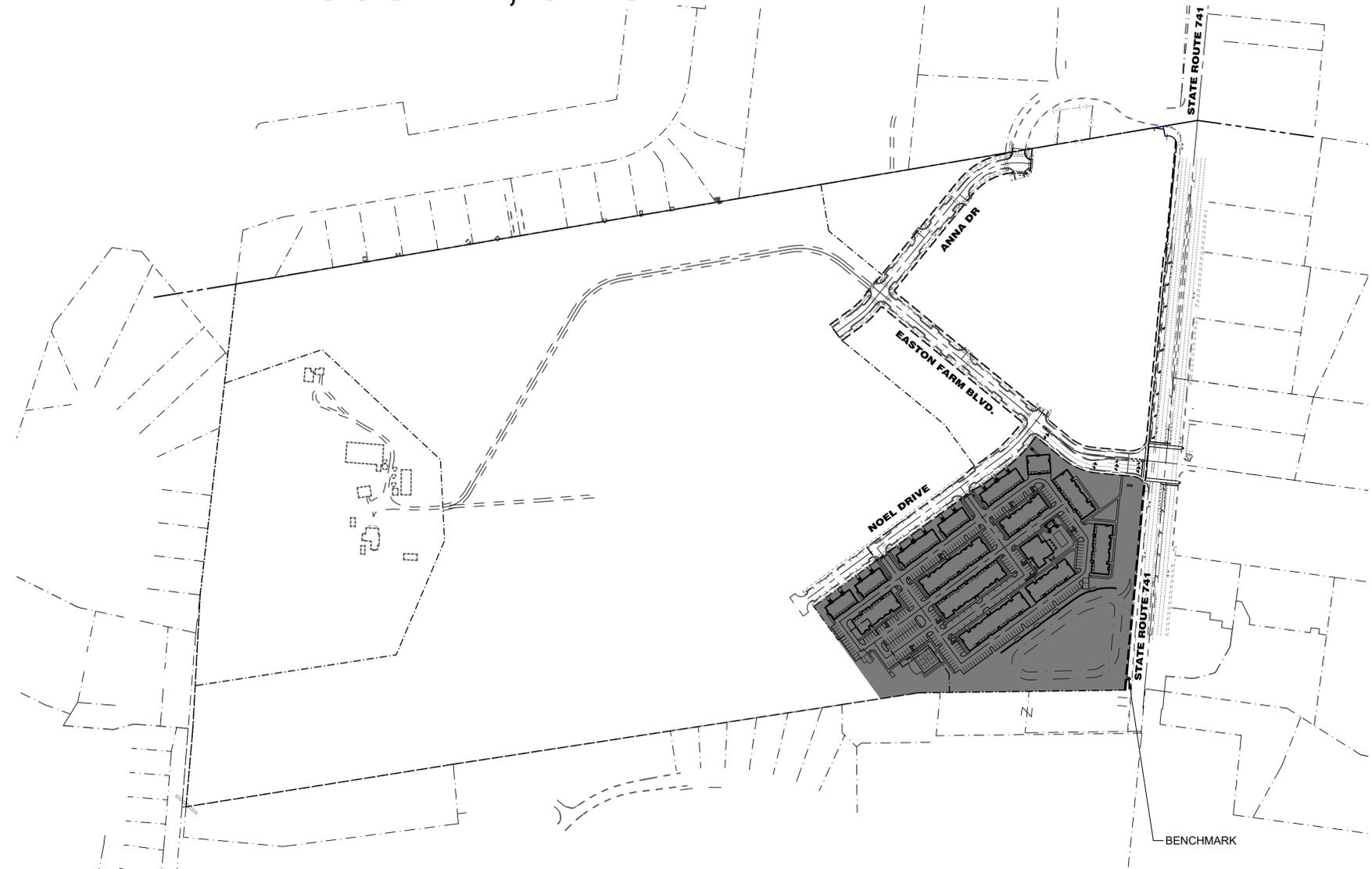
CASTO COMMUNITIES  
250 CIVIC CENTER DRIVE, SUITE 500  
COLUMBUS, OHIO 43215

## ENGINEER & SURVEYOR

BAYER BECKER, INC.  
6900 TYLERSVILLE ROAD, SUITE A  
MASON, OHIO 45040  
PH: (513) 336-6600

## INDEX OF SHEETS

DRAWING NO.	DRAWING TITLE	ISSUE DATE	REVISION NO.	REVISION DATE
C1.0	TITLE SHEET	07-25-25		
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C1.2	GENERAL NOTES	07-25-25		
C2.0	EXISTING CONDITIONS	07-25-25		
C3.0	LAYOUT PLAN	07-25-25		
C3.1	OPEN SPACE	07-25-25		
C3.2	SITE DETAILS	07-25-25		
C4.0	UTILITY PLAN - SANITARY & WATER	07-25-25		
C4.1	UTILITY PLAN - STORM	07-25-25		
C4.2	UTILITY PROFILES	07-25-25		
C4.3	UTILITY PROFILES	07-25-25		
C4.4	STORM & SANITARY DETAILS	07-25-25		
C4.5	SANITARY SEWER & WATER MAIN DETAILS	07-25-25		
C5.0	GRADING PLAN	07-25-25		
C5.1	EROSION CONTROL NOTES & DETAILS	07-25-25		
L1.0	LANDSCAPE TITLE SHEET	07-25-25		
L2.0	LANDSCAPE ZONING GRAPHIC	07-25-25		
L3.0	MATERIALS PLAN - OVERALL	07-25-25		
L3.1	MATERIALS PLAN - PROGRAMMED OPEN SPACE	07-25-25		
L3.2	DETAILS - PICKLEBALL COURT	07-25-25		
L3.3	DETAILS - PICKLEBALL COURT	07-25-25		
L3.4	DETAILS - PERGOLA	07-25-25		
L3.5	DETAILS - GATES AND FENCES	07-25-25		
L4.0	LANDSCAPE PLAN - OVERALL	07-25-25		
L4.1	LANDSCAPE PLAN - NORTHWEST	07-25-25		
L4.2	LANDSCAPE PLAN - NORTHEAST	07-25-25		
L4.3	LANDSCAPE PLAN - SOUTHWEST	07-25-25		
L4.4	LANDSCAPE PLAN - SOUTHEAST	07-25-25		
L4.5	LANDSCAPE PLAN - SIGN	07-25-25		
L5.0	LANDSCAPE DETAILS	07-25-25		
L5.1	LANDSCAPE SPECIFICATIONS	07-25-25		
E3-601	ELECTRIC LIGHTING - SCHEDULES	07-25-25		
E4-102	ELECTRIC SITE LIGHTING PLAN	07-25-25		
E4-201	ELECTRIC SITE LIGHTING PHOTOMETRICS	07-25-25		



AREA MAP  
1"=200 FT

## SITE SUMMARY

TOTAL PROPERTY AREA: 11.83 AC  
EXISTING ZONING: PUD-MU

### BUILDING SUMMARY:

1 BEDROOM APARTMENTS: 127 UNITS  
2 BEDROOM APARTMENTS: 117 UNITS  
3 BEDROOM APARTMENTS: 4 UNITS  
TOTAL: 248 UNITS  
MAXIMUM OCCUPIED HEIGHT: 3 STORIES

### DENSITY: 20.96 UNITS/ACRE

### REQUIRED SETBACKS:

BUILDING:  
FRONT = 0'  
SIDE = 0'  
REAR = 15'  
ACCESSORY STRUCTURE/USES:  
FRONT, SIDE & REAR = 5'  
PARKING:  
FRONT, SIDE & REAR = 10'  
SIDEWALK:  
FRONT, SIDE & REAR = 0'

OPEN SPACE:  
REQUIRED OPEN SPACE: 2.96 AC (25%)  
PROVIDED OPEN SPACE: 4.79 AC (40.5%)

## PARKING SUMMARY

### PROPOSED PARKING SUMMARY:

SURFACE PARKING:  
NOEL DRIVE: 53 SPACES  
STANDARD: 253 SPACES  
ACCESSIBLE: 11 SPACES  
TOTAL SURFACE: 317 SPACES

GARAGE PARKING: 160 SPACES

TOTAL PARKING: 477 SPACES

PROPOSED PARKING RATIO: 1.92 SPACES/UNIT

### BICYCLE PARKING:

REQUIRED: 20 SPACES  
(1 SPACE FOR EVERY 25 PARKING SPACES)

PROVIDED:  
SURFACE: 10 SPACES  
INSIDE: 10 SPACES  
TOTAL: 20 SPACES

## LEGEND



EASTON FARM  
APARTMENTS



Know what's below.  
Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE  
DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

EASTON FARM APARTMENTS  
CONSTRUCTION DRAWINGS  
SECTION 14, TOWN 2, RANGE 5 BTM  
CITY OF SPRINGBORO  
CLEARCREEK TOWNSHIP  
WARREN COUNTY, OH



www.bayerbecker.com  
6900 Tylersville Road, Suite A  
Mason, OH 45040 - 513.336.6600

Drawing: 25-0001 CD  
Drawn by: SJW  
Checked by: GJK  
Issue Date: 07-25-25

Sheet:  
**C1.0**

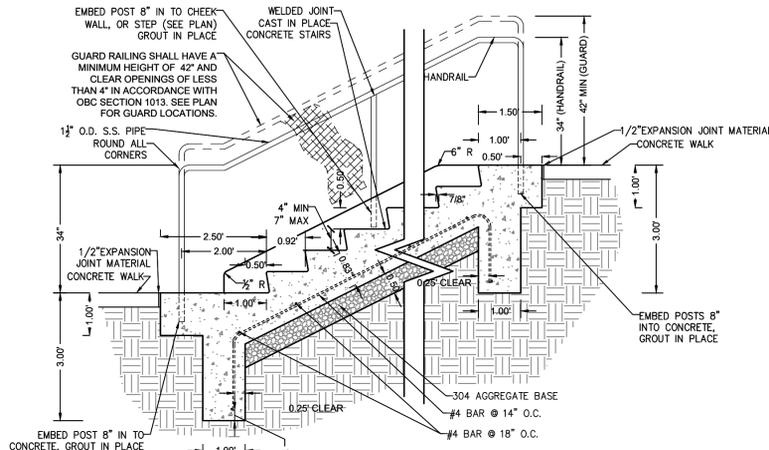




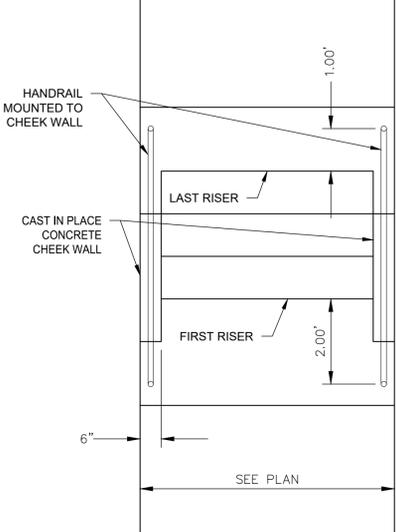




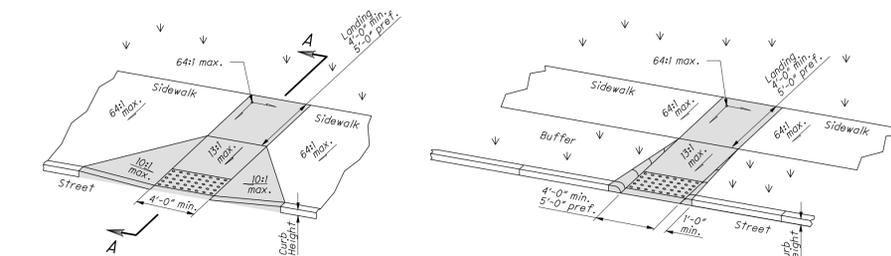




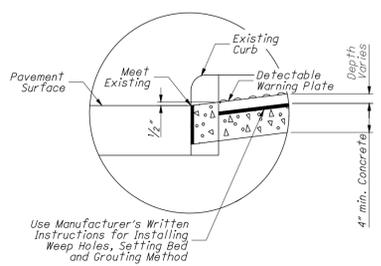
**STAIR/HANDRAIL DETAIL - PROFILE VIEW**  
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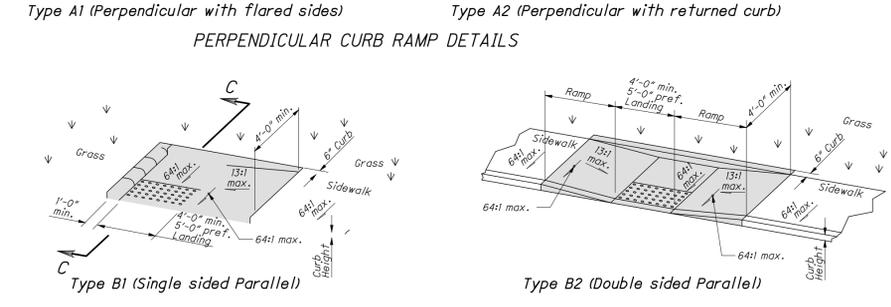
**STAIR/HANDRAIL DETAIL - PLAN VIEW**  
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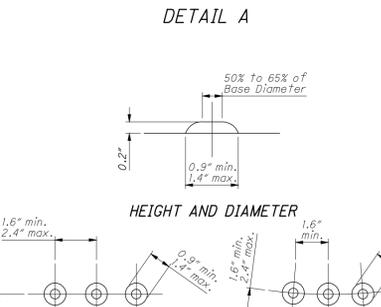
**PERPENDICULAR CURB RAMP DETAILS**



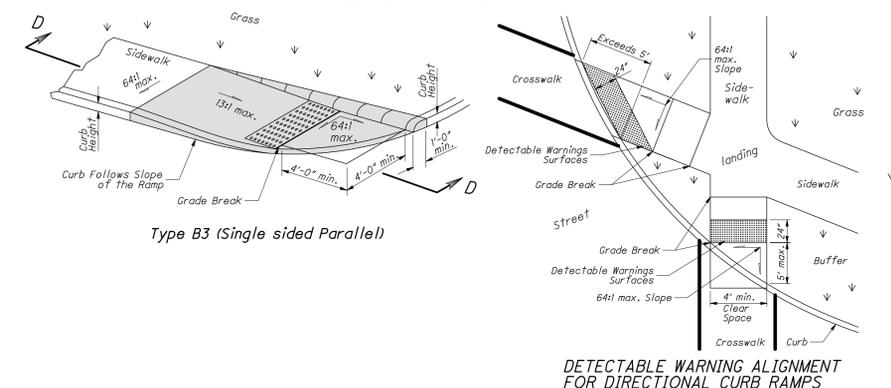
**DETAIL A**



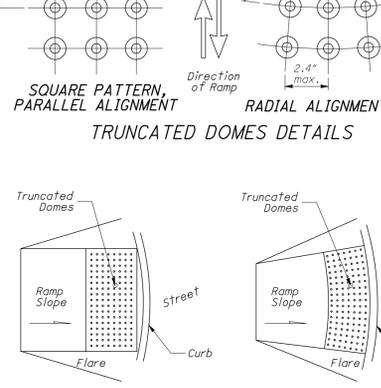
**PARALLEL CURB RAMP DETAILS**



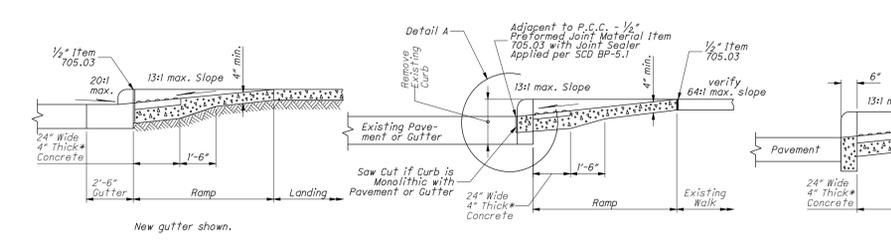
**HEIGHT AND DIAMETER**



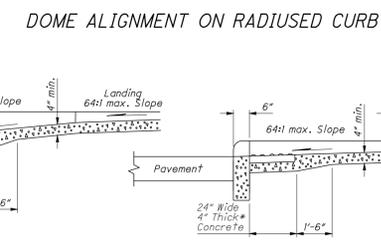
**DETECTABLE WARNING ALIGNMENT FOR DIRECTIONAL CURB RAMPS**



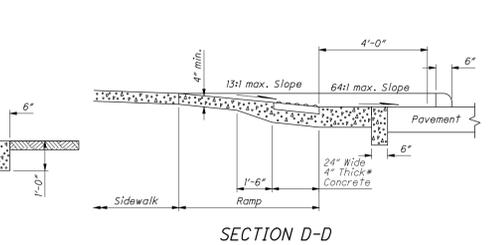
**TRUNCATED DOMES DETAILS**



**SECTION A-A NORMAL DETAIL**



**SECTION B-B**



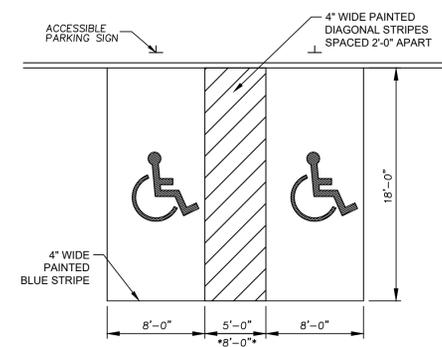
**SECTION C-C**

**SECTION D-D**  
See Sheet 2.  
\*Where possible, pour ramp area integral with the curb, otherwise use 6\"/>

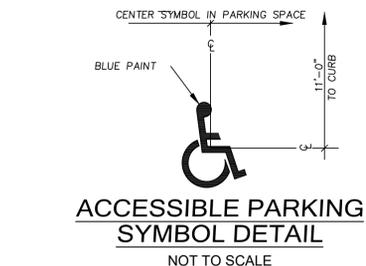
- HANDRAIL NOTES:**
1. SPACE INTERMEDIATE POST ASSEMBLIES EVENLY, 4'-0\"/>

- NOTES:**
1. SEE PLAN FOR NUMBER OF TRENDS/RISERS PER STAIRWAY.

- NOTE:**
1. INSTALL SIGNS AT EACH ACCESSIBLE PARKING SPACE.
  2. SEE SHEET C3.0 FOR SIGN LOCATIONS.
  3. ALL ACCESSIBLE STRIPING SHALL BE BLUE, SINGLE-STRIPED.



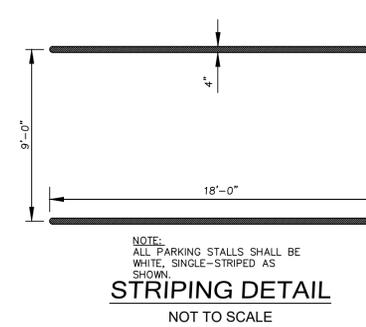
**ACCESSIBLE PARKING SPACE DETAIL**  
NOT TO SCALE



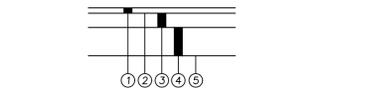
**ACCESSIBLE PARKING SYMBOL DETAIL**  
NOT TO SCALE



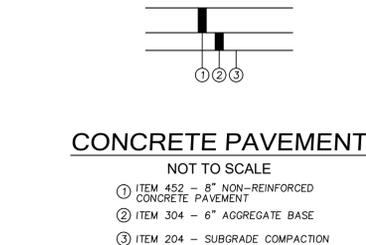
**ACCESSIBLE PARKING SIGN DETAIL**  
NOT TO SCALE



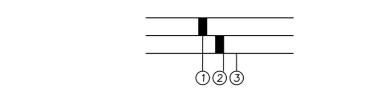
**STRIPING DETAIL**  
NOT TO SCALE



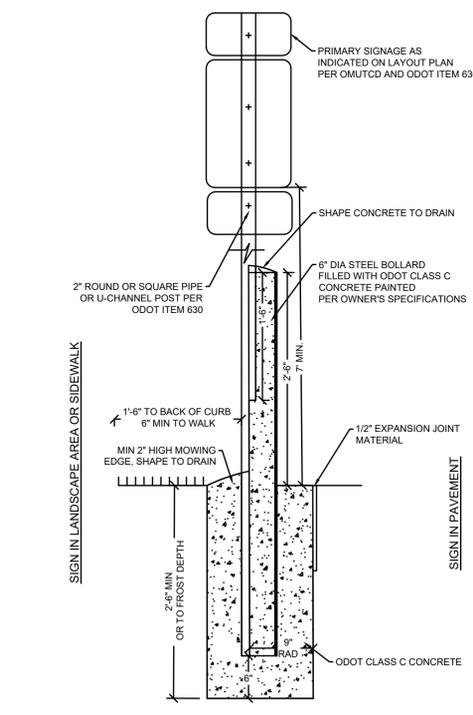
**HEAVY DUTY ASPHALT PAVEMENT**  
NOT TO SCALE



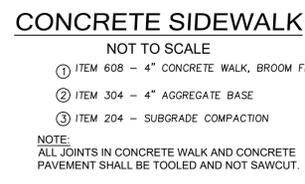
**CONCRETE PAVEMENT**  
NOT TO SCALE



**CONCRETE SIDEWALK**  
NOT TO SCALE



**TYPICAL SIGNAGE**



**O.D.O.T. TYPE 6 CURB DETAIL**  
NOT TO SCALE

**NOTE:** EXPANSION JOINT MATERIAL & JOINT SEALER ARE NOT REQUIRED FOR THAT PORTION OF THE CURB WHICH IS ADJACENT TO A FLEXIBLE TYPE PAVEMENT. BOTH MATERIALS ARE REQUIRED FOR THE FULL HEIGHT OF RIGID PAVEMENT AND CONCRETE BASES.

**811**  
Know what's below.  
Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

Plot time: Jul 24, 2025 - 5:05pm  
Drawing name: J:\2025\25-0001\CD\DWG\25-0001 CD.dwg - Layout Tab: C3.2 SITE DETAILS

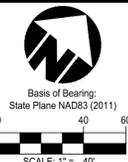
**EASTON FARM APARTMENTS CONSTRUCTION DRAWINGS**  
SECTION 14, TOWN 2, RANGE 5 BTM  
CITY OF SPRINGBORO  
CLEARCREEK TOWNSHIP  
WARREN COUNTY, OH

**bayer becker**  
www.bayerbecker.com  
6900 Tyersville Road, Suite A  
Mason, OH 45040 - 513.336.6600

Item	Revision Description	Date	Chk

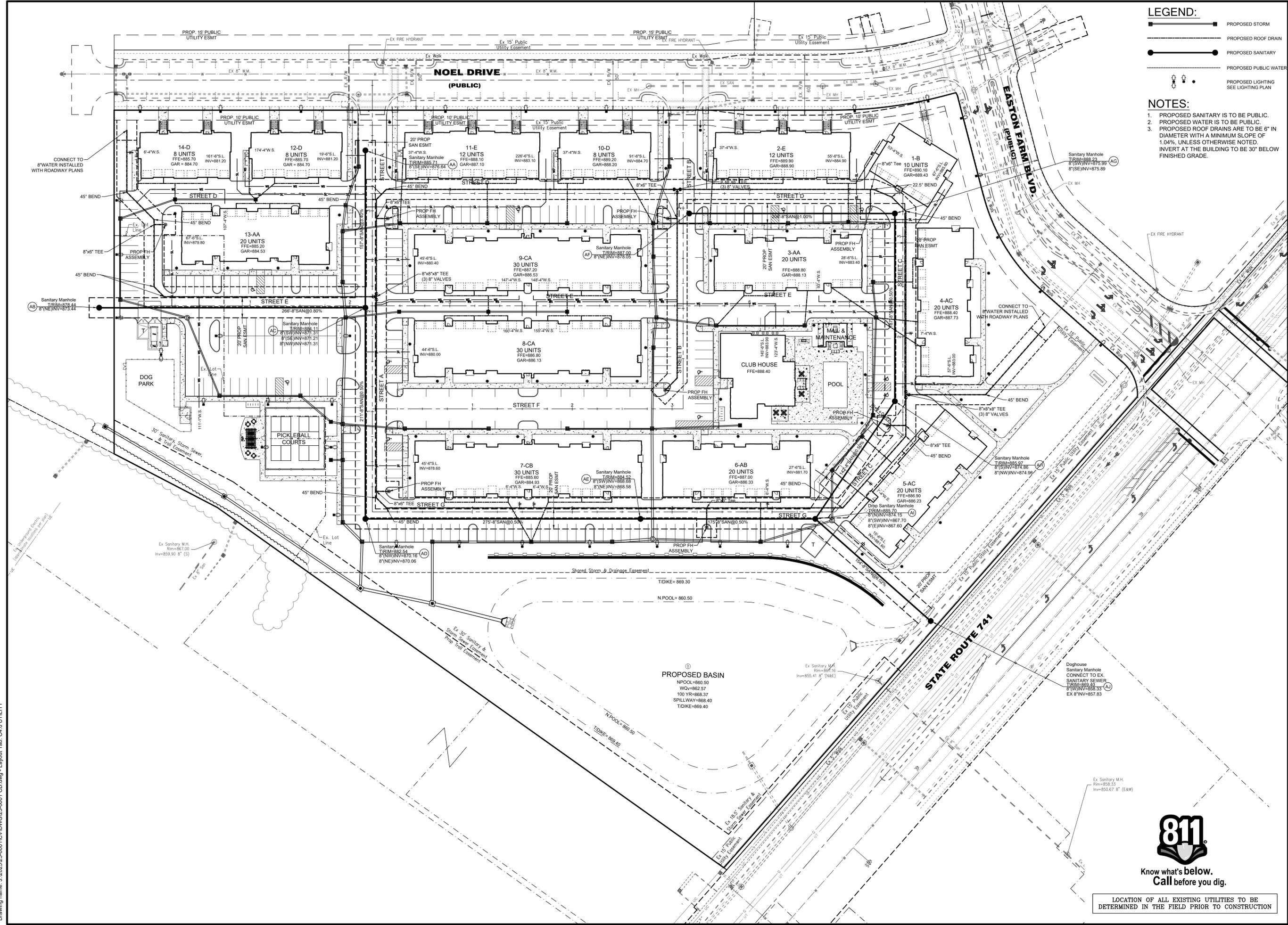
Drawing: 25-0001 CD  
Drawn by: SJW  
Checked by: GJK  
Issue Date: 07-25-25

Sheet: **C3.2**



- LEGEND:**
- PROPOSED STORM
  - PROPOSED ROOF DRAIN
  - PROPOSED SANITARY
  - PROPOSED PUBLIC WATER
  - PROPOSED LIGHTING SEE LIGHTING PLAN

- NOTES:**
1. PROPOSED SANITARY IS TO BE PUBLIC.
  2. PROPOSED WATER IS TO BE PUBLIC.
  3. PROPOSED ROOF DRAINS ARE TO BE 6" IN DIAMETER WITH A MINIMUM SLOPE OF 1.04% UNLESS OTHERWISE NOTED. INVERT AT THE BUILDING TO BE 30" BELOW FINISHED GRADE.



**EASTON FARM APARTMENTS  
CONSTRUCTION DRAWINGS**  
SECTION 14, TOWN 2, RANGE 5 BTM  
CITY OF SPRINGBORO  
CLEARCREEK TOWNSHIP  
WARREN COUNTY, OH

**UTILITY PLAN - SANITARY & WATER**

Item	Revision Description	Date	Drawn	Chk
1				

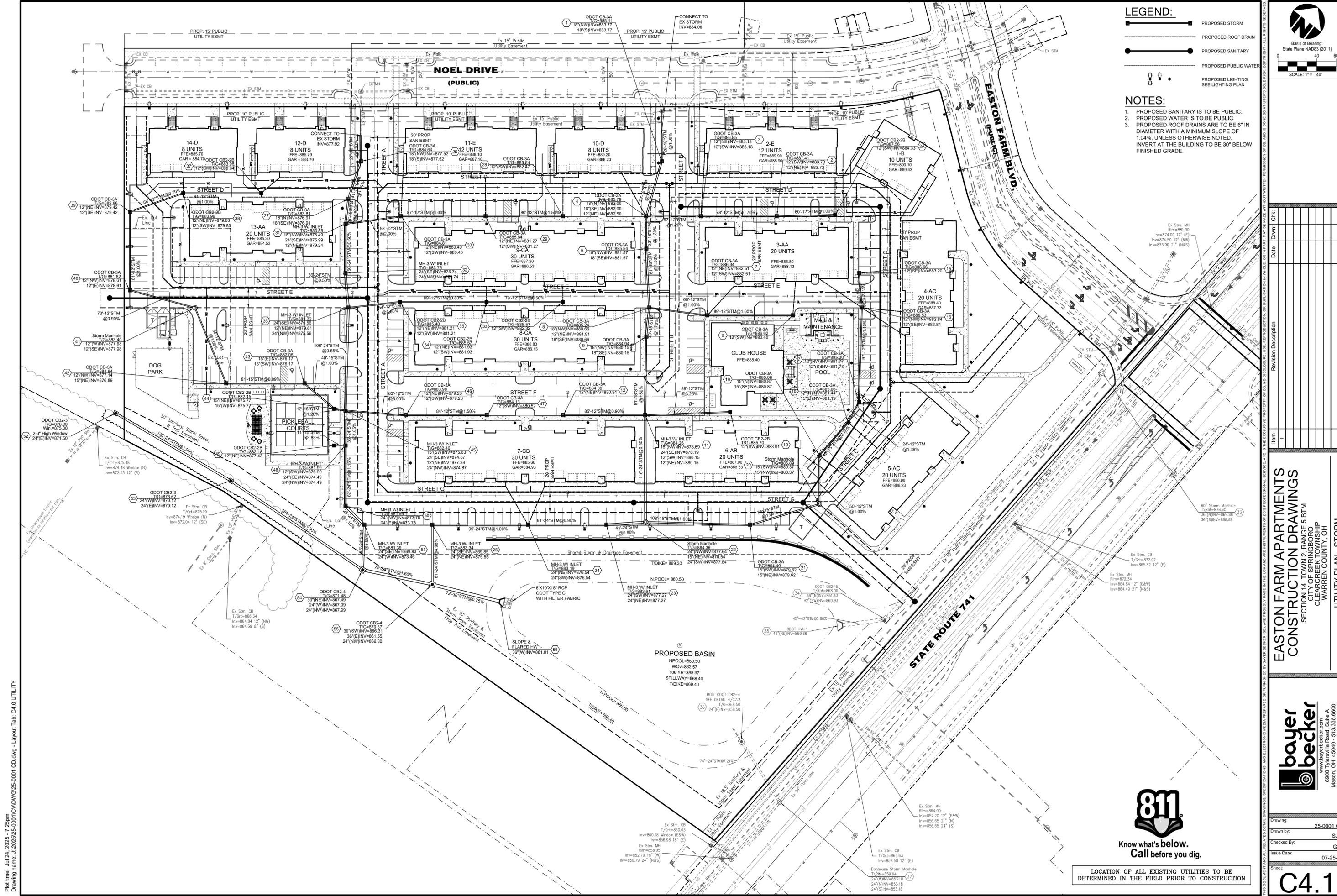
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**811**  
Know what's below.  
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LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

**C4.0**

Plot time: Jul 24, 2025 - 7:35pm  
Drawing name: J:\2025\25-0001\CV\DWG\25-0001\_CD.dwg - Layout Tab: C4.0 UTILITY

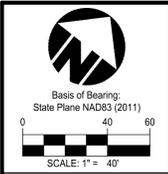


**LEGEND:**

- PROPOSED STORM
- PROPOSED ROOF DRAIN
- PROPOSED SANITARY
- PROPOSED PUBLIC WATER
- PROPOSED LIGHTING  
SEE LIGHTING PLAN

**NOTES:**

1. PROPOSED SANITARY IS TO BE PUBLIC.
2. PROPOSED WATER IS TO BE PUBLIC.
3. PROPOSED ROOF DRAINS ARE TO BE 6" IN DIAMETER WITH A MINIMUM SLOPE OF 1.04% UNLESS OTHERWISE NOTED. INVERT AT THE BUILDING TO BE 30" BELOW FINISHED GRADE.



Date	Drawn	Checked

**EASTON FARM APARTMENTS  
CONSTRUCTION DRAWINGS**  
SECTION 14, TOWN 2, RANGE 15 BTM  
CITY OF SPRINGBORO  
CLEARCREEK TOWNSHIP  
WARREN COUNTY, OH

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811  
Know what's below.  
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LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

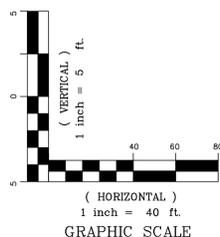
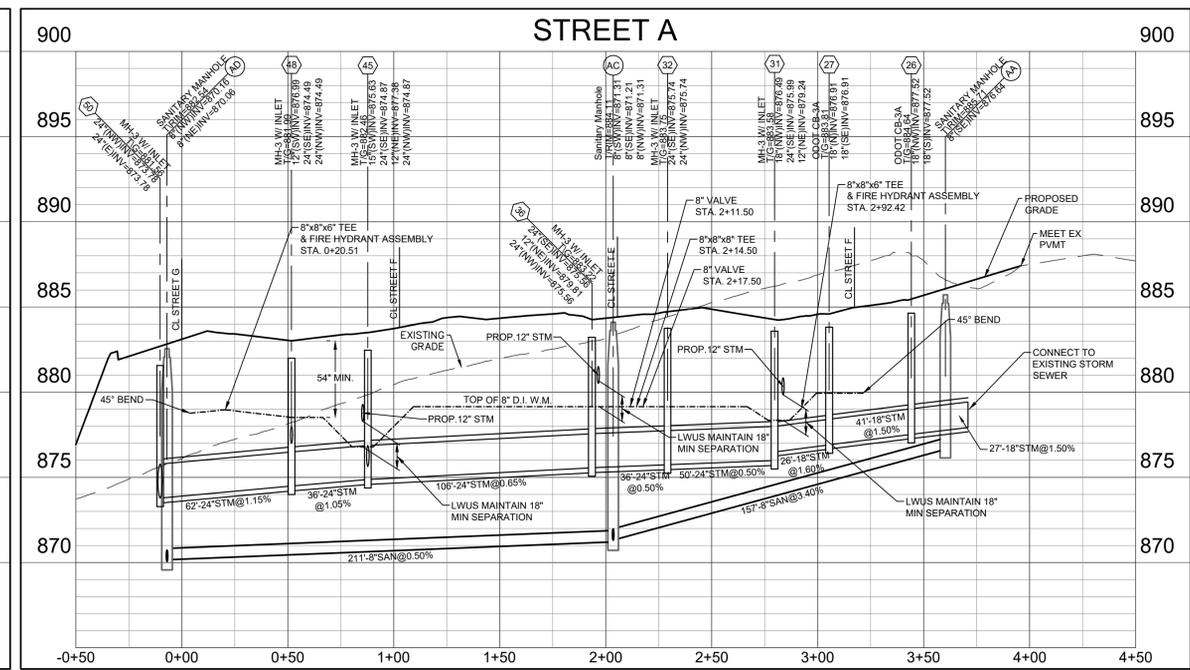
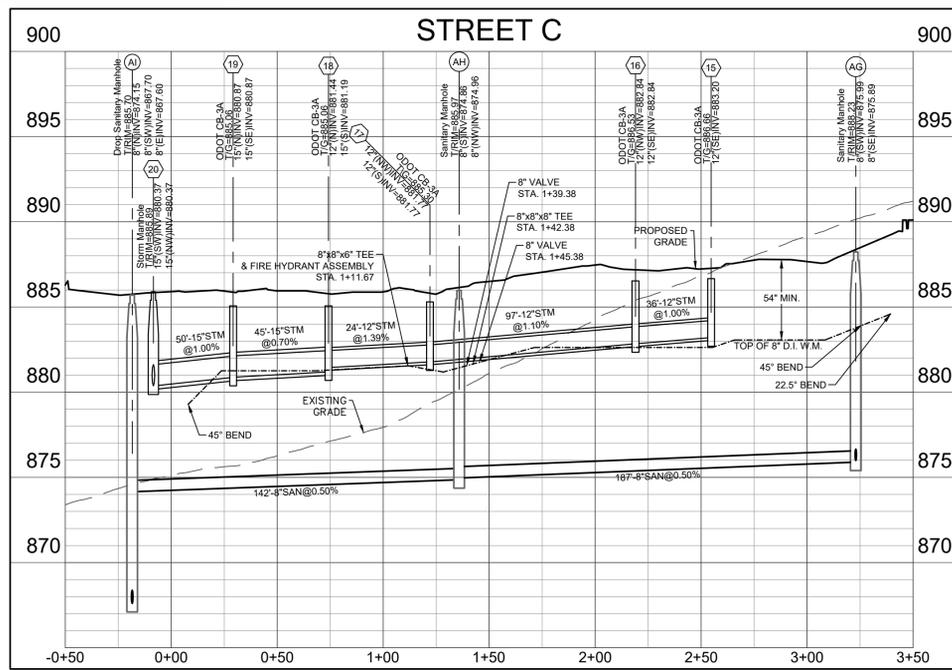
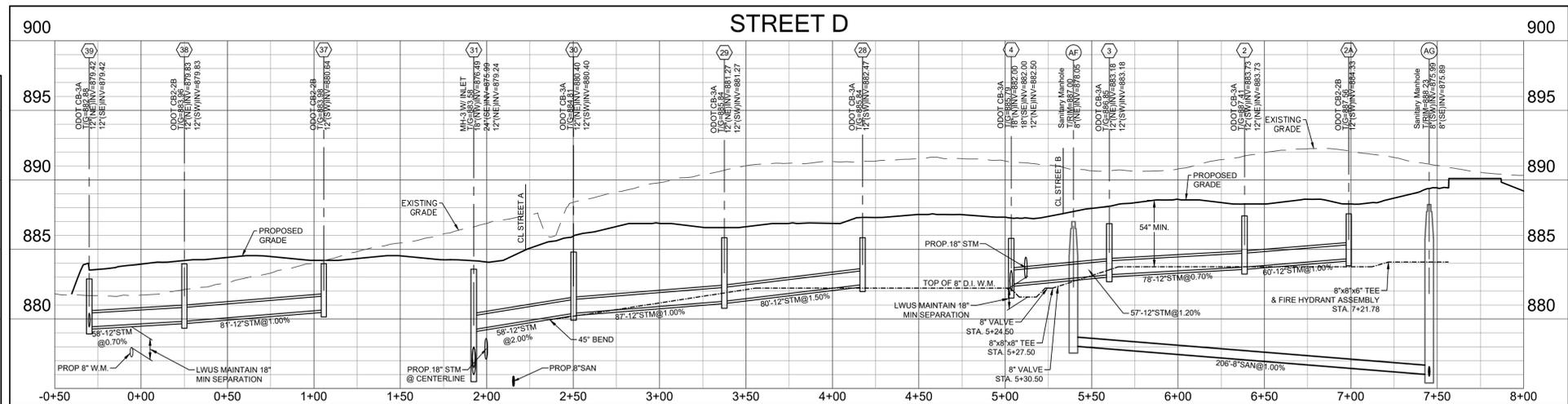
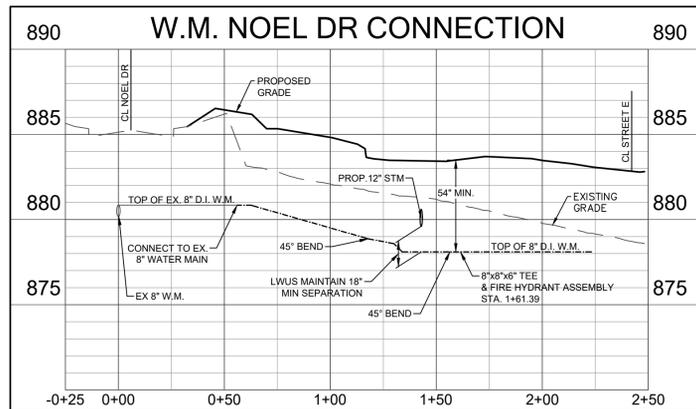
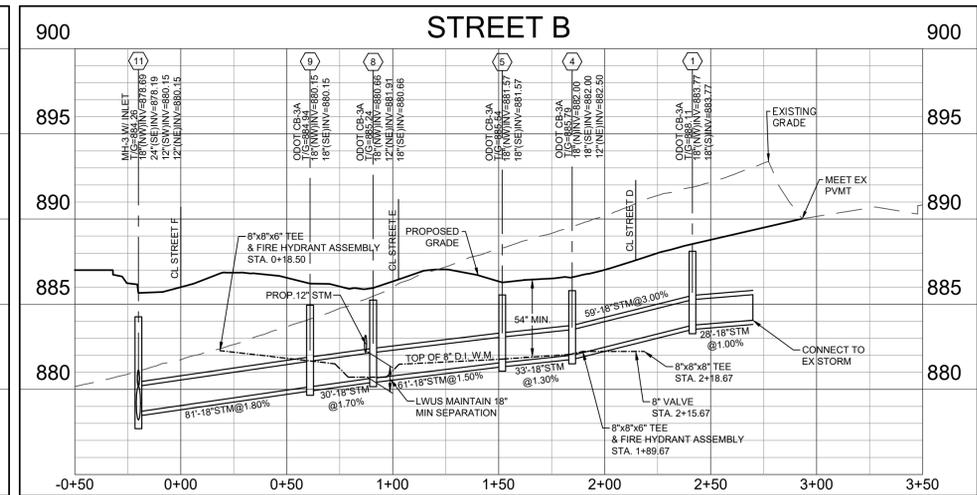
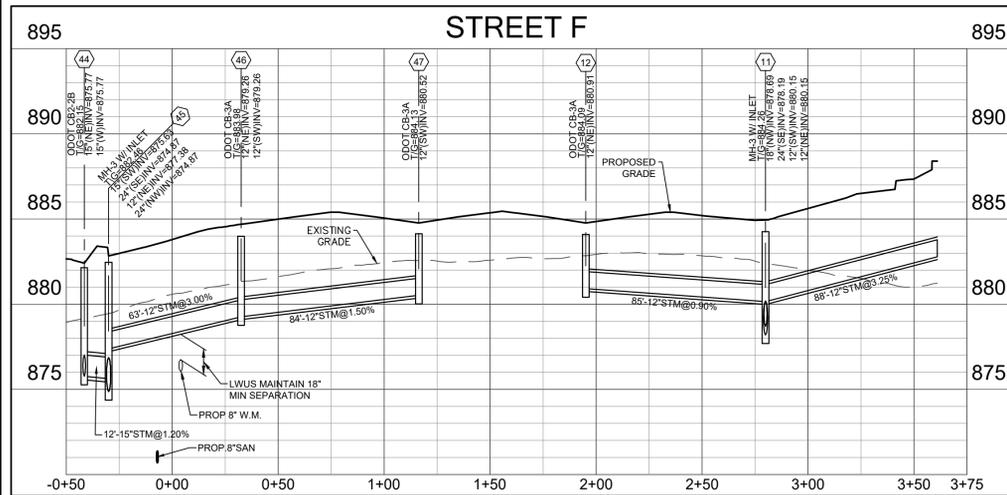
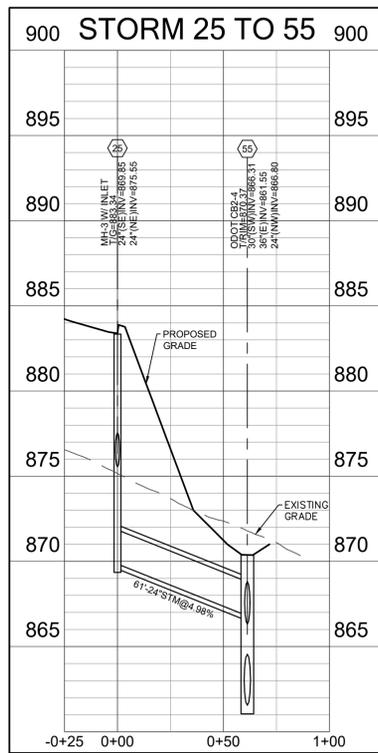
Drawing:	25-0001 CD
Drawn by:	SJW
Checked by:	GJK
Issue Date:	07-25-25
Sheet:	C4.1

Plot time: Jul 24, 2025 - 7:25pm  
Drawing name: J:\2025\25-0001\CD\DWG\25-0001\_CD.dwg - Layout Tab: C4.0 UTILITY



Know what's below.  
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LOCATION OF ALL EXISTING UTILITIES TO BE  
DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION



Plot time: Jul 24, 2025 - 7:37pm  
Drawing name: J:\2025\25-0001\CD\DWG\25-0001 CD.dwg - Layout Tab: C4.2 UTILITY PROFILES

**EASTON FARM APARTMENTS  
CONSTRUCTION DRAWINGS**  
SECTION 14, TOWN 2, RANGE 5 BTM  
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Item	Revision Description	Date	Dwn:	Chk:

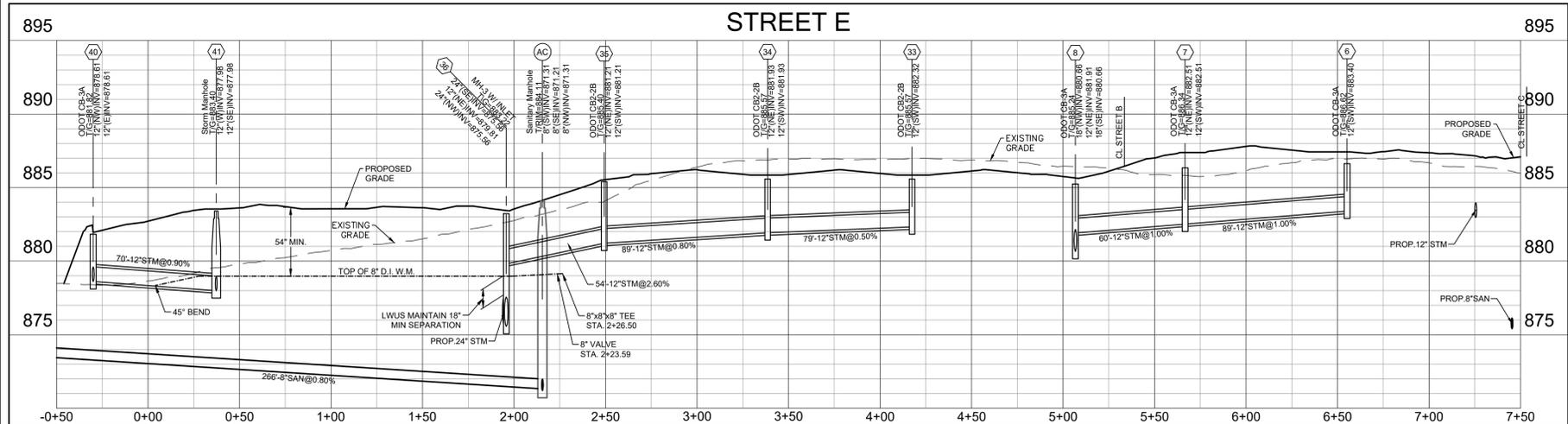
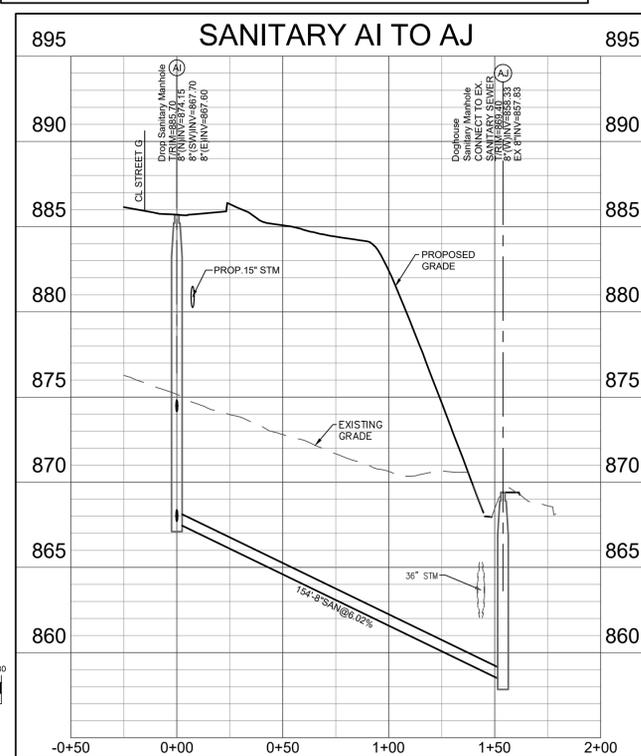
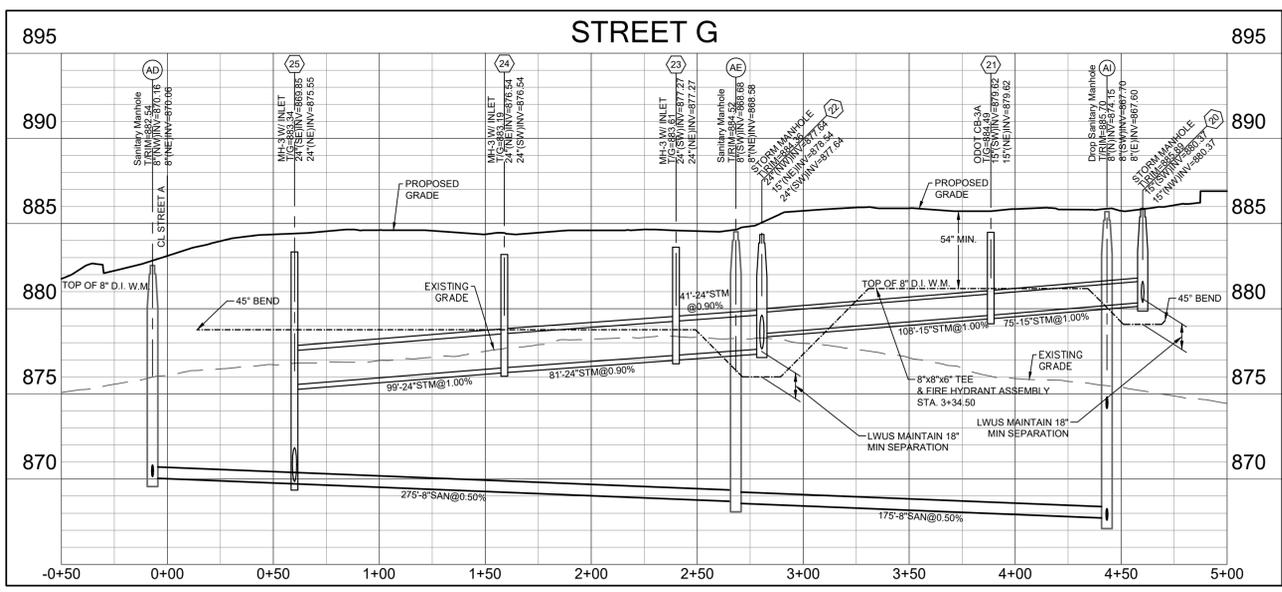
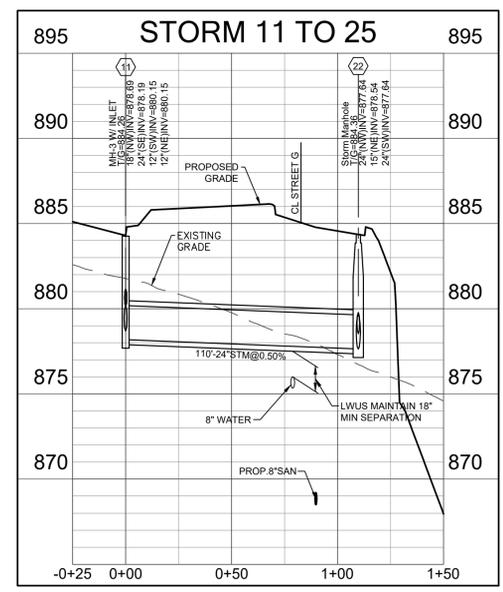
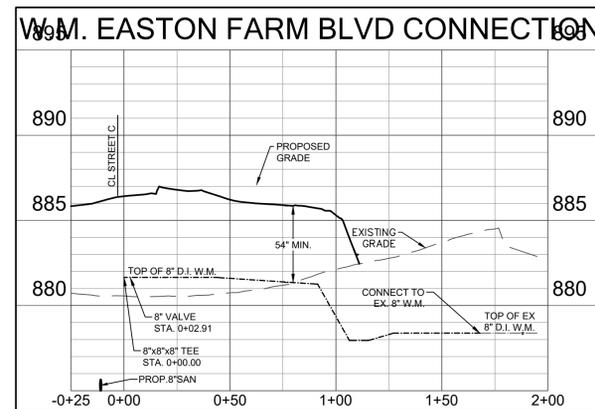
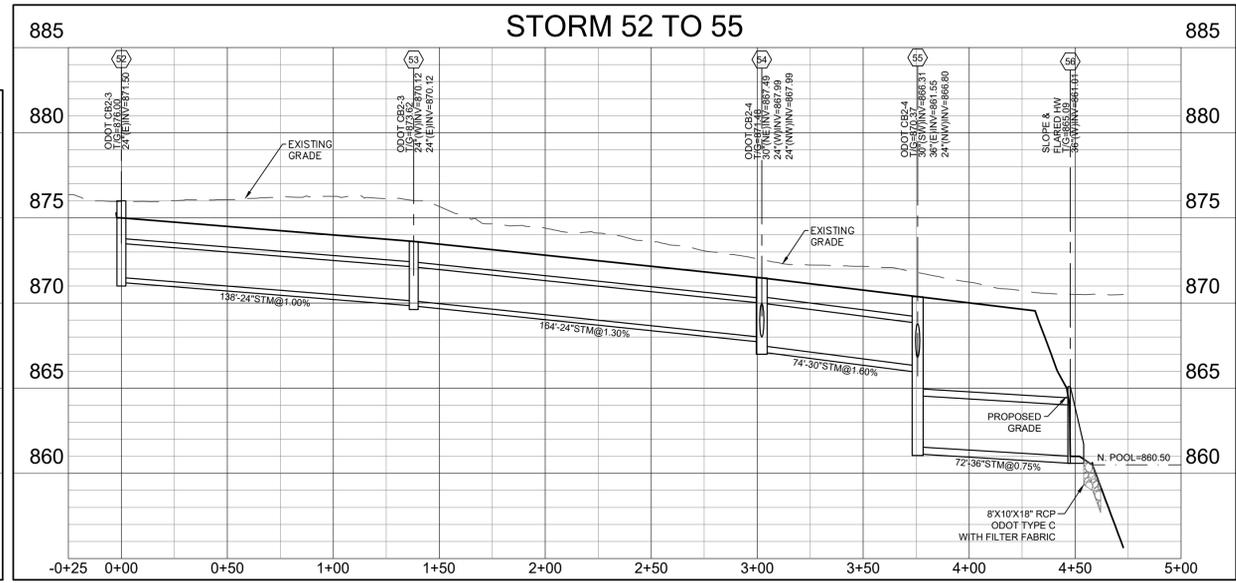
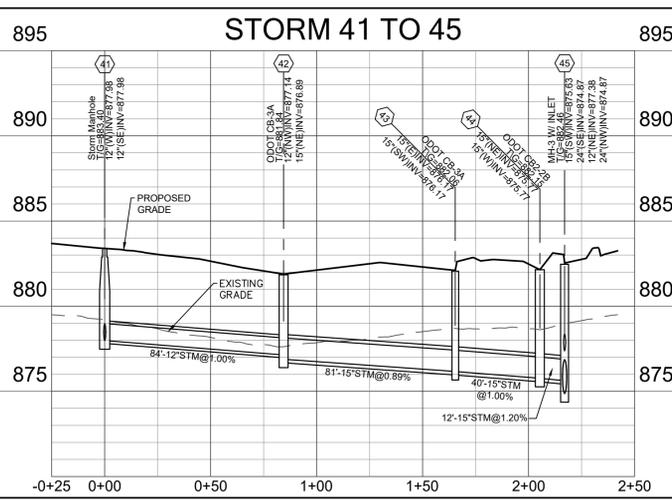
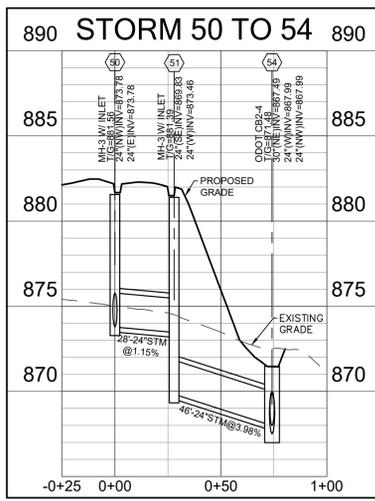
Drawing: 25-0001 CD  
Drawn by: SJW  
Checked by: GJK  
Issue Date: 07-25-25  
Sheet: **C4.2**

UTILITY PROFILES

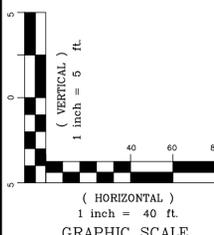


Know what's below.  
Call before you dig.

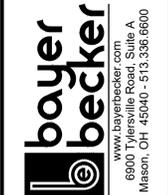
LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION



Plot time: Jul 24, 2025 - 7:39pm  
Drawing name: J:\2025\25-0001\CD\DWG\25-0001 CD.dwg - Layout Tab: C4.3 UTILITY PROFILES



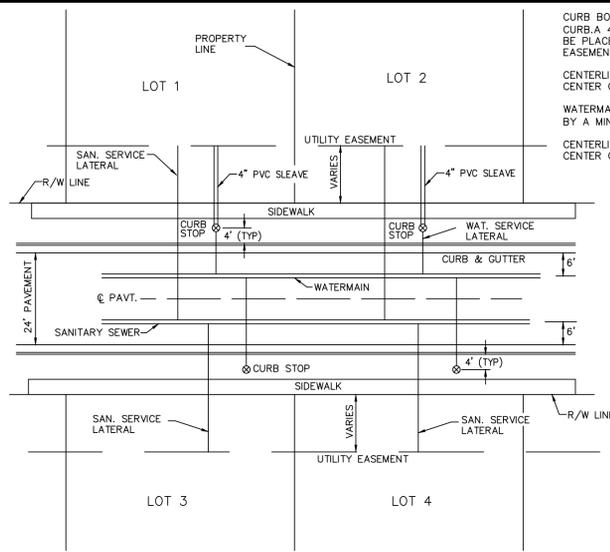
Revision Description table with columns for Date, Dwn, and Chk. Includes project title 'EASTON FARM APARTMENTS CONSTRUCTION DRAWINGS' and utility profiles section.



Drawing: 25-0001 CD  
Drawn by: SJW  
Checked by: GJK  
Issue Date: 07-25-25

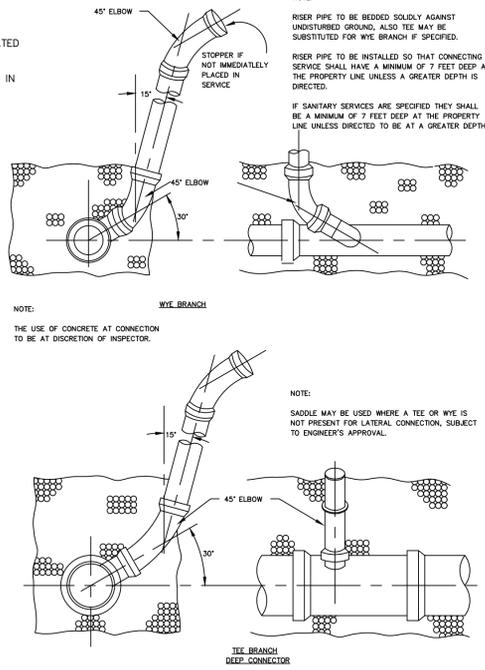
Sheet: C4.3



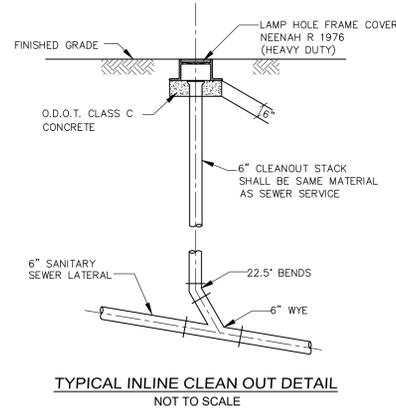


**WATER & SEWER SERVICES DETAIL**  
NOT TO SCALE

CURB BOX TO BE LOCATED 4' BEHIND BACK OF CURB. A 4" PVC SLEEVE (SDR 35 OR SCH. 40) IS TO BE PLACED FROM CURB BOX TO THE UTILITY EASEMENT, ON WATERLINE SIDE OF STREET.  
CENTERLINE OF WATERMAIN TO BE LOCATED IN CENTER OF TRAVELED LANE  
WATERMAIN AND SANITARY SEWER TO BE SEPARATED BY A MINIMUM OF 10'  
CENTERLINE OF SANITARY SEWER TO BE LOCATED IN CENTER OF TRAVELED LANE



**DEEP CONNECTOR AND HOUSE CONNECTION**  
NOT TO SCALE



**TYPICAL INLINE CLEAN OUT DETAIL**  
NOT TO SCALE

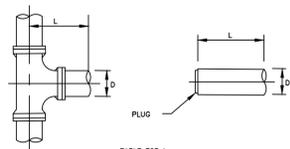


TABLE FOR L  
REQUIRED LENGTH OF RESTRAINED JOINTS  
D = DIAMETER OF PIPE

D	4"	6"	8"	10"	12"	16"	20"	24"
L	12	26	38	48	66	98	125	145

**REQUIRED RESTRAINED JOINTS FOR DEAD END VALVES, PLUGS, CAPS & TEES**  
NOT TO SCALE

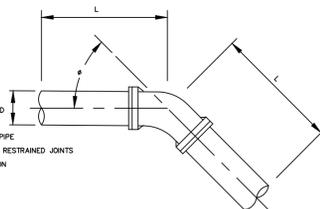
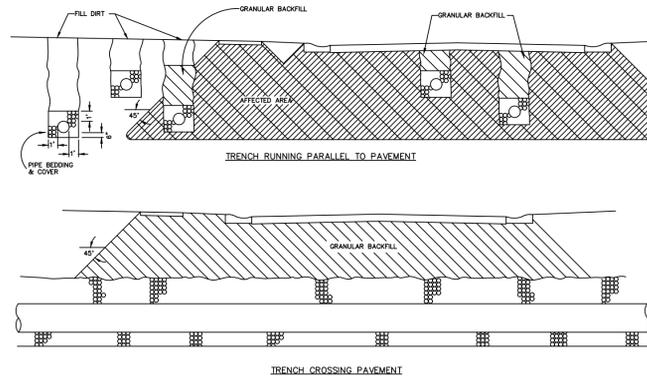


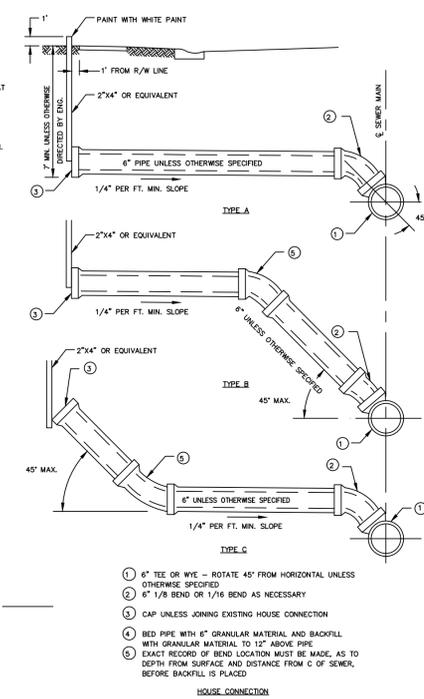
TABLE FOR L  
REQUIRED LENGTH OF RESTRAINED JOINTS  
D = DIAMETER OF PIPE

theta	D	4"	6"	8"	10"	12"	16"	20"	24"
11 1/4°	L	4	8	12	16	20	24	28	32
22 1/2°	L	2	3	5	6	8	10	12	14
45°	L	4	8	12	14	20	30	36	45
90°	L	12	26	38	48	66	98	125	145

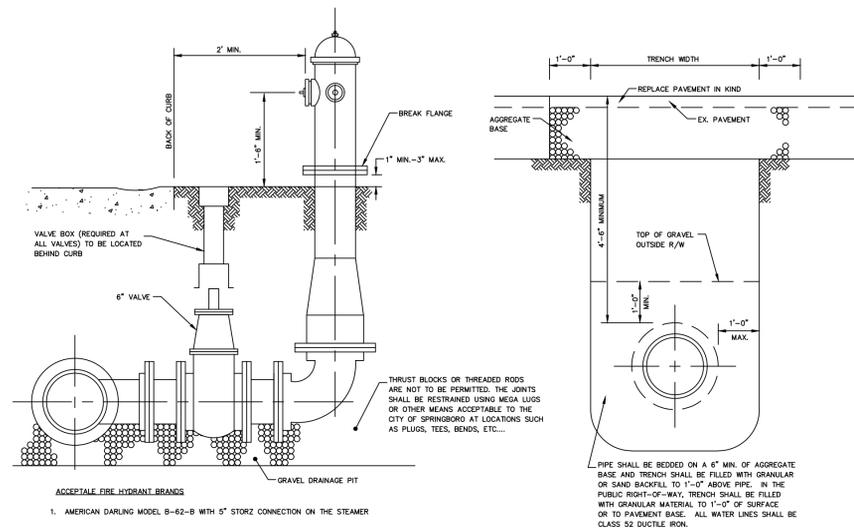
**REQUIRED RESTRAINED JOINTS FOR BENDS**  
NOT TO SCALE



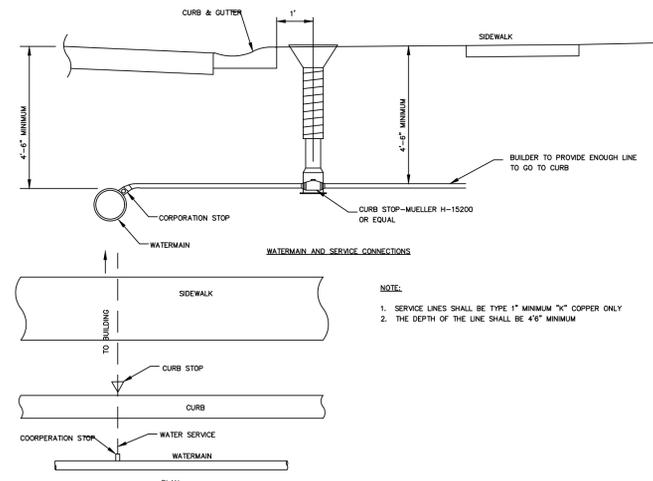
**GRANULAR BACKFILL REQUIREMENTS**  
NOT TO SCALE



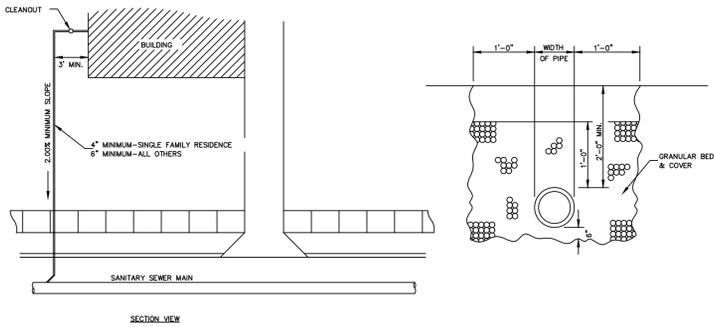
**FIRE HYDRANT AND WATER TRENCH EXCAVATION**  
NOT TO SCALE



- ACCEPTABLE FIRE HYDRANT BRANDS**
- AMERICAN DARLING MODEL B-62-B WITH 5" STORK CONNECTION ON THE STEAMER
- FIRE HYDRANT DETAILS**
- DA - MAIN VALVE OPENING 5 1/4"
  - DA - PUMPER CONNECTION I.D. 4 1/2" O.D. 5 3/4"
  - DA - HOSE CONNECTIONS TWO 2 1/2"
  - THREAD TYPE NATIONAL STANDARD - NO THREAD EXPOSED TO WATER
  - SHAPE - CAPS & OPERATING NUT PENTAGON
  - DIMENSIONS - OPERATING NUT 1 1/2" COUNTER CLOCKWISE
- FIRE HYDRANT DETAILS CONT.**
- COLOR TO BE PAINTED
  - VALVE SEAT
  - BARREL
  - TOP
  - BEARING
- BARREL - SAFETY RED**  
**BONNET - SAFETY RED**  
**MACHINED BRONZE**  
**TWO PICES WITH BREAK AWAY FEATURE**  
**DRY**  
**ANTI-FRICTION THRUST BEARING**



**WATERMAIN AND SERVICE CONNECTIONS**  
NOT TO SCALE



- BUILDING SEWERS SHALL NOT BE CONSTRUCTED CLOSER THAN 3 FEET TO ANY EXTERIOR WALL, COLLEA, BASEMENT OR CISTERN, NOR SHALL THERE BE LESS THAN 2 FEET OF COVER.
- ALL EXCAVATIONS SHALL BE BY OPEN CUT, WITH THE TRENCH OUT TWO INCHES BELOW GRADE AND REFILLED WITH PEA GRAVEL, PIPE FILL, OR TORPEDO FILL TO THE PROPER GRADE.
- THE WIDTH OF THE TRENCH AT THE TOP OF THE PIPE SHALL NOT EXCEED TWO FEET PLUS THE OUTSIDE DIAMETER OF THE PIPE.
- THE MINIMUM SLOPE SHALL BE 2:00.
- PIPE SIZE SHALL NOT BE LESS THAN FOUR INCHES FOR ALL OTHER BUILDINGS.
- THE FOLLOWING IS A LIST OF APPROVED PIPES:
  - VITRIFIED CLAY PIPE - WITH "O" RING GASKET
  - P.V.C. PIPE - WITH RUBBER GASKET
  - A.B.S. PIPE - SDR-35 - WITH CHEMICAL WELD
  - A.B.S. PIPE - SCHEDULE 40 - WITH CHEMICAL WELD
- ALL PIPING, FLEXIBLE COUPLINGS, DONUTS, ETC., ARE SUBJECT TO THE APPROVAL OF THE INSPECTOR.
- ALL CHANGES IN ALIGNMENT OR GRADE ARE TO BE MADE USING THE PROPER BENDS OR CURVES.
- ALL SEWERS EXCEEDING 100 FEET IN LENGTH MUST HAVE A CLEAN-OUT EVERY 100 FEET.
- ANY VARIATION FROM THIS STANDARD MUST HAVE PRIOR APPROVAL OF THE CITY ENGINEER.

**BUILDING SEWERS**  
NOT TO SCALE

Plot time: Jul 24, 2025 - 7:33pm  
Drawing name: J:\2025\25-0001\CV\DWG\25-0001 CD.dwg - Layout Tab: C4.4 UTILITY DETAILS

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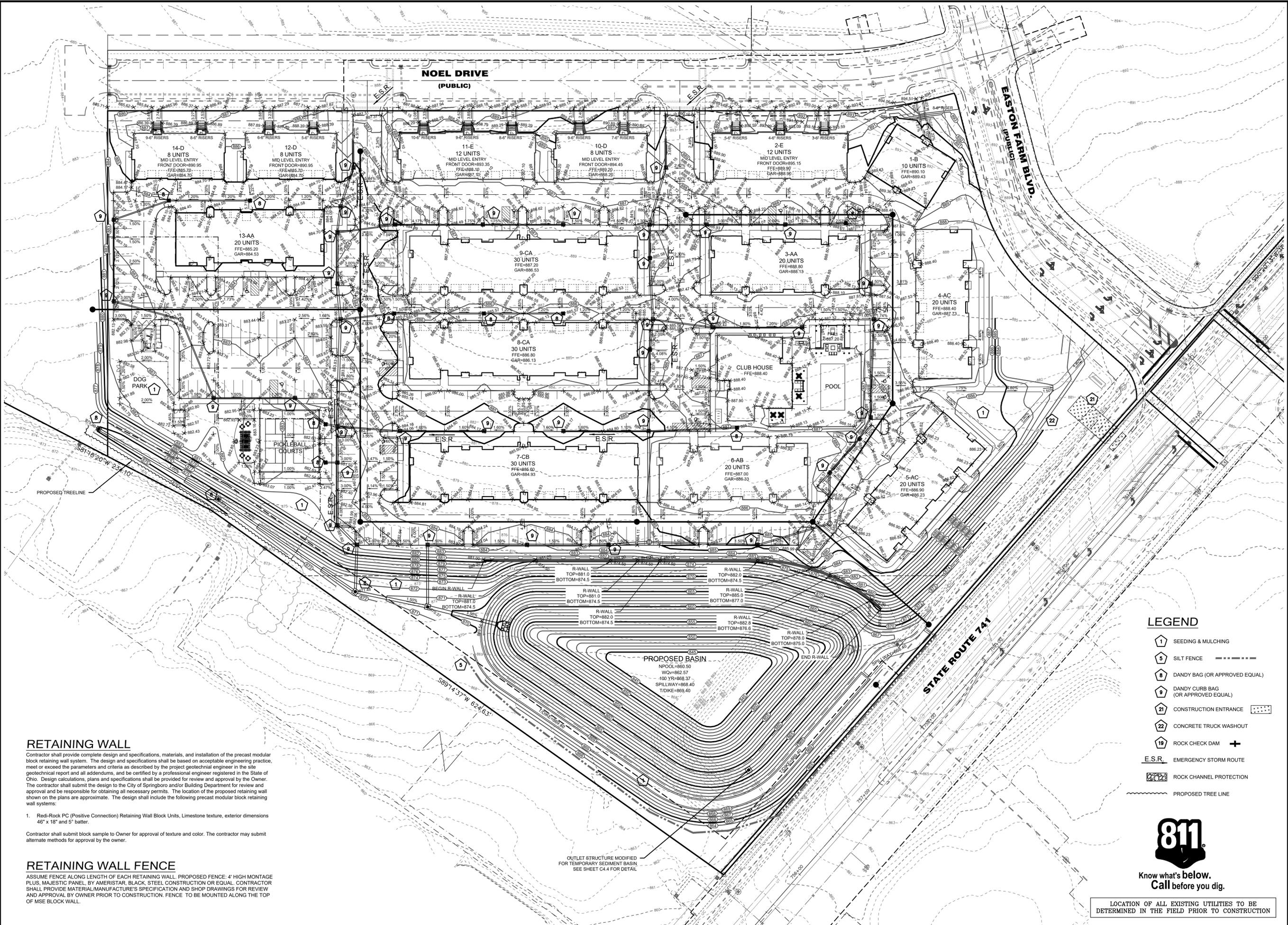
Item	Revision Description	Date	Drawn	Chk

**EASTON FARM APARTMENTS CONSTRUCTION DRAWINGS**  
SECTION 14, TOWN 2, RANGE 5 BTM  
CITY OF SPRINGBORO  
CLEARCREEK TOWNSHIP  
WARREN COUNTY, OH

**WATER & SEWER DETAILS**

**bayer becker**  
www.bayerbecker.com  
6900 Tyersville Road, Suite A  
Mason, OH 45040 - 513.336.6600

Drawing: 25-0001 CD  
Drawn by: SJW  
Checked by: GJK  
Issue Date: 07-25-25  
Sheet: C4.5



**RETAINING WALL**

Contractor shall provide complete design and specifications, materials, and installation of the precast modular block retaining wall system. The design and specifications shall be based on acceptable engineering practice, meet or exceed the parameters and criteria as described by the project geotechnical engineer in the site geotechnical report and all addendums, and be certified by a professional engineer registered in the State of Ohio. Design calculations, plans and specifications shall be provided for review and approval by the Owner. The contractor shall submit the design to the City of Springboro and/or Building Department for review and approval and be responsible for obtaining all necessary permits. The location of the proposed retaining wall shown on the plans are approximate. The design shall include the following precast modular block retaining wall systems:

1. Redi-Rock PC (Positive Connection) Retaining Wall Block Units, Limestone texture, exterior dimensions 46" x 18" and 5" batter.

Contractor shall submit block sample to Owner for approval of texture and color. The contractor may submit alternate methods for approval by the owner.

**RETAINING WALL FENCE**

ASSUME FENCE ALONG LENGTH OF EACH RETAINING WALL. PROPOSED FENCE: 4' HIGH MONTAGE PLUS, MAJESTIC PANEL, BY AMERISTAR, BLACK, STEEL CONSTRUCTION OR EQUAL. CONTRACTOR SHALL PROVIDE MATERIAL MANUFACTURER'S SPECIFICATION AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO CONSTRUCTION. FENCE TO BE MOUNTED ALONG THE TOP OF MSE BLOCK WALL.

**LEGEND**

- 1 SEEDING & MULCHING
- 5 SILT FENCE
- 8 DANDY BAG (OR APPROVED EQUAL)
- 9 DANDY CURB BAG (OR APPROVED EQUAL)
- 21 CONSTRUCTION ENTRANCE
- 22 CONCRETE TRUCK WASHOUT
- 19 ROCK CHECK DAM
- E.S.R. EMERGENCY STORM ROUTE
- ROCK CHANNEL PROTECTION
- PROPOSED TREE LINE



Know what's below.  
Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

**EASTON FARM APARTMENTS CONSTRUCTION DRAWINGS**  
SECTION 14, TOWN 2, RANGE 5 BTM  
CITY OF SPRINGBORO  
CLEARCREEK TOWNSHIP  
WARREN COUNTY, OH

**GRADING PLAN**

Item	Revision Description	Date	Drawn	Chk

**bayer becker**  
www.bayerbecker.com  
6900 Tyersville Road, Suite A  
Mason, OH 45040 - 513.336.6600

Drawing: 25-0001 GR  
Drawn by: GJK  
Checked by:   
Issue Date: 07-25-25  
Sheet: **C5.0**





Item	Revision Description	Date	Dwnr	Chk

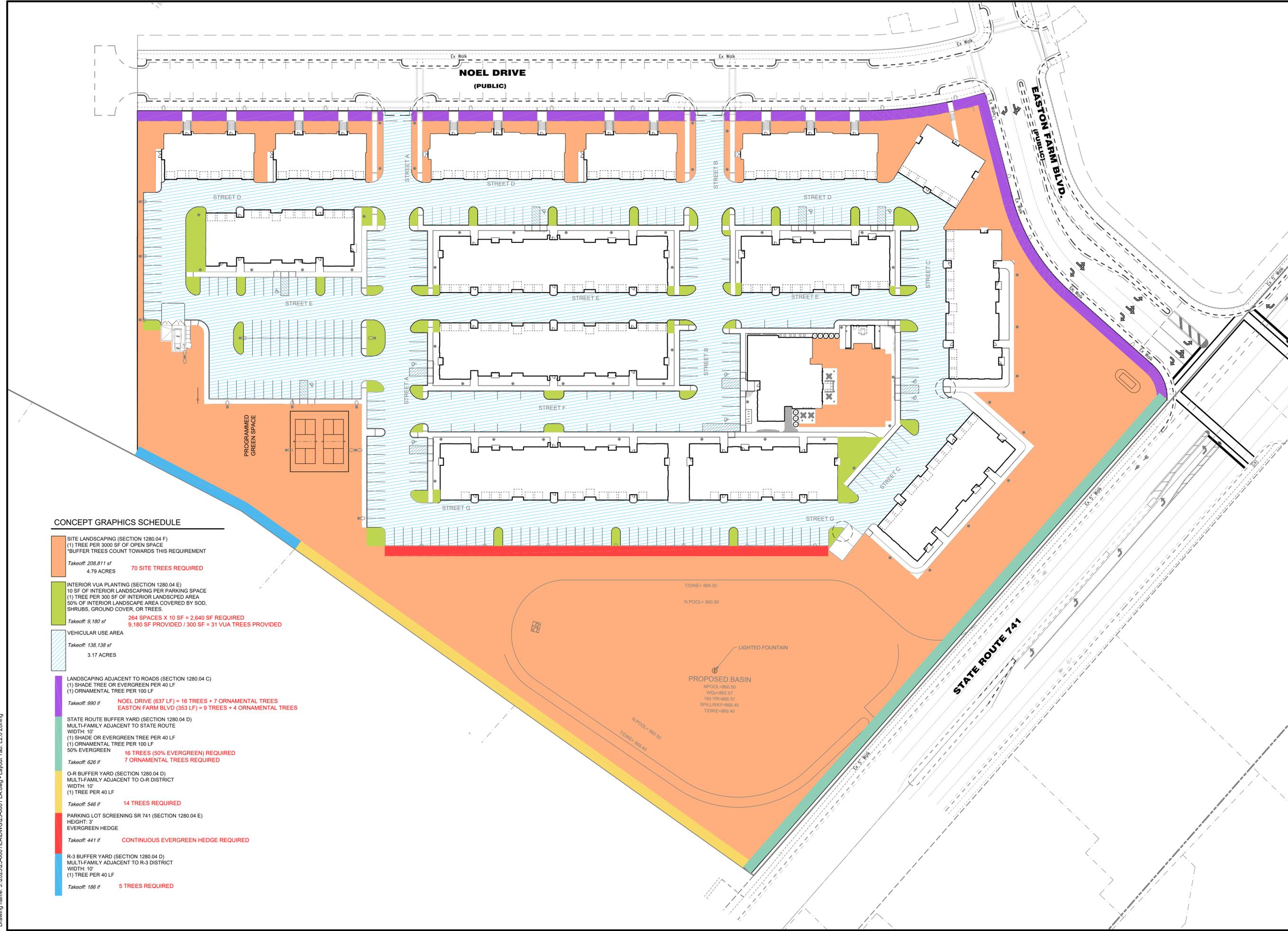
**EASTON FARM APARTMENTS**  
**CONSTRUCTION DRAWINGS**  
 SECTION 14, TOWN 2, RANGE 5 BTM  
 CITY OF SPRINGBORO  
 CLEARCREEK TOWNSHIP  
 WARREN COUNTY, OH

**LANDSCAPE ZONING GRAPHIC**

**bayer becker**  
 www.bayerbecker.com  
 1404 Rapco Street, Suite 204  
 Cincinnati, OH 45202 • 513.834.6151

Drawing: 25-0001 L.A.  
 Drawn by: CDS  
 Checked by: LEM  
 Issue Date: 07/25/25  
 Sheet:

**L2.0**



**CONCEPT GRAPHICS SCHEDULE**

- SITE LANDSCAPING (SECTION 1280.04 F)  
 (1) TREE PER 3000 SF OF OPEN SPACE  
 \*BUFFER TREES COUNT TOWARDS THIS REQUIREMENT  
 Takeoff: 208,811 sf  
 4.79 ACRES      **70 SITE TREES REQUIRED**
- INTERIOR VUA PLANTING (SECTION 1280.04 E)  
 10 SF OF INTERIOR LANDSCAPING PER PARKING SPACE  
 (1) TREE PER 300 SF OF INTERIOR LANDSCAPED AREA  
 50% OF INTERIOR LANDSCAPE AREA COVERED BY SOD, SHRUBS, GROUND COVER, OR TREES  
 Takeoff: 9,180 sf  
 264 SPACES X 10 SF = 2,640 SF REQUIRED  
 9,180 SF PROVIDED / 300 SF = 31 VUA TREES PROVIDED
- VEHICULAR USE AREA  
 Takeoff: 138,138 sf  
 3.17 ACRES
- LANDSCAPING ADJACENT TO ROADS (SECTION 1280.04 C)  
 (1) SHADE TREE OR EVERGREEN PER 40 LF  
 (1) ORNAMENTAL TREE PER 100 LF  
 Takeoff: 990 lf  
 NOEL DRIVE (637 LF) = 16 TREES + 7 ORNAMENTAL TREES  
 EASTON FARM BLVD (353 LF) = 9 TREES + 4 ORNAMENTAL TREES
- STATE ROUTE BUFFER YARD (SECTION 1280.04 D)  
 MULTI-FAMILY ADJACENT TO STATE ROUTE  
 WIDTH: 10'  
 (1) SHADE OR EVERGREEN TREE PER 40 LF  
 (1) ORNAMENTAL TREE PER 100 LF  
 50% EVERGREEN  
 Takeoff: 626 lf  
 16 TREES (50% EVERGREEN) REQUIRED  
 7 ORNAMENTAL TREES REQUIRED
- O-R BUFFER YARD (SECTION 1280.04 D)  
 MULTI-FAMILY ADJACENT TO O-R DISTRICT  
 WIDTH: 10'  
 (1) TREE PER 40 LF  
 Takeoff: 546 lf  
 14 TREES REQUIRED
- PARKING LOT SCREENING SR 741 (SECTION 1280.04 E)  
 HEIGHT: 3'  
 EVERGREEN HEDGE  
 Takeoff: 441 lf  
 CONTINUOUS EVERGREEN HEDGE REQUIRED
- R-3 BUFFER YARD (SECTION 1280.04 D)  
 MULTI-FAMILY ADJACENT TO R-3 DISTRICT  
 WIDTH: 10'  
 (1) TREE PER 40 LF  
 Takeoff: 186 lf  
 5 TREES REQUIRED

Plot time: Jul 25, 2025 - 8:56am  
 Drawing name: J:\2025\25-0001\LANDWG\25-0001.LA.dwg - Layout Tab L2.0 Zoning

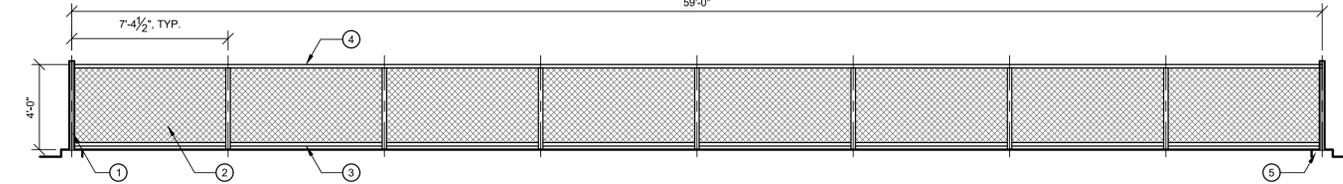
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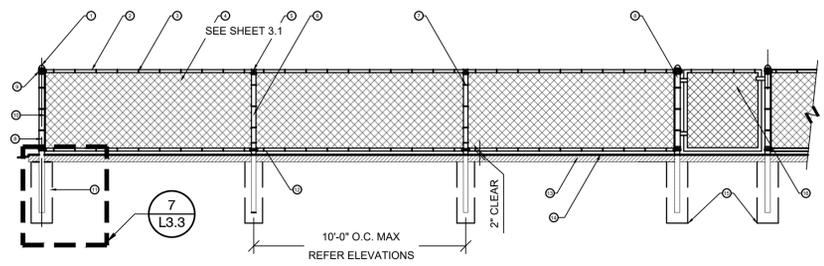
- 1 TERMINAL POST
- 2 FENCE FABRIC, PLACE ON COURT SIDE
- 3 BOTTOM RAIL
- 4 TOP RAIL
- 5 CONCRETE COURT CURB



**1 PICKLEBALL COURT, END FENCE**  
1/4" = 1'-0"

P-25-EAS-35

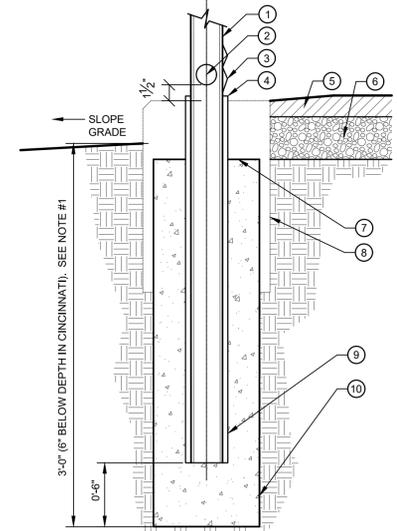
- 1 PRESSED STEEL POST CAP
- 2 1 5/8" O.D. TOP RAIL TYP.
- 3 FABRIC TIE 1" O.C.
- 4 9 GAUGE BLACK VINYL COATED CHAIN LINK FABRIC SELVAGE KNUCKED TOP AND BOTTOM
- 5 LINE POST CAP
- 6 2 1/2" LINE POST TYP.
- 7 LINE POST TIE 1" O.C.
- 8 3" O.D. TERMINAL POST, BLACK VINYL COATED
- 9 BEVELED TENSION BAND 1'-0" O.C.
- 10 1/4" X 3/4" TENSION BAR
- 11 CONCRETE POST FOOTING SEE FENCE POST SECTION DETAIL
- 12 1 5/8" O.D. BOTTOM RAIL
- 13 PICKLEBALL COURT PAVEMENT
- 14 ACRYLIC SURFACING
- 15 CONCRETE GATE POST FOOTINGS
- 16 4' WIDTH, 4' HEIGHT GATE TO MATCH FENCE FABRIC OUTWARD OPEN SWING. SEE LAYOUT PLAN FOR GATE LOCATIONS.



**2 PICKLEBALL FENCE MATERIALS, TYPICAL**  
1/4" = 1'-0"

P-25-EAS-40

- 1 TERMINAL POST
- 2 FENCE FABRIC, PLACE ON COURT SIDE
- 3 NET POST (BEYOND)
- 4 CENTERLINE OF COURT
- 5 GATE WITH OUTWARD OPEN SWING. SEE LAYOUT PLAN FOR GATE LOCATIONS
- 6 BOTTOM RAIL
- 7 TOP RAIL
- 8 CONCRETE COURT CURB

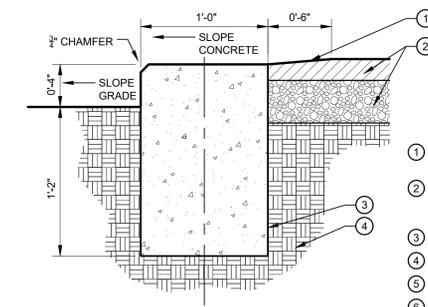


**7 FENCE POST SECTION (PICKLEBALL)**  
1 1/2" = 1'-0"

- 1 FENCE POST
- 2 BOTTOM RAIL
- 3 FENCE FABRIC
- 4 3/4" IN. FENCE PANEL ABOVE SURFACE
- 5 COURT PAVEMENT OR SURFACE SYSTEM
- 6 COMPACTED CRUSHED STONE BASE COURSE
- 7 TOP OF FOOTING TYPICALLY BELOW COURT SYSTEM OR CONTIGUOUS TO CONCRETE EDGING.
- 8 CURB CONTAINMENT BEYOND
- 9 SET POST IN SLEEVE (OPTIONAL)
- 10 CONCRETE POST FOOTING 10" DIA. FOR 2 1/2" POST (TYP) 12" DIA. FOR 3" POST (TYP)

NOTE:  
1. FOUNDATION DEPTH MAY VARY IF ACOUSTIC FABRIC SCREEN IS ADDED

P-25-EAS-32

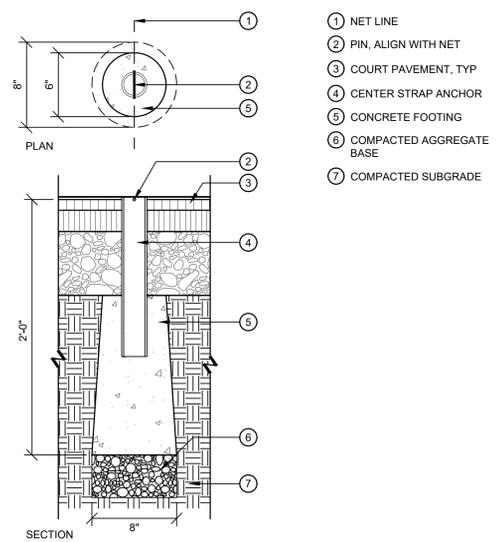


**SECTION - CONCRETE COURT EDGING**

- 1 TAPER ASPHALT PAVEMENT DOWN TO CURB
- 2 PICKLEBALL COURT SURFACE AND COMPACTED CRUSHED STONE BASE COURSE
- 3 CONCRETE EDGING
- 4 COMPACTED SUBGRADE
- 5 FENCE POST
- 6 FENCE FABRIC
- 7 BOTTOM RAIL
- 8 FENCE POST IN (OPTIONAL) SLEEVE
- 9 CONCRETE POST FOOTING

**3 PICKLEBALL COURT - SIDE FENCE WITH GATE**  
1/4" = 1'-0"

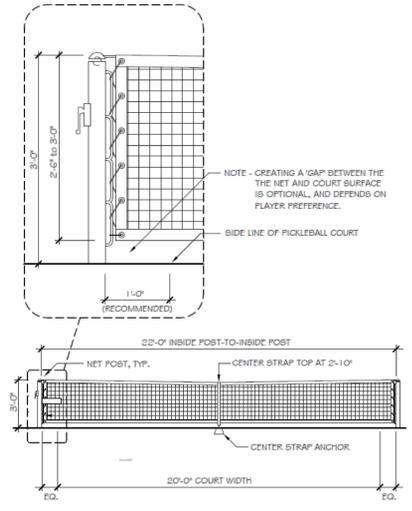
P-25-EAS-34



**4 NET CENTER STRAP ANCHOR**  
1 1/2" = 1'-0"

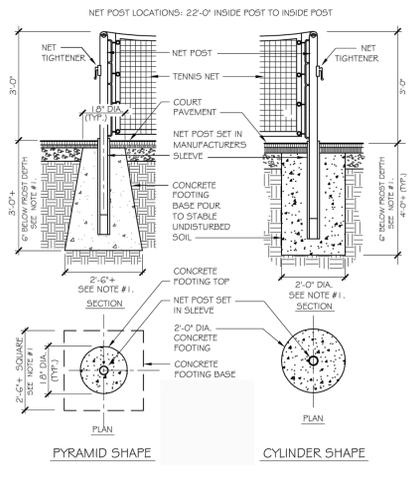
P-25-EAS-37

- 1 NET LINE
- 2 PIN, ALIGN WITH NET
- 3 COURT PAVEMENT, TYP
- 4 CENTER STRAP ANCHOR
- 5 CONCRETE FOOTING
- 6 COMPACTED AGGREGATE BASE
- 7 COMPACTED SUBGRADE



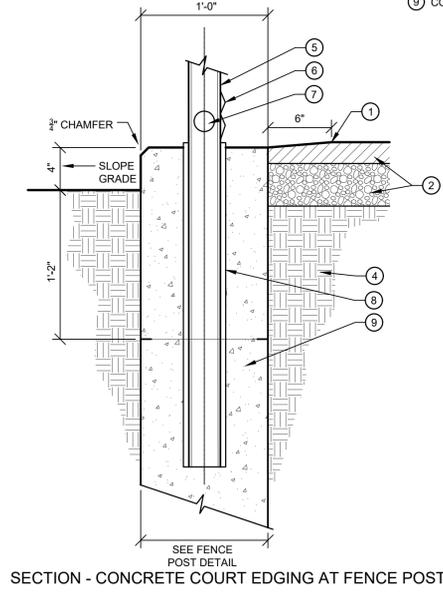
**5 PICKLEBALL NET ELEVATIONS**  
3/16" = 1'-0"

P-25-EAS-38



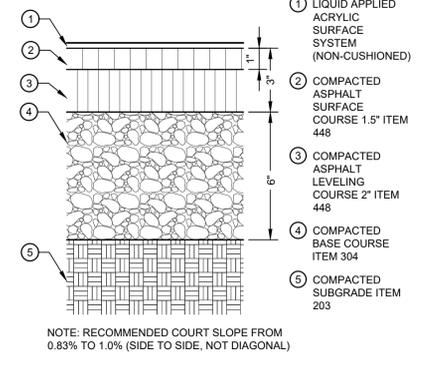
**6 PICKLEBALL NET POST FOOTING**  
3/8" = 1'-0"

P-25-EAS-36



**8 Poured CONCRETE COURT EDGE**  
1 1/2" = 1'-0"

P-25-EAS-33



**9 ASPHALT COURT SECTION**  
3" = 1'-0"

P-25-EAS-31

Plot time: Jul 25, 2025 - 8:49am  
Drawing name: J:\2025\25-0001\LA.dwg - Layout Tab: L3.3 Details - Pickleball

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Item	Revision Description	Date	Drawn	Chk.

**EASTON FARM APARTMENTS**  
**CONSTRUCTION DRAWINGS**  
SECTION 14, TOWN 2, RANGE 5 BTM  
CITY OF SPRINGBORO  
CLEARCREEK TOWNSHIP  
WARREN COUNTY, OH

**bayer becker**  
www.bayerbecker.com  
1404 Rapco Street, Suite 204  
Cincinnati, OH 45202 - 513.834.6151

Drawing: 25-0001 L.A.  
Drawn by: CDS  
Checked by: LEM  
Issue Date: 07/25/25

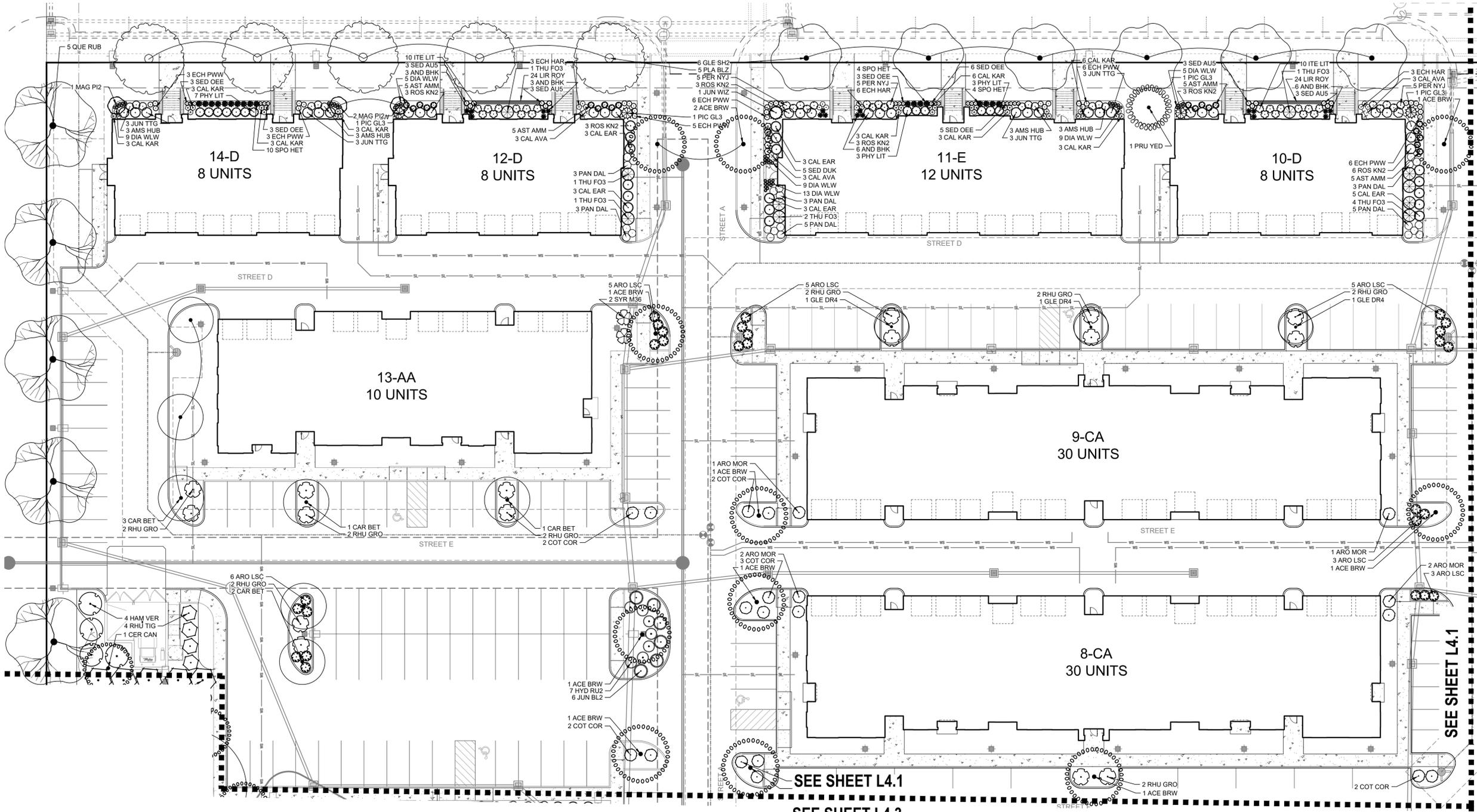
Sheet:  
**L3.3**

DETAILS - PICKLEBALL COURT









PLANT SCHEDULE NW

CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
<b>DECIDUOUS TREES</b>					
ACE BRW	3	Acer rubrum 'Brandywine'	Brandywine Red Maple	B & B	2.0" Cal
GLE DR4	5	Gleditsia triacanthos f. inermis 'Street Keeper'	Drives Honeylocust	B & B	2.0" Cal
LIR TUL	4	Liriodendron tulipifera	Tuliptree	B & B	2.0" Cal
PLA BLZ	5	Platanus x acerifolia 'Bloodgood'	London Plane Tree	B & B	2.0" Cal
QUE RUB	2	Quercus rubra	Red Oak	B & B	2.0" Cal
<b>EVERGREEN TREES</b>					
JUN WIZ	16	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	B & B	6" Ht.
<b>ORNAMENTAL TREES</b>					
CER CAN	3	Cercis canadensis	Eastern Redbud	B & B	1.5" Cal
PRU YED	5	Prunus x yedoensis	Yoshino Cherry	B & B	1.5" Cal
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
<b>ANNUALS/PERENNIALS</b>					
AMS HUB	12	Amsonia hubrichtii	Arkansas Blue-star	2 gal	Clump
AST AMM	10	Astilbe chinensis 'Dark Side of the Moon'	Dark Side of the Moon Astilbe	1 gal	Clump
CAR DAR	44	Caryopteris x clandonensis 'Dark Knight'	Dark Knight Bluebeard	1 gal	Clump
DIA WLW	62	Dianthus gratianopolitanus 'Firewitch'	Firewitch Cheddar Pink	2 gal	Clump
ECH HAR	12	Echinacea x 'Harvest Moon'	Harvest Moon Coneflower	1 gal	Clump
ECH PWW	24	Echinacea x 'Pow Wow Wild Berry'	Pow Wow Wild Berry Coneflower	2 gal	Clump
ECH C12	12	Echinacea x 'Cheyenne Spirit'	Cheyenne Spirit Coneflower	1 gal	Clump
HIB L03	16	Hibiscus x 'Lord Baltimore'	Lord Baltimore Rose Mallow	3 gal	Clump
LIA SPI	68	Liatris spicata	Blazing Star	2 gal	Clump
NEP IRA	12	Nepeta x 'faassenii Walker's Low'	Walker's Low Catmint	2 gal	Clump
PER NYJ	42	Perovskia atriplicifolia 'Blue Jean Baby'	Blue Jean Baby Russian Sage	1 gal	Clump
SED OEE	28	Sedum x 'Frosted Fire'	Frosted Fire Stonecrop	1 gal	Clump

DECIDUOUS SHRUBS

ARO MOR	31	Aronia melanocarpa 'Morlon'	Iroquois Beauty™ Black Chokeberry	3 gal	18" Ht.
ARO LSC	5	Aronia melanocarpa 'UCONNAM165'	Low Scape Mound® Black Chokeberry	3 gal	18" Ht.
CAL EAR	6	Calliargis dichotoma 'Early Amethyst'	Early Amethyst Beautyberry	3 gal	18" Ht.
COR HAL	36	Cornus alba 'Baillial'	Ivory Halo Dogwood	5 gal	24" Ht.
COR ART	12	Cornus stolonifera 'Artic Fire'	Artic Fire Dogwood	5 gal	24" Ht.
FOR G08	34	Forsythia x intermedia 'Gold Tide'	Gold Tide Forsythia	3 gal	18" Ht.
HYD MUN	30	Hydrangea quercifolia 'Munchkin'	Munchkin Oakleaf Hydrangea	3 gal	18" Ht.
PHY LIT	12	Physocarpus opulifolius 'Little Devil' TM	Dwarf Ninebark	3 gal	18" Ht.
RHU GRO	6	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal	18" Ht.
ROS KN2	18	Rosa shrub 'Knock Out'	Knock Out Rose	3 gal	18" Ht.
SYR M36	12	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	5 gal	18" Ht.
VIB CO2	40	Viburnum carlesii 'Compactum'	Compact Korean Spice Viburnum	5 gal	18" Ht.

EVERGREEN SHRUBS

COT COR	1	Cotoneaster apiculatus	Cotoneaster	3 gal	18" Ht.
ILE GRE	6	Ilex crenata 'Green Lustre'	Green Luster Japanese Holly	B & B	18" Ht.
ILE SKY	12	Ilex crenata 'Sky Pencil'	Sky Pencil Japanese Holly	3 gal	18" Ht.
ILE INK	20	Ilex glabra 'Compacta'	Compact Inkberry	3 gal	15" Ht.
JUN TTT	12	Juniperus communis 'SMNJCB'	Tortuga® Common Juniper	3 gal	12" Ht.
JUN BL2	14	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	3 gal	15" Ht.
JUN B15	20	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	B & B	6" Ht.
PIC GL3	2	Picea pungens glauca 'Globosa'	Globe Blue Spruce	B & B	18" Ht.
PIN COM	28	Pinus mugo 'Compacta'	Dwarf Mugo Pine	B & B	18" Ht.
THU CGB	24	Thuja occidentalis 'Congabe'	Fire Chief Arborvitae	3 gal	18" Ht.
THU FO3	32	Thuja plicata 'Forever Goldy'	Forever Goldy Arborvitae	5 gal	24" Ht.

ORNAMENTAL GRASSES

AND BHK	34	Andropogon gerardii 'Blackhawks'	Blackhawks Big Bluestem	2 gal	Clump
CAL AVA	68	Calamagrostis x acutiflora 'Avalanche'	Avalanche Reed Grass	2 gal	Clump
CAL KAR	30	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 gal	Clump
PAN DAL	114	Panicum virgatum 'Dallas Blues'	Dallas Blues Switch Grass	3 gal	Clump
PAN HEA	80	Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass	2 gal	Clump
SCH SCO	34	Schizachyrium scoparium 'The Blues'	The Blues Little Bluestem	2 gal	Clump
SPO HET	94	Sporobolus heterolepis	Prairie Dropseed	2 gal	Clump

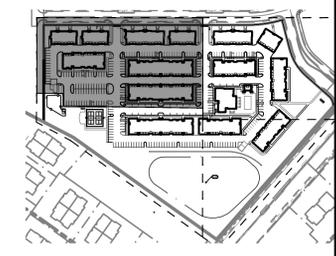
DECIDUOUS GROUNDCOVERS

HYF CAL	66	Hypericum calycinum	Creeping St. John's Wort	1 gal	24" o.c.
PHL SUB	76	Phlox subulata	Creeping Phlox	1 gal	15" o.c.
SAL MA2	266	Salvia nemorosa 'May Night'	May Night Sage	2 gal	18" o.c.

EVERGREEN GROUNDCOVERS

ARG MAS	30	Arctostaphylos uva-ursi 'Massachusetts'	Massachusetts Kinnikinnick	3 gal	48" o.c.
LIR SP2	50	Liriope spicata 'Silver Dragon'	Creeping Lily Turf	1 gal	18" o.c.

KEY MAP



**EASTON FARM APARTMENTS**  
**CONSTRUCTION DRAWINGS**  
 SECTION 14, TOWN 2, RANGE 5 BTM  
 CITY OF SPRINGBORO  
 CLEARCREEK TOWNSHIP  
 WARREN COUNTY, OH

**LANDSCAPE PLAN - NORTHWEST**

www.bayerbecker.com  
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 Cincinnati, OH 45202 - 513.834.6151

Drawing: 25-0001 LA  
 Drawn by: CDS  
 Checked by: LEM  
 Issue Date: 07/25/25

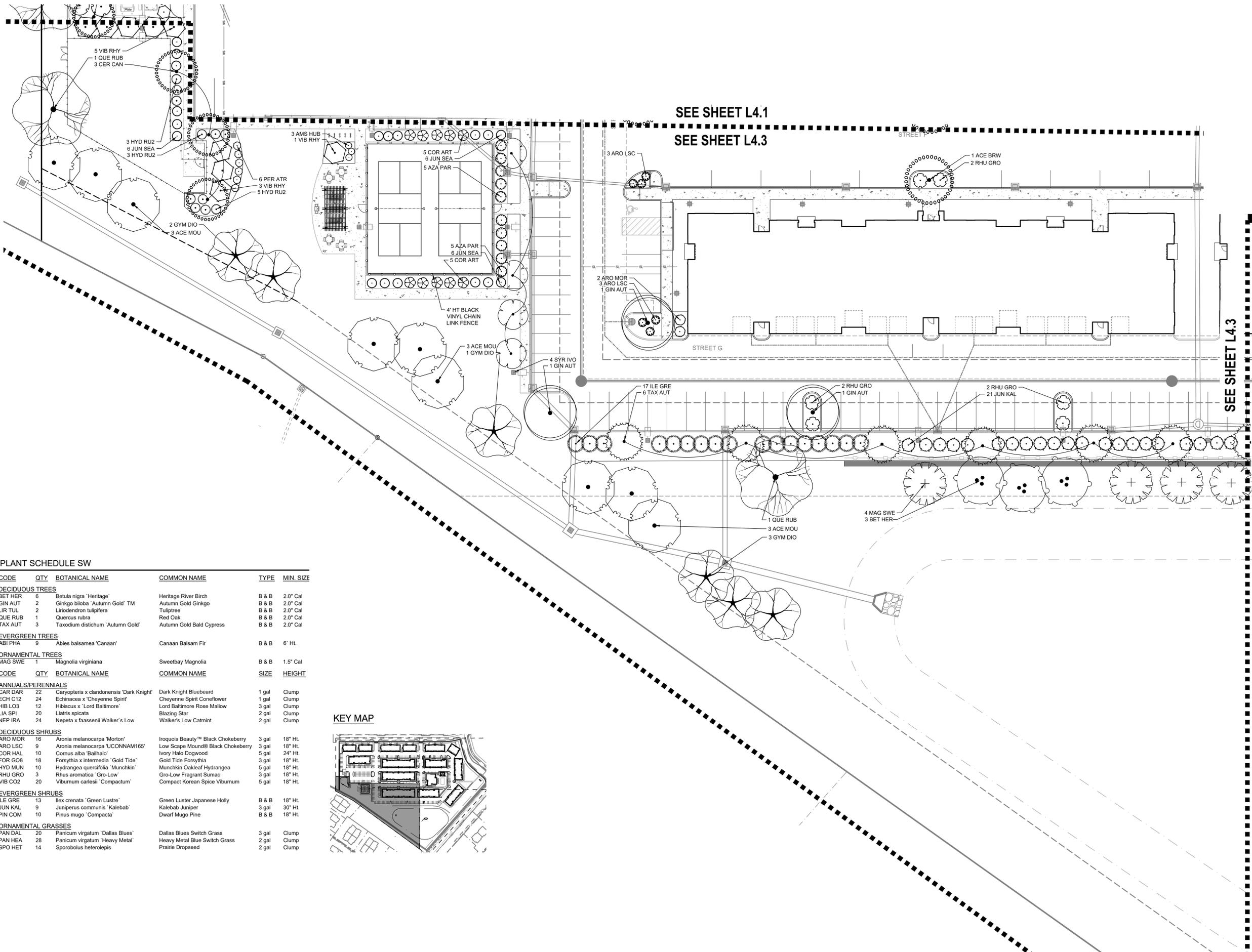
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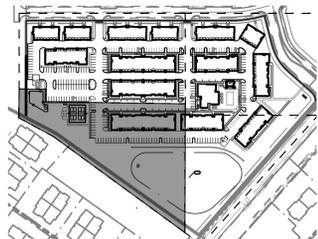
SOUTHWEST PLANTING PLAN (SCALE 1" = 20')



PLANT SCHEDULE SW

CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
<b>DECIDUOUS TREES</b>					
BET HER	6	Betula nigra 'Heritage'	Heritage River Birch	B & B	2.0' Cal
GIN AUT	2	Ginkgo biloba 'Autumn Gold'™	Autumn Gold Ginkgo	B & B	2.0' Cal
LIR TUL	2	Liriodendron tulipifera	Tuliptree	B & B	2.0' Cal
QUE RUB	1	Quercus rubra	Red Oak	B & B	2.0' Cal
TAX AUT	3	Taxodium distichum 'Autumn Gold'	Autumn Gold Bald Cypress	B & B	2.0' Cal
<b>EVERGREEN TREES</b>					
ABI PHA	9	Abies balsamea 'Canaan'	Canaan Balsam Fir	B & B	6' Ht.
<b>ORNAMENTAL TREES</b>					
MAG SWE	1	Magnolia virginiana	Sweetbay Magnolia	B & B	1.5" Cal
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
<b>ANNUALS/PERENNIALS</b>					
CAR DAR	22	Caryopteris x clandonensis 'Dark Knight'	Dark Knight Bluebeard	1 gal	Clump
ECH C12	24	Echinacea x 'Cheyenne Spirit'	Cheyenne Spirit Coneflower	1 gal	Clump
HIB L03	12	Hibiscus x 'Lord Baltimore'	Lord Baltimore Rose Mallow	3 gal	Clump
LIA SPI	20	Liatris spicata	Blazing Star	2 gal	Clump
NEP IRA	24	Nepeta x faassenii Walker's Low	Walker's Low Catmint	2 gal	Clump
<b>DECIDUOUS SHRUBS</b>					
ARO MOR	16	Aronia melanocarpa 'Morton'	Iroquois Beauty™ Black Chokeberry	3 gal	18" Ht.
ARO LSC	9	Aronia melanocarpa 'UCONNAM165'	Low Scape Mound® Black Chokeberry	3 gal	18" Ht.
COR HAL	10	Cornus alba 'Bailhato'	Ivory Halo Dogwood	5 gal	24" Ht.
FOR GO8	18	Forsythia x intermedia 'Gold Tide'	Gold Tide Forsythia	3 gal	18" Ht.
HYD MUN	10	Hydrangea quercifolia 'Munchkin'	Munchkin Oakleaf Hydrangea	5 gal	18" Ht.
RHU GRO	3	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal	18" Ht.
VIB CO2	20	Viburnum carlesii 'Compactum'	Compact Korean Spice Viburnum	5 gal	18" Ht.
<b>EVERGREEN SHRUBS</b>					
ILE GRE	13	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holly	B & B	18" Ht.
JUN KAL	9	Juniperus communis 'Kalebab'	Kalebab Juniper	3 gal	30" Ht.
PIN COM	10	Pinus mugo 'Compacta'	Dwarf Mugo Pine	B & B	18" Ht.
<b>ORNAMENTAL GRASSES</b>					
PAN DAL	20	Panicum virgatum 'Dallas Blues'	Dallas Blues Switch Grass	3 gal	Clump
PAN HEA	28	Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass	2 gal	Clump
SPO HET	14	Sporobolus heterolepis	Prairie Dropseed	2 gal	Clump

KEY MAP

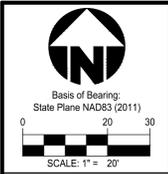


SEE SHEET L4.1

SEE SHEET L4.3

SEE SHEET L4.3

SEE SHEET L4.4



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Item	Revision Description	Date	Dwn:	Chk:

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Drawing: 25-0001 L.A.  
 Drawn by: CDS  
 Checked by: LEM  
 Issue Date: 07/25/25  
 Sheet: **L4.3**







SECTION 32 93 00 - PLANTS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 01 SPECIFICATION SECTIONS, APPLY TO THIS SECTION.

1.2 SUMMARY

- A. SECTION INCLUDES: 1. PLANTS, 2. TREES AND SOILS, 3. MISCELLANEOUS PRODUCTS.

1.3 SUBMITTALS

- A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED, INCLUDING SOILS, 1. PLANT MATERIALS: INCLUDE QUANTITIES, SIZES, QUALITY, AND SOURCES FOR PLANT MATERIALS. 2. PESTICIDES AND HERBICIDES: INCLUDE PRODUCT LABEL AND MANUFACTURER'S APPLICATION INSTRUCTIONS SPECIFIC TO THE PROJECT. B. SAMPLES FOR VERIFICATION: SUBMIT EACH PRODUCT AND MATERIAL WHERE REQUIRED BY THE SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. C. PRODUCT CERTIFICATES: FOR EACH TYPE OF MANUFACTURED PRODUCT, FROM MANUFACTURER, AND COMPLYING WITH THE FOLLOWING: 1. MANUFACTURER'S CERTIFIED ANALYSIS OF STANDARD PRODUCTS. 2. MATERIAL TEST REPORTS: FOR STANDARDIZED ASTM D 5268 TOPSOIL, EXISTING NATIVE SURFACE TOPSOIL, AND IMPORTED OR MANUFACTURED TOPSOIL. E. WARRANTY: SAMPLE OF SPECIAL WARRANTY.

1.4 QUALITY ASSURANCE

- A. INSTALLER QUALIFICATIONS: A QUALIFIED LANDSCAPE INSTALLER WHOSE WORK HAS RESULTED IN SUCCESSFUL ESTABLISHMENT OF PLANTS. 1. EXPERIENCE: FIVE YEARS' EXPERIENCE IN LANDSCAPE INSTALLATION IN ADDITION TO REQUIREMENTS IN DIVISION 01 SECTION "QUALITY REQUIREMENTS". 2. INSTALLER'S FIELD SUPERVISION: REQUIRE INSTALLER TO MAINTAIN AN EXPERIENCED FULL-TIME SUPERVISOR ON PROJECT SITE WHEN WORK IS IN PROGRESS. B. SOIL ANALYSIS: FOR EACH UNAMENDED SOIL TYPE, FURNISH SOIL ANALYSIS AND A WRITTEN REPORT BY A QUALIFIED SOIL-TESTING LABORATORY STATING PERCENTAGES OF ORGANIC MATTER, GRADATION OF SAND, SILT, AND CLAY CONTENT, CATION EXCHANGE CAPACITY, SODIUM ABSORPTION RATIO, DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF THE SOIL. C. TESTING METHODS AND RECOMMENDATIONS SHALL COMPLY WITH USDA'S HANDBOOK NO. 60. D. THE SOIL-TESTING LABORATORY SHALL OVERSEE SOIL SAMPLING, WITH DEPTH, LOCATION, AND NUMBER OF SAMPLES TO BE TAKEN PER INSTRUCTIONS FROM LANDSCAPE ARCHITECT. A MINIMUM OF THREE REPRESENTATIVE SAMPLES SHALL BE TAKEN FROM VARIED LOCATIONS FOR EACH SOIL TO BE USED OR AMENDED FOR PLANTING PURPOSES. 3. REPORT SUITABILITY OF TESTED SOIL FOR PLANT GROWTH. a. BASED UPON THE TEST RESULTS, STATE RECOMMENDATIONS FOR SOIL TREATMENTS AND SOIL AMENDMENTS TO BE INCORPORATED. STATE RECOMMENDATIONS IN WEIGHT PER 1000 SQ. FT. (92.9 SQ. M) OR VOLUME PER CU. YD. (0.76 CU. M) FOR NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE SATISFACTORY PLANTING SOIL SUITABLE FOR HEALTHY, VIABLE PLANTS. b. REPORT PRESENCE OF PROBLEM SALTS, MINERALS, OR HEAVY METALS, INCLUDING ALUMINIUM, ARSENIC, BARIUM, CADMIUM, CHROMIUM, COBALT, LEAD, LITHIUM, AND VANADIUM. IF SUCH PROBLEM MATERIALS ARE PRESENT, PROVIDE ADDITIONAL RECOMMENDATIONS FOR CORRECTIVE ACTION. C. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN SECTION 32.90.00, PLANTS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT FRUNING, PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. a. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING. D. MEASUREMENTS: MEASURE ACCORDING TO ANSI Z60.1. DO NOT PRUNE TO OBTAIN REQUIRED SIZES. 1. TREES AND SHRUBS: MEASURE WITH BRANCHES AND TRUNKS OR CANES IN THEIR NORMAL POSITION. TAKE HEIGHT MEASUREMENTS FROM OR NEAR THE TOP OF THE ROOT FLARE FOR FIELD-GROWN STOCK AND CONTAINER GROWN STOCK. MEASURE MAIN BODY OF TREE OR SHRUB FOR HEIGHT AND SPREAD, DO NOT MEASURE BRANCHES OR ROOTS TIP TO TIP. TAKE CALIPER MEASUREMENTS 6 INCHES (150 MM) ABOVE THE ROOT FLARE FOR TREES UP TO 4-INCH (100-MM) CALIPER SIZE, AND 12 INCHES (300 MM) ABOVE THE ROOT FLARE FOR LARGER SIZES. 2. OTHER PLANTS: MEASURE WITH STEMS, PETIOLES, AND FOLIAGE IN THEIR NORMAL POSITION. E. PLANT MATERIAL OBSERVATION: LANDSCAPE ARCHITECT MAY OBSERVE PLANT MATERIAL EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, CULTIVAR, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF RALLS AND ROOT SYSTEMS, DISEASE SYMPTOMS, INJURIES, AND LATEX DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. PACKAGED MATERIALS: DELIVER PACKAGED MATERIALS IN ORIGINAL, UNOPENED CONTAINERS SHOWING WEIGHT CERTIFIED ANALYSIS, NAME AND ADDRESS OF MANUFACTURER, AND INDICATION OF CONFORMANCE WITH STATE AND FEDERAL LAWS IF APPLICABLE. B. BULK MATERIALS: 1. DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS. 2. PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF BULK MATERIALS, DISCHARGE OF SOIL-BEARING WATER RUNOFF, AND AIRBORNE DUST REACHING ADJACENT PROPERTIES, WATER CONVEYANCE SYSTEMS, OR WALKWAYS. 3. ACCOMPANY EACH DELIVERY OF BULK FERTILIZERS, LIME, AND SOIL AMENDMENTS WITH APPROPRIATE CERTIFICATES. C. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING. D. HANDLE PLANTING STOCK BY ROOT BALL. E. STORE BULBS, CORMS, AND TUBERS IN A DRY PLACE AT 60 TO 65 DEG F (16 TO 18 DEG C) UNTIL PLANTING. F. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED, AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN THEIR APPROPRIATE ASPECT (SUN, FILTERED SUN, OR SHADE), PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST. 1. SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL. 2. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. 3. WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST, BUT NOT OVERLY-WET CONDITION.

1.6 PROJECT CONDITIONS

- A. FIELD MEASUREMENTS: VERIFY ACTUAL GRADE ELEVATIONS, SERVICE AND UTILITY LOCATIONS, IRRIGATION SYSTEM COMPONENTS, AND DIMENSIONS. ADJUST PLANTING LOCATION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK. B. WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED. APPLY PRODUCTS DURING FAVORABLE WEATHER CONDITIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS. C. COORDINATION WITH TURF AREAS (LAWNS): PLANT TREES, SHRUBS, AND OTHER PLANTS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING TURF AREAS UNLESS OTHERWISE INDICATED. 1. WHEN PLANTING TREES, SHRUBS, AND OTHER PLANTS AFTER PLANTING TURF AREAS, PROTECT TURF AREAS, AND PROMPTLY REPAIR DAMAGE CAUSED BY PLANTING OPERATIONS.

1.7 WARRANTY

- A. SPECIAL WARRANTY: INSTALLER AGREES TO REPAIR OR REPLACE PLANTINGS AND ACCESSORIES THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN SPECIFIED WARRANTY PERIOD. 1. FAILURES NOT LIMITED TO: 1. FAILURE TO ESTABLISH AND MAINTAIN THE PLANTING WORK. a. DEATH & UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM ABUSE, LACK OF ADEQUATE MAINTENANCE, OR NEGLECT BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL. b. STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER. c. FAULTY PERFORMANCE OF TREE STABILIZATION, EDGING. d. DETRIORATION OF METALS, METAL FINISHES, AND OTHER MATERIALS BEYOND NORMAL WEATHERING. 2. WARRANTY PERIODS FROM DATE OF PLANTING COMPLETION. a. TREES, SHRUBS, VINES, AND ORNAMENTAL GRASSES: 12 MONTHS. b. GROUND COVERS, BIENNIALS, PERENNIALS, AND OTHER PLANTS: 12 MONTHS. 3. INCLUDE THE FOLLOWING REMEDIAL ACTIONS AS A MINIMUM: a. IMMEDIATELY REMOVE DEAD PLANTS AND REPLACE UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON. b. REPLACE PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. c. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS. d. PROVIDE EXTENDED WARRANTY FOR PERIOD EQUAL TO ORIGINAL WARRANTY PERIOD, FOR REPLACED PLANT MATERIAL.

PART 2 - PRODUCTS

2.1 PLANT MATERIAL

- A. GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE OR PLANT LEGEND SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. 1. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK (INCLUDED BARK); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 3/4 INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED. 2. COLLECTED STOCK: DO NOT USE PLANTS TRANSPORTED FROM THE WILD, FROM NATIVE STANDS, FROM AN ESTABLISHED LANDSCAPE PLANTING, OR NOT GROWN IN A NURSERY UNLESS OTHERWISE INDICATED.

- B. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS. C. ROOT-BALL DEPTH: FURNISH TREES AND SHRUBS WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING. D. LABELING: LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES, CULTIVAR OR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS. PLANT TAGS SHALL REMAIN ON INSTALLED PLANT MATERIAL UNTIL THE WORK HAS BEEN APPROVED BY LOCAL INSPECTOR AND/OR THE OWNER OR OWNER'S REPRESENTATIVE.

2.2 INORGANIC SOIL AMENDMENTS

- A. LIME: ASTM C 602, AGRICULTURAL LIMING MATERIAL CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT AND AS FOLLOWS: 1. PROVIDE LIME IN FORM OF GROUND DOLOMITIC LIMESTONE PER ASTM 605, CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES AND SHALL BE GROUND TO SUCH A FINENESS THAT 50% WILL PASS THROUGH A 100 MESH SIEVE AND 99% THROUGH A 20 MESH SIEVE. COARSER MATERIAL WILL BE ACCEPTABLE PROVIDED THE SPECIFIED RATES OF APPLICATION ARE INCREASED PROPORTIONALLY ON THE BASIS OF QUANTITIES PASSING THE 100 MESH SIEVE. B. SULFUR: GRANULAR, BIODEGRADABLE, AND CONTAINING A MINIMUM OF 90 PERCENT SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING THROUGH NO. 6 (3.35-MM) SIEVE AND A MAXIMUM OF 10 PERCENT PASSING THROUGH NO. 40 (0.425-MM) SIEVE.

2.3 MULCHES

- A. ORGANIC MULCH: FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, COMPLYING WITH THE FOLLOWING: 1. TYPE: DOUBLE SHREDDED HARDWOOD BARK.

2.4 MISCELLANEOUS PRODUCTS

- A. ANTIDESICCANT: WATER-INSOLUBLE EMULSION, PERMEABLE MOUTHE RETARDER, FIRM FORMING, FOR TREES AND SHRUBS. DELIVER IN ORIGINAL, SEALED, AND FULLY LABELED CONTAINERS AND MIX ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. B. TREE-WRAP TAPE: TWO LAYERS OF CRINKLED PAPER CEEMENTED TOGETHER WITH BITUMINOUS MATERIAL, 4" WIDE MINIMUM, WITH STRETCH FACTOR 33 PERCENT. C. PRE-EMERGENT HERBICIDE: TO KILL GERMINATING WEED SEEDLINGS, APPLY ONE OF THE FOLLOWING PRE-EMERGENT HERBICIDES AS MANUFACTURER'S RECOMMENDED RATE: 1. ORYZALIN (SURFLAN). 2. SIMAZIN (PRINCEP). 3. TRIFLURALIN (TRIFLAN). D. POST-EMERGENT HERBICIDE: TO KILL EMERGENT WEEDS DURING MAINTENANCE PERIOD, APPLY ONE OF THE FOLLOWING POST-EMERGENT HERBICIDES AT MANUFACTURER'S RECOMMENDED RATE: 1. SETHOXYDIM (POAST). 2. FLUAZIFOP (FUSILADE).

PART 3 - EXECUTION

3.1 EXAMINATION

- A. EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. 1. VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAS BEEN DEPOSITED IN SOIL WITHIN A PLANTING AREA. DO NOT MIX OR DISPERSE ANY OF THESE MATERIALS INTO SOIL. 2. SURENUP SOIL, SPREADING, GRADING, AND TILLING OPERATIONS DURING PERIODS OF EXCESSIVE SOIL MOISTURE UNTIL THE MOISTURE CONTENT REACHES ACCEPTABLE LEVELS TO ATTAIN THE REQUIRED RESULTS. 4. UNIFORMLY MOISTEN EXCESSIVELY DRY SOIL THAT IS NOT WORKABLE AND WHICH IS TOO DUSTY. B. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. C. IF CONTAMINATION BY FOREIGN OR DELETERIOUS MATERIAL OR LIQUID IS PRESENT IN SOIL WITHIN A PLANTING AREA, REMOVE THE SOIL AND CONTAMINATION AS DIRECTED BY LANDSCAPE ARCHITECT AND REPLACE WITH NEW PLANTING SOIL.

3.2 PREPARATION

- A. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES AND TURF AREAS AND EXISTING PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS. B. INSTALL EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS. C. LAY OUT INDIVIDUAL TREE PLANTING LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS, STAKE LOCATIONS, OUTLINE AREAS, AND LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE EXCAVATING OR PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED. D. LAY OUT PLANTS AT LOCATIONS DIRECTED BY LANDSCAPE ARCHITECT. STAKE LOCATIONS OF INDIVIDUAL TREES AND SHRUBS AND OUTLINE AREAS FOR MULTIPLE PLANTINGS. E. IF EXISTING ECOLOGY CAUSES ADJUSTMENTS OF LANDSCAPE PLANS TO FIT THE SITE CONDITIONS, A STAKE OUT BY LANDSCAPE ARCHITECT AND ADJUSTMENTS BY LANDSCAPE ARCHITECT SHALL BE REQUIRED PRIOR TO INSTALLATION. F. APPLY ANTIDESICCANT TO TREES AND SHRUBS USING POWER SPRAY TO PROVIDE AN ADEQUATE FIRM OVER TRUNKS (BEFORE WRAPPING), BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT DURING DIGGING, HANDLING, AND TRANSPORTATION. 1. APPLY ANTIDESICCANT TO TREES OR SHRUBS ARE MOVED IN FULL LEAF. SPRAY WITH ANTIDESICCANT AT NURSERY BEFORE MOVING AND AGAIN TWO WEEKS AFTER PLANTING. G. WRAP TREES AND SHRUBS WITH BURLAP FABRIC OVER TRUNKS, BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT FROM WIND AND OTHER DAMAGE DURING DIGGING, HANDLING, AND TRANSPORTATION.

3.3 PLANTING AREA ESTABLISHMENT

- A. LOOSEN SUBGRADE OF PLANTING AREAS TO A MINIMUM DEPTH OF 18 INCHES (450 MM). REMOVE STONES LARGER THAN 1 INCH (25 MM) IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY. 1. APPLY FERTILIZER DIRECTLY TO SUBGRADE BEFORE LOOSENING. 2. SPREAD TOPSOIL, APPLY SOIL AMENDMENTS AND FERTILIZER ON SURFACE, AND THOROUGHLY BLEND PLANTING SOIL. a. DELAY MIXING FERTILIZER WITH PLANTING SOIL IF PLANTING WILL NOT PROCEED WITHIN A FEW DAYS. b. MIX LIME WITH DRY SOIL BEFORE MIXING FERTILIZER. 3. SPREAD PLANTING SOIL TO A DEPTH OF 18 INCHES (450 MM) BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. B. FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. C. RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING. D. ALL PLANTING AREAS SHOWN ON PLANS SHALL BE WITHIN 2" OF FINAL GRADE BEFORE LANDSCAPE CONTRACTOR COMMENCES INSTALLATION.

3.4 EXCAVATION FOR TREES AND SHRUBS

- A. PLANTING PITS AND TRENCHES: EXCAVATE CIRCULAR PLANTING PITS WITH SIDES SLOPING INWARD AT A 45-DEGREE ANGLE. EXCAVATIONS WITH VERTICAL SIDES ARE NOT ACCEPTABLE. TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED 8 INCHES TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLEMENT AND SOIL SLOPING INTO PIT SNEARED OR SMOOTHED DURING EXCAVATION. 1. EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER OR BALLED AND BURLAPPED STOCK. 2. EXCAVATE AT LEAST 12 INCHES (300 MM) WIDER THAN ROOT SPREAD AND DEEP ENOUGH TO ACCOMMODATE VERTICAL ROOTS FOR BARE-ROOT STOCK. 3. IF DRAIN TILE IS SHOWN ON DRAWINGS OR REQUIRED UNDER PLANTING AREAS, EXCAVATE TO TOP OF POROUS BACKFILL OVER TILE. B. SUBCKFILL OVER TILE: 1. SUBCKFILL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE OF ROCKS OR OTHER DELETERIOUS MATERIALS. C. OBSTRUCTIONS: NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS. D. DRAINAGE: NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS. E. FILL EXCAVATIONS WITH WATER AND ALLOW TO PERCOLATE AWAY BEFORE POSITIONING TREES AND SHRUBS.

3.5 TREE, SHRUB, AND VINE PLANTING

- A. BEFORE PLANTING, VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL ACCORDING TO ANSI Z60.1. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE THE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS. B. REMOVE STEM GIRDLING ROOTS AND KINKED ROOTS. REMOVE INJURED ROOTS BY CUTTING CLEANLY; DO NOT BREAK. C. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 1 INCH (25 MM) ABOVE ADJACENT FINISH GRADES. D. SET CONTAINER-GROWN STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 1 INCH (25 MM) ABOVE ADJACENT FINISH GRADES. 1. CAREFULLY REMOVE ROOTS FROM CONTAINER WITHOUT DAMAGING ROOT BALL OR PLANT. 2. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS, TAMPING TO SETLE MIX AND ELIMINATE VAINCE AND AIR POCKETS. WHEN PIT IS APPROXIMATELY ONE-HALF BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF PLANTING SOIL MIX. E. AFTER THE LANDSCAPE ARCHITECT HAS EXAMINED THE TRUNKS OF NEW INSTALLED TREES, WRAP TRUNKS OF 2-INCH CALIPER AND LARGER WITH TREE-WRAP TAPE. START AT THE BASE OF THE TRUNK AND SPIRAL COVER THE TRUNK TO THE HEIGHT OF THE FIRST BRANCHES. OVERLAP THE WRAP, EXPOSING HALF THE WIDTH, AND SECURELY ATTACH WITHOUT CAUSING GIRDLING. INSPECT TREE TRUNKS FOR INJURY, IMPROPER PRUNING, AND INSECT INFESTATION; TAKE CORRECTIVE MEASURES REQUIRED BEFORE TREE WRAPPING.

3.6 TREE, SHRUB, AND VINE PRUNING

- A. REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE. B. PRUNE THIN, AND SHAPE TREES, SHRUBS, AND VINES AS DIRECTED BY LANDSCAPE ARCHITECT. C. PRUNE AND DEVELOP TREES AND SHRUBS TO MAINTAIN PROPORTIONAL HORIZONTAL, VERTICAL, AND ARBORCULTURAL PRACTICES UNLESS OTHERWISE INDICATED BY LANDSCAPE ARCHITECT. DO NOT CUT TREE LEADERS; REMOVE ONLY INJURED, DYING, OR DEAD BRANCHES FROM TREES AND SHRUBS; AND PRUNE TO RETAIN NATURAL CHARACTER. D. DO NOT APPLY PRUNING PAINT TO WOUNDS.

3.7 GROUND COVER AND PLANT PLANTING

- A. SET OUT AND SPACE GROUND COVER AND PLANTS OTHER THAN TREES, SHRUBS, AND VINES AS INDICATED IN EVEN ROWS WITH TRIANGULAR SPACING. B. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS.

- C. WORK SOIL AROUND ROOTS TO ELIMINATE AIR POCKETS AND LEAVE A SLIGHT SAUCER INDENTATION AROUND ROOTS TO HOLD WATER. D. WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER PLANT CROWNS WITH WET SOIL. E. PROTECT PLANTS FROM HOT SUN AND WIND, REMOVE PROTECTION IF PLANTS SHOW EVIDENCE OF RECOVERY FROM TRANSPLANTING SHOCK.

3.8 PLANTING AREA MULCHING

- A. INSTALL WEED-CONTROL BARRIERS BEFORE MULCHING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES A MINIMUM OF 6 INCHES (150 MM) AND SECURE SEAMS WITH GALVANIZED PINS. PINS TO BE 8"-10" APART ALONG EDGES AND 12" MINIMUM IN CENTER. B. MULCH BACKFILLED SURFACES OF PLANTING AREAS AND OTHER AREAS INDICATED. 1. TREES AND SHRUBS IN TURF AREAS: APPLY ORGANIC MULCH RING OF 4-INCH (75-MM) AVERAGE THICKNESS, WITH 36-INCH (900-MM) RADIUS AROUND TRUNKS OR STEMS. DO NOT PLACE MULCH WITHIN 3 INCHES (75 MM) OF TRUNKS OR STEMS OR VOLCANO MULCH. 2. ORGANIC MULCH IN PLANTING AREAS: APPLY 2-INCH (50-MM) AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING 12 INCHES (300 MM) BEYOND EDGE OF INDIVIDUAL PLANTING PIT OR TRENCH AND OVER WHOLE SURFACE OF PLANTING AREA TO FINISH LEVEL WITH ADJACENT FINISH GRADES. DO NOT PLACE MULCH WITHIN 3 INCHES (75 MM) OF TRUNKS OR STEMS.

3.9 PLANT MAINTENANCE

- A. MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, MULCHING, RESTORING PLANTING SAUCERS, ADJUSTING AND REPAIRING TREE-STABILIZATION DEVICES, RESETTLE TO PROPER GRADES OR VERTICAL POSITION, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. a. WATER EXISTING PROTECTED TREES AND VEGETATION WITH ONE INCH OF RAIN (RAIN GAUGE OR NOAH LOCAL WEATHER VERIFIED) PER WEEK FOR DURATION OF CONSTRUCTION PROJECT. B. FILL IN AS NECESSARY SOIL SUBSIDENCE THAT MAY OCCUR BECAUSE OF SETTLING OR OTHER PROCESSES. REPLACE MULCH MATERIALS DAMAGED OR LOST IN AREAS OF SUBSIDENCE. C. APPLY TREATMENTS AS REQUIRED TO KEEP PLANT MATERIALS, PLANTED AREAS, AND SOILS FREE OF PESTS AND PATHOGENS OR DISEASE. USE INTEGRATED PEST MANAGEMENT PRACTICES WHENEVER POSSIBLE TO MINIMIZE THE USE OF PESTICIDES AND REDUCE HAZARDS. TREATMENTS INCLUDE PHYSICAL CONTROLS SUCH AS HOSSING OFF FOLIAGE, MECHANICAL CONTROLS SUCH AS TRAPS, AND BIOLOGICAL CONTROL AGENTS.

3.10 PESTICIDE APPLICATION

- A. APPLY PESTICIDES AND OTHER CHEMICAL PRODUCTS AND BIOLOGICAL CONTROL AGENTS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION AND MANUFACTURER'S WRITTEN RECOMMENDATIONS. COORDINATE APPLICATIONS WITH OWNER'S OPERATIONS AND OTHERS IN PROXIMITY TO THE WORK. NOTIFY OWNER BEFORE EACH APPLICATION IS PERFORMED. B. PRE-EMERGENT HERBICIDES (SELECTIVE AND NON-SELECTIVE): APPLY TO TREE, SHRUB, AND GROUND-COVER AREAS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. DO NOT APPLY TO SEEDED AREAS. C. POST-EMERGENT HERBICIDES (SELECTIVE AND NON-SELECTIVE): APPLY ONLY AS NECESSARY TO TREAT ALREADY-GERMINATED WEEDS AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.

3.11 CLEANUP AND PROTECTION

- A. DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION. B. PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES WITHIN 20' OF CONSTRUCTION DISTURBANCE. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. PER WEEK FOR DURATION OF CONSTRUCTION PROJECT. C. INSTALL MINIMUM 4" TALL FENCE 5' OUTSIDE THE DRIP LINE OF TREES TO REMAIN. D. AFTER INSTALLATION AND AFTER WORK HAS BEEN APPROVED BY LOCAL INSPECTOR AND/OR OWNER OR OWNER'S REPRESENTATIVE, REMOVE NURSERY TAGS, NURSERY STAKES, THE TAPE, LABELS, WIRE, BURLAP, AND OTHER DEBRIS FROM PLANT MATERIAL, PLANTING AREAS, AND PROJECT SITE.

3.12 DISPOSAL

- A. REMOVE SURPLUS SOIL AND WASTE MATERIAL INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

END OF SECTION 32 93 00

SECTION 31 14 00 - SITE RESTORATION OF LANDSCAPING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 01 SPECIFICATION SECTIONS, APPLY TO THIS SECTION.

1.2 SUMMARY

- A. SECTION INCLUDES: 1. SPREAD AND CONDITION EXISTING STOCKPILED TOPSOIL. 2. PROVIDE NEW, IF REQUIRED, LIME. 3. TILL, DISTRIBUTE AND GRADE TOPSOIL. 4. CLEAN UP. B. SUBMITTALS (SUBMIT ALL THE FOLLOWING REPORTS, IN TRIPLICATE, TO OWNER FOR REVIEW) A. LABORATORY TESTS: SUBMIT COPIES OF TOPSOIL LABORATORY TESTS TO THE OWNER. B. FERTILIZER: SUBMIT COPIES ATTESTING TO THE FERTILIZER COMPOSITION TO THE OWNER. C. SEED MIX: SUBMIT COPIES ATTESTING TO THE SEED MIX COMPOSITION TO THE OWNER. D. SOD: SUBMIT COPIES FROM THE SOD SOURCE ATTESTING TO THE SEED MIX COMPOSITION TO THE OWNER.

1.4 SITE PROTECTION

- A. PROTECT EXISTING GROUNDS, PLANTS, LAWNS AND VEGETATION TO REMAIN. 1. PROTECT EXISTING TREES TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, SKINNING, OR BRUISING OF ROOTS AND BARK. SMOTHERING OF TREES BY COMPACTION OR STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN FIVE FEET OF OUTER EDGE OF DRIP LINE. a. ERECT MINIMUM OF FOUR (4) FOOT HIGH FENCE FIVE (5) FEET OUTSIDE DRIP LINE OF TREES TO REMAIN. b. ERECT TREE PROTECTION BEFORE STARTING SITE WORK OF ANY KIND. MAINTAIN FENCING DURING CONSTRUCTION PERIOD. c. INTERFERING BRANCHES MAY ONLY BE REMOVED WITH PRIOR CONSENT FROM LANDSCAPE ARCHITECT. d. IDENTIFY ANY TREES LANDSCAPE ARCHITECT WOULD LIKE VERTICALLY MULCHED, TRIMMED OR REPAIRED AS RESULT OF CONSTRUCTION IMPACT AT END OF PROJECT. ALL WORK TO BE DONE BY A CERTIFIED ARBORIST TO BE APPROVED BY LANDSCAPE ARCHITECT. 2. WATER TREES AND VEGETATION TO REMAIN WITH ONE INCH OF RAIN (RAIN GAUGE OR NOAH LOCAL WEATHER VERIFIED) PER WEEK FOR DURATION OF CONSTRUCTION PROJECT. 3. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO PLANTS TO REMAIN. COST FOR TREE REPLACEMENT SHALL BE DETERMINED IN ACCORDANCE WITH THE "GUIDE FOR PLANT APPRAISAL" BY THE COUNCIL OF TREE AND LANDSCAPE APPRAISERS (INTERNATIONAL SOCIETY OF AGRICULTURE, PUBLICATION #P1209).

1.5 STRIPPING AND STORAGE OF EXISTING TOPSOIL

- A. STRIP TOPSOIL TO FULL DEPTH AT AREAS IMPACTED & AT ALL AREAS TO BE RE-GRADED OR RESURFACED. B. STOP TOPSOIL STRIPPING OUTSIDE DRIP LINE OF TREES TO REMAIN / DO NOT STRIP AS TO IMPACT ROOT LINE OF TREES TO REMAIN. C. DISPOSE OF ROOTS, STONE AND OTHER DEBRIS; STORE TOPSOIL IN PILES WITHIN THE WORK LIMITS. 1. OBTAIN APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO ESTABLISHING TOPSOIL STORAGE AREAS. 2. GRADE AND SLOPE STORAGE AREAS FOR PROPER DRAINAGE AND TO PREVENT EROSION. D. THE REUSE OF STOCKPILED TOPSOIL WITHIN THE PROJECT SITE MUST BE APPROVED FOR PLACEMENT BY THE LANDSCAPE ARCHITECT.

PART 2 - PRODUCTS AND MATERIALS

2.1 TOPSOIL

- A. ALL TOPSOIL SHALL BE SHREDDED, CLEAN, AND OF UNIFORM QUALITY FREE FROM HARD CLODS, STIFF CLAY, PARTIALLY DISINTEGRATED STONE, LIME, CEMENT, SLAG, OR OTHER UNDESIRABLE MATERIAL. TOPSOIL SHALL CONFORM TO THE FOLLOWING: 1. ORGANIC CONTENT: TOPSOIL SHALL CONTAIN BETWEEN 3% AND 10% ORGANIC MATTER AS DETERMINED BY LOSS OF IGNITION. 2. PH: TOPSOIL PH SHALL RANGE BETWEEN 6.0 AND 7.5 3. SOIL TEXTURE: TOPSOIL SHALL CONSIST OF THE FOLLOWING PERCENTAGES OF SAND, SILT, AND CLAY PASSING THROUGH A 200MM (#10) SIEVE: a. SAND: 30% TO 75% b. SILT: 15% TO 30% c. CLAY: 10% TO 70% B. TOPSOIL MUST BE APPROVED BY GROUNDS MANGER PRIOR TO PLACEMENT. TOPSOIL TEST RESULTS SHALL SHOW RECOMMENDATION FOR SOIL ADDITIVES OR FERTILIZERS TO CORRECT NUTRIENT DEFICIENCIES AS NECESSARY. ALL SOIL AMENDMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO USE.

2.2 GRASS SEED

- A. GRASS SEED SHALL BE A TURF-TYPE TALL FESCUE BLEND SUCH AS TROPHY XRE TURF-TYPE TALL FESCUE BLEND OR APPROVED EQUAL BLEND WITH FRESH, CLEAN, NEW CROP SEED MIXTURES. B. SEED MIXTURE SHALL BE POA-FREE MEETING OREGON STATE STANDARDS FOR NOXIOUS WEED EXAMS. C. SEED MIXTURE FOR RECREATION FIELDS SHALL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT.

2.3 SOD

- A. LANDSCAPE ARCHITECT APPROVED NURSERY GROWN TURF-TYPE TALL FESCUE BLEND SUITABLE FOR JOB SPECIFIC EXPOSURE, WEARABILITY, AND DISEASE RESISTANCE CONFORMING TO THE FOLLOWING PERCENTAGES OF GRASS TYPE: 1. 100% - TURF TYPE TALL FESCUE B. PROVIDE WELL-ROOTED, HEALTHY SOD, FREE OF DISEASES, NEMATODES, AND SOIL BORNE INSECTS. PROVIDE SOD IN UNIFORM COLOR, LEAF, TEXTURE, DENSITY, AND FREE OF WEEDS, UNDESIRABLE GRASSES, CAPABLE OF GROWTH AND DEVELOPMENT WHEN PLANTED. SOD IS CONSIDERED FREE OF WEEDS IF LESS THAN 5 WEEDS ARE FOUND PER 100 SQ. FT. C. FURNISH SOD MACHINE STRIPPED AND OF SUPPLIER'S STANDARD WIDTH AND LENGTH; UNIFORMLY 1" TO 1-1/2" THICK WITH CLEAN CUT EDGES. SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 1/4" PERMISSIBLE. SOD SHALL BE MOWED UNIFORMLY BEFORE HARVESTING D. DELIVERY, STORAGE, AND HANDLING: SOD SHALL BE HARVESTED, DELIVERED, AND TRANSPORTED WITHIN A PERIOD OF TWENTY-FOUR (24) HOURS. 1. DO NOT HARVEST OR TRANSPORT SOD WHEN MOISTURE CONTENT MAY ADVERSELY AFFECT SOD SURVIVAL. 2. PROTECT SOD FROM SUN, WIND, AND DEHYDRATION PRIOR TO INSTALLATION. 3. DO NOT TEAR, STRETCH, OR DROP SOD DURING HANDLING AND INSTALLATION.

2.4 FERTILIZER

- A. GRANULAR, NON-BURNING PRODUCE COMPOSED OF NOT LESS THAN 50% ORGANIC SLOW ACTING, GUARANTEED ANALYSIS PROFESSIONAL FERTILIZER CONFORMING TO THE FOLLOWING: 1. TYPE A: STARTER FERTILIZER CONTAINING 20% NITROGEN, 26% PHOSPHORIC ACID, AND 6% POTASH BY WEIGHT, OR SIMILAR APPROVED COMPOSITION. 2. TYPE B: SECONDARY FERTILIZER CONTAINING 31% NITROGEN, 3% PHOSPHORIC ACID, AND 10% POTASH BY WEIGHT, OR SIMILAR APPROVED COMPOSITION.

2.5 GRASS SEED MULCH

- A. GREEN DYED CELLULOSE OR WOOD FIBER MULCH SUCH AS CONWED HYDROMULCH, WEYERHAUSER SILVA-FIBER OR CLEAN FRESH STRAW.

2.6 WATER

- A. CLEAN, POTABLE AND FREE OF SUBSTANCE HARMFUL TO LAWN GROWTH. LAWN WATERING EQUIPMENT, HOSES OR OTHER METHODS OF WATER TRANSPORTATION FURNISHED BY CONTRACTOR.

PART 3 - EXECUTION

3.1 PREPARATION OF SEED BED/ SODDED AREAS

- A. DE-COMPACTION: DE-COMPACT AREAS HEAVILY TRAFFICKED BY CON

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OWNERSHIP OF INSTRUMENTS OF SERVICE  
All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Consultant as instruments of service shall remain the property of the Consultant. The Consultant shall retain all common law, statutory and other reserved rights, including, without limitation, the copyright therein.

## ELECTRIC LUMINAIRE SCHEDULE

GENERAL NOTES:  
 A. REFER TO DRAWINGS FOR MOUNTING TYPE, NUMBER OF FACES AND ARROWS OF EXIT SIGNS. VERIFY IN FIELD PRIOR TO INSTALLATION.  
 B. VERIFY COMPATIBILITY WITH VOLTAGE, CONTROLS, ETC. FOR ALL LUMINAIRE COMPONENTS.  
 C. COORDINATE EACH LUMINAIRE LOCATION WITH THE ARCHITECTURAL REFLECTED CEILING PLANS, CEILING INSTALLERS, ETC. AND PROVIDE APPROPRIATE MOUNTING SYSTEM REQUIRED FOR EACH LUMINAIRE. ALSO, PROVIDE PLASTER FRAMES, WALL BRACKETS, SUPPORTS, OR OTHER APPURTENANCES AS REQUIRED FOR PROPER AND COMPLETE INSTALLATIONS.  
 D. WEAR CLEAN WHITE COTTON GLOVES WHEN HANDLING EXPOSED REFLECTIVE LUMINAIRE SURFACES. REMOVE PLASTIC SHIPPING BAGS ONLY AFTER INTERIOR WORK IS COMPLETE, AND CLEAN ALL SURFACES WITH CLEAN DRY CHEESECLOTH.  
 E. MOUNTING HEIGHTS INDICATED ARE TO THE BOTTOM OF THE LUMINAIRE, UNLESS OTHERWISE NOTED.  
 F. PRODUCTS: PROVIDE PRODUCTS INDICATED ON DRAWINGS AND SCHEDULES. WHERE MULTIPLE MANUFACTURER SERIES/MODEL NUMBERS ARE LISTED FOR A SINGLE LUMINAIRE, PROVIDE ONE OF THOSE LISTED. WHERE A SPECIFIC MANUFACTURER SERIES/MODEL NUMBER IS LISTED AS BASIS-OF-DESIGN, AND WHERE IT IS STATED THAT EQUIVALENTS WILL BE CONSIDERED, ANY PROPOSED NON-LISTED LUMINAIRES ARE SUBJECT TO REVIEW BY DESIGN PROFESSIONAL(S). SUBMITTALS FOR WHICH SHALL BE FURNISHED AT LEAST (10) DAYS PRIOR TO BID DUE DATE OR THEY WILL NOT BE CONSIDERED. THESE PRE-BID SUBMITTALS SHALL CLEARLY STATE EXACTLY WHAT IS BEING PROPOSED AND SHALL DEMONSTRATE COMPLIANT EQUIVALENCY. SIMILAR REQUESTS FOR PROPOSED SUBSTITUTIONS MAY BE MADE ONLY AFTER BIDS ARE RECEIVED, AND ONLY IF OWNER CHOOSES TO CONSIDER SUBSTITUTION REQUESTS. DESIGN PROFESSIONAL(S) AND OWNER RESERVE THE RIGHT TO REJECT ALL PRODUCTS THAT ARE NOT DEEMED TO BE FULLY EQUIVALENT TO THE BASIS-OF-DESIGN LISTING(S). SUBMIT ALL REQUESTS AND QUESTIONS THROUGH THE FORMALLY-ESTABLISHED BIDDING PROCESS, NOT DIRECTLY TO ENGINEER.

TYPE	DESCRIPTION	MANUFACTURER	MODEL	ACCEPTED EQUALS	SIZE	MOUNTING	FLANGE KIT	MATERIAL	OPTICS	LIGHT SOURCE	LAMP QTY	LAMP BASE	COLOR TEMPERATURE (K)	CRI	LUMEN OUTPUT (L)	DRIVER	DRIVER QTY	BATTERY	BATTERY TYPE	DIMMING PROTOCOL	FINISH	OPTIONS	LOAD (VA)	UNIVERSAL VOLTAGE (MVOLT)	VOLTAGE	PHASE	COMMENTS
AL1	PARKING LOT	LSI	MRS-MIRADA SMALL AREA LIGHT	APPROVED EQUALS ONLY		1@90			TYPE 4 BACK SIDE SHIELD	LED	1		3500	82	15000	ELECTRONIC	1	No	NONE	NONE	DARK BRONZE		111 VA	Yes	277 V	1	
AL2	AREA LIGHT	LSI	MRS-MIRADA SMALL AREA LIGHT	APPROVED EQUALS ONLY		1@90			TYPE 3 BACK SIDE SHIELD	LED	1		3500	82	18000	ELECTRONIC	1	No	NONE	NONE	DARK BRONZE		135 VA	Yes	277 V	1	
PT1	PEDESTRIAN POST TOP	LSI	OPULENCE SMALL	APPROVED EQUALS ONLY		POST TOP			TYPE 5	LED	1		3000	82	8000	ELECTRONIC	1	No	NONE	NONE	DARK BRONZE		55 VA	Yes	277 V		
PT2	PEDESTRIAN POST TOP	LSI	OPULENCE SMALL	APPROVED EQUALS ONLY		POST TOP			TYPE 4 HOUSE SIDE SHIELD	LED	1		3000	82	8000	ELECTRONIC	1	No	NONE	NONE	DARK BRONZE		55 VA	Yes	277 V		

## ELECTRIC LUMINAIRE POLE SCHEDULE

ALL FIELDS LEFT BLANK IN THE SCHEDULE BELOW ARE TBD BY POLE MANUFACTURER. MANUFACTURER IS RESPONSIBLE FOR PERFORMING CALCULATIONS AND FURNISHING A POLE THAT MEETS EPA REQUIREMENTS FOR THE PROJECT LOCATION AND THE SELECTED POLE MOUNTED LUMINAIRES. REFER TO SITE LIGHTING PLAN FOR OTHER ITEMS THAT MAY BE INSTALLED ON POLE, SUCH AS SECURITY EQUIPMENT, AND ACCOUNT FOR THIS IN THE CALCULATIONS.

TYPE	DESCRIPTION	MANUFACTURER	MODEL	MATERIAL	SIZE	GAUGE	HEIGHT	EPA	MOUNTING	OPTIONS	FINISH	COMMENTS
P1	PARKING POLE	LSI		STEEL	4"	11	14'-0"		SINGLE		MATCH FINISH OF LUMINAIRE	
P2	ROADWAY POLE	LSI		ALUMINUM	4"	11	18'-0"		SINGLE		MATCH FINISH OF LUMINAIRE	FLUSH CONCRETE BASE
P3	PEDESTRIAN ROUND POLE	LSI		ALUMINUM	4"	0	10'-0"		POST TOP		MATCH FINISH OF LUMINAIRE	FLUSH CONCRETE BASE

Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
 Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

Type: \_\_\_\_\_  
 Date: \_\_\_\_\_

### Mirada Small Area (MRS) Outdoor LED Area Light

**OVERVIEW**

Lumen Package	6,000 - 30,000
Wattage Range	39 - 209
Efficacy Range (LPW)	112 - 163
Weight lbs(kg)	20 (9.1)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI

**QUICK LINKS**

[Ordering Guide](#)  
 [Performance](#)  
 [Photometrics](#)  
 [Dimensions](#)

**FEATURES & SPECIFICATIONS**

**Construction**

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 27 lbs in carton.

**Optical System**

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 4, 5W, FT, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377
- Minimum CRI of 70.
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

**Electrical**

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.

**OVERVIEW**

Lumen Package (lm)	3,000 - 14,000
Wattage Range (W)	20 - 100
Efficacy Range (LPW)	120 - 155
Weight lbs (kg)	25 (11.3)
Control Options	IMSBT, ALB, ALS, 7-Pin

**QUICK LINKS**

[Ordering Guide](#)  
 [Performance](#)  
 [Photometrics](#)  
 [Dimensions](#)

**FEATURES & SPECIFICATIONS**

**Construction**

- Rugged die-cast aluminum housing.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.

**Optical System**

- High density LED optical system delivers industry leading optical performance and visual comfort.
- 7 distribution types 3W, 4F, 5Q, 5C, 5R, 5D & AD
- Diffused lens version provides maximum visual comfort with reduced brightness and LED pixelization
- Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C78.377. Also available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 80
- External Shield available for field installation (see accessory ordering information and dimensions for details).

**Electrical**

- High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection (6kV surge standard).
- 0-10V dimming driver (optional extended leads).

LUMINAIRE TYPE AL1 & AL2

Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
 Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

Type: \_\_\_\_\_  
 Date: \_\_\_\_\_

### Opulence Small Post Top (OPS) Outdoor Decorative Post Top

**OVERVIEW**

Lumen Package (lm)	3,000 - 14,000
Wattage Range (W)	20 - 100
Efficacy Range (LPW)	120 - 155
Weight lbs (kg)	25 (11.3)
Control Options	IMSBT, ALB, ALS, 7-Pin

**QUICK LINKS**

[Ordering Guide](#)  
 [Performance](#)  
 [Photometrics](#)  
 [Dimensions](#)

**FEATURES & SPECIFICATIONS**

**Construction**

- Rugged die-cast aluminum housing.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.

**Optical System**

- High density LED optical system delivers industry leading optical performance and visual comfort.
- 7 distribution types 3W, 4F, 5Q, 5C, 5R, 5D & AD
- Diffused lens version provides maximum visual comfort with reduced brightness and LED pixelization
- Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C78.377. Also available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 80
- External Shield available for field installation (see accessory ordering information and dimensions for details).

**Electrical**

- High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection (6kV surge standard).
- 0-10V dimming driver (optional extended leads).

**OVERVIEW**

Lumen Package (lm)	3,000 - 14,000
Wattage Range (W)	20 - 100
Efficacy Range (LPW)	120 - 155
Weight lbs (kg)	25 (11.3)
Control Options	IMSBT, ALB, ALS, 7-Pin

**QUICK LINKS**

[Ordering Guide](#)  
 [Performance](#)  
 [Photometrics](#)  
 [Dimensions](#)

**FEATURES & SPECIFICATIONS**

**Construction**

- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- Total harmonic distortion (THD): <20%
- Operating temperature: -40°C to +40°C (-40°F to +104°F).
- Power factor (PF): >90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

**Warranty**

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

**Listings**

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Dark Sky compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- RoHS compliant
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- IK08 rated luminaire per IEC 62622 mechanical impact code
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

LUMINAIRE TYPE PT1 & PT2

**SECTION VIEW**

**PLAN VIEW**

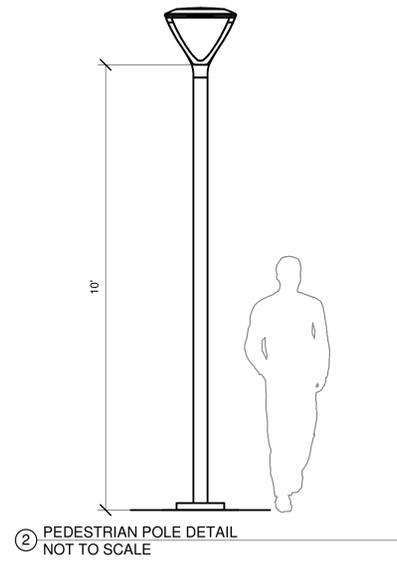
**KEYED NOTES:**

- PROVIDE 1" MINIMUM SCHEDULE 40 ELECTRICAL PVC CONDUIT. BACKFILL WITH EXCAVATED OR BORROWED MATERIAL. MATERIAL SHALL BE FREE OF ROCKS 1" DIAMETER AND LARGER. COMPACT TO 90% IN MAX 8" LIFTS OF LOOSE SOIL.
- PROVIDE 3000# CONCRETE BASE CLASS A FORMED SURFACE WHERE EXPOSED.
- GROUND LUG IN BASE BOLTED TO BASE PLATE WITH MIN. #6 AWG SOLID COPPER CONDUCTOR.
- BASE COVER OVER GALVANIZED STEEL WASHERS, NUTS & LOCKNUTS.
- GROUND CLAMP, IRREVERSIBLE SPLICE.
- 1/2" SCHEDULE 40 ELECTRICAL PVC FOR GROUND WIRE.
- PROVIDE MINIMUM OF FOUR ANCHOR BOLTS, GALVANIZED STEEL BETWEEN LOOPS.
- PROVIDE #4 TIE LOOPS AT 3" FROM TOP AND BOTTOM AND +/- 12" C/C OF THE LOOPS.
- (6) #6 VERTICAL REBARS - TIE VERTICAL BARS TO THE LOOPS.
- FOR BASES FLUSH WITH PAVEMENT, DO NOT PROVIDE CHAMFER. SEAL THE PERIMETER OF THE BASE TOP INSTEAD.
- PROVIDE 24" MINIMUM RADIUS; EXTEND 3/4" MAXIMUM ABOVE FOUNDATION WITH NUMBER OF CONDUITS AS NEEDED, 1" MIN.
- PROVIDE DIAMETER BOLT CIRCLE PER LUMINAIRE MANUFACTURER.
- "X" AND "Y" DIMENSIONS ARE MINIMUM LENGTHS FROM THIS LINE, WHERE GRADE OR PAVEMENT IS SLOPED. "Y" IS FROM THE LOW SIDE OF THE SLOPE AND "X" IS FROM THE HIGH SIDE OF THE SLOPE.
- PROVIDE ROUND CONCRETE BASE.
- PROVIDE REBAR CAGE.
- PROVIDE 5/8" X 10' GROUND ROD.

POLE BASE DIMENSIONS			
POLE TYPE	"X"	"Y"	"Z"
P1	18"	BELOW	24"
P2	0.0"	BELOW	24"
P3	0.0"	BELOW	14"

POLE HEIGHT		"Y" VALUE
< 13'-0"		4'-0"
13'-0" - 20'-0"		5'-0"
21'-0" - 30'-0"		6'-0"
31'-0" - 40'-0"		8'-0"

265100.00-08 - LIGHT POLE BASE DETAIL - ROUND  
SCALE: NONE



NOT FOR CONSTRUCTION

**KLH ENGINEERS**

1538 ALEXANDRIA PIKE, SUITE 11  
FT. THOMAS, KENTUCKY 41075  
800-354-9783 859-442-8050  
859-442-9058 FAX  
WWW.KLHENGINEERS.COM

Item	Revision Description	Date
1		
2		
3		
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6		
7		
8		

EASTON FARM APARTMENTS  
SITE LIGHTING PHOTOMETRICS  
CITY OF SPRINGBORO  
CLEARCREEK TOWNSHIP, WARREN CO., OH.

ELECTRIC LIGHTING - SCHEDULES

**bayer becker**

www.bayerbecker.com  
1404 Race Street, Suite 204  
Cincinnati, OH 45202 - 513.834.6151

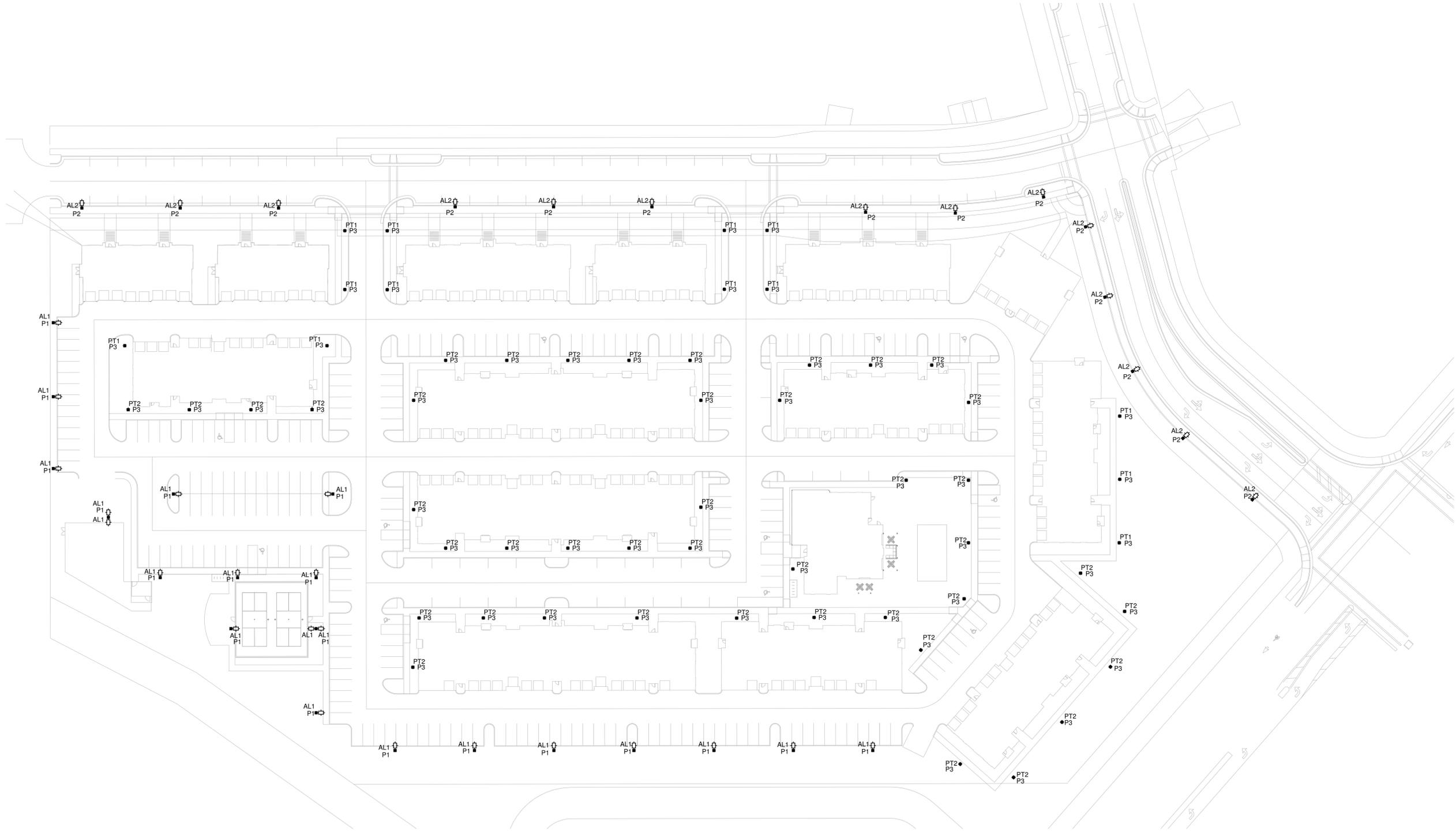
KLH JOB:	27228
Drawn by:	Author
Checked By:	Checker
Issue Date:	07-25-25

E3-601

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7/22/2025 3:27:18 C:\Users\amcmath\Documents\Revit\2726.00-23-MEP-Easton Farm Lighting Design\_ancmath.rvt

ELECTRIC LEGEND	
SYMBOL	DESCRIPTION
<b>LIGHTING AND LIGHTING CONTROLS</b>	
	LUMINAIRE (REFER TO THE LUMINAIRE SCHEDULE) NOTE THAT OTHER SHAPES MAY ALSO BE USED TO REPRESENT LUMINAIRES
	SHADED LUMINAIRES DENOTE THOSE CONNECTED TO EMERGENCY OR STANDBY POWER AS APPLICABLE (UNSWITCHED LUMINAIRES ARE EGRESS LIGHTS AND/OR NIGHT-LIGHTS THAT OPERATE 24/7)
	OUTDOOR AREA SITE LIGHTING STANDARD NUMBER OF LUMINAIRE HEADS AS INDICATED ON DRAWINGS.
<b>PLAN-VIEW AND GRAPHIC LINE TYPES</b>	
WORK SHOWN BOLD-CONTINUOUS INDICATES NEW WORK (UNLESS OTHERWISE INDICATED)	



① ELECTRIC SITE LIGHTING  
 1" = 40'-0"



2" REFERENCE LINE



1538 ALEXANDRIA PIKE, SUITE 11  
 FT. THOMAS, KENTUCKY 41075  
 800-354-9783 859-442-8050  
 859-442-8058 FAX  
 WWW.KLHENGRS.COM

**EASTON FARM APARTMENTS**  
**SITE LIGHTING PHOTOMETRICS**  
 CITY OF SPRINGBORO  
 CLEARCREEK TOWNSHIP, WARREN CO., OH.



www.boyerbecker.com  
 1404 Race Street, Suite 204  
 Cincinnati, OH 45202 - 513.834.6151

KLH JOB: 27226  
 Drawn by: MKM  
 Checked By: SNF  
 Issue Date: 07-25-25

Sheet:  
**E4-102**

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7/22/2025 3:27:19 C:\Users\amcmath\Documents\Revit\27226.00-23-MEP-Easton Farm Lighting Design\_ancmath.rvt

Name	Avg ( fc)	Max ( fc)	Min ( fc)
roadway	1.6	8.9	0.0
tennis court	4.5	10.4	0.2
dog park	1.7	8.6	0.0
Zone 1	2.4	14.2	0.0
Zone 2	2.3	17.7	0.0
Zone 3	1.5	17.2	0.0
Property Line	0.1	4.6	0.0

**GENERAL PHOTOMETRIC PLAN NOTES**

A. **PHOTOMETRIC REPORT:** THIS PHOTOMETRIC REPORT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA (IES FILES). THIS LABORATORY DATA IS TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY SOMEWHAT DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

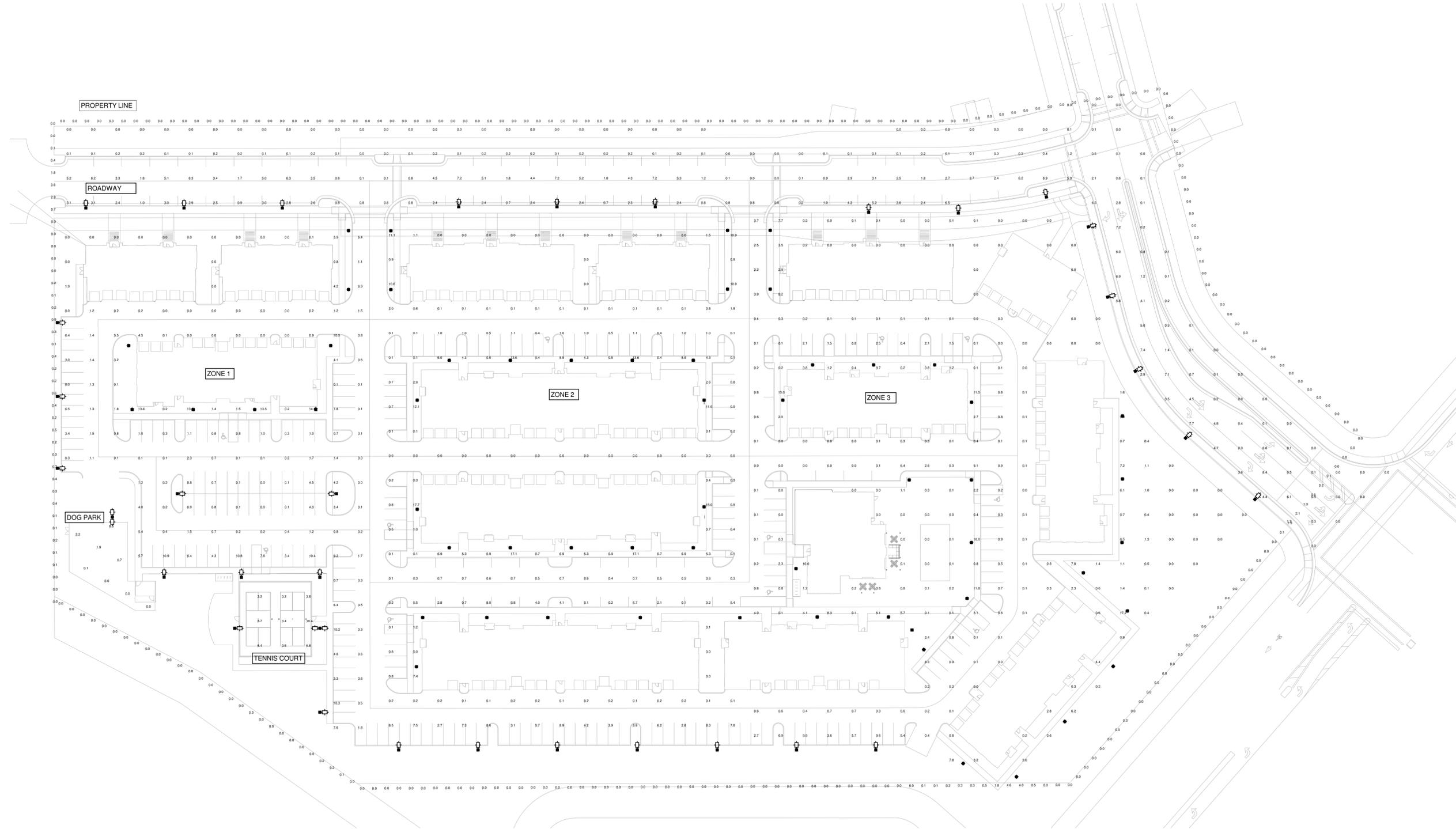
B. **ILLUMINATION LEVELS:** THE ILLUMINATION LEVELS SHOWN, MEASURED IN FOOTCANDLES, ARE BASED ON THE SPECIFIED CRITERIA. ANY SUBSTITUTIONS/DEVIATIONS IN LUMINAIRES OR MOUNTING HEIGHTS, OR ALTERATIONS TO THE LAYOUT, WILL AFFECT ILLUMINATION LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF KLH ENGINEERS.

C. **ADJUSTMENTS:** PROVIDE FINAL ADJUSTMENTS TO AIMING ANGLE(S) OF LUMINAIRES IF OR AS REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJACENT PROPERTIES AND/OR ROADWAYS.

D. **LUMINAIRE SCHEDULE:** REFER TO LUMINAIRE SCHEDULE FOR LUMINAIRE AND POLE INFORMATION. THE LUMINAIRE SCHEDULE INCLUDED ON THIS SHEET IS FOR PHOTOMETRIC REVIEW REFERENCE ONLY.

E. **ADJACENT CONTRIBUTIONS:** CONTRIBUTIONS FROM ADJACENT STREET LIGHTING, ADJACENT PROPERTIES, AND BUILDING OR POLE MOUNTED LUMINAIRES NOT WITHIN THIS PROJECT SCOPE ARE NOT REFLECTED IN THIS PHOTOMETRIC REPORT.

F. **CRITERIA:** FOOTCANDLE LEVELS SHOWN ARE MAINTAINED AND CALCULATED AT GRADE BASED ON SPECIFIED MOUNTING HEIGHT FOR POLE-MOUNTED FIXTURES.



1 ELECTRIC SITE LIGHTING  
 1" = 40'-0"

2" REFERENCE LINE



Item	Revision Description	Date
1		
2		
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**EASTON FARM APARTMENTS  
 SITE LIGHTING PHOTOMETRICS**  
 CITY OF SPRINGBORO  
 CLEARCREEK TOWNSHIP, WARREN CO., OH.



KLH JOB: 27226  
 Drawn by: AMM  
 Checked By: MKM  
 Issue Date: 07-25-25

Sheet: **E4-201**

Plot time: Jul 25, 2025 - 10:42am  
Drawing name: J:\2025\25-0001\CV\DWG\25-0001 GR.dwg - Layout Tab: Layout1



Basis of Bearing:  
State Plane NAD83 (2011)

0 10 20 30 40 50 60  
SCALE: 1" = 40'

Date	Drawn	Chk

Item	Revision Description

**EASTON FARM APARTMENTS**  
SECTION 14, TOWN 2, RANGE 5 BTM  
CITY OF SPRINGBORO  
CLEARCREEK TOWNSHIP  
WARREN COUNTY, OH  
STORM SEWER DRAINAGE MAP

www.bayerbecker.com  
6800 Tyersville Road, Suite A  
Mason, OH 45040 - 513.336.6600

Drawing:	25-0001 GR
Drawn by:	GJK
Checked By:	
Issue Date:	07-25-25

Sheet:  
**STM**

BAYER BECKER  
6900 TYLERSVILLE ROAD  
MASON, OHIO

# STORM SEWER CALCULATIONS

Easton Farm Multifamily n= 0.013

**FORMULAE USED**

$Q_r = AC * I$  (required)  
 $V_p = (1.486 / n) * R^{2/3} * S^{1/2}$   
 $Q_p = A_p * V_p$   
 $R = (\text{Pipe Dia.} / 4)$

Designed By: **ETH**  
 Revised By: **GJK**  
 Date: **07/25/25**  
 Revised:  
 Job # **25-0001**

LOCATION		TOPOGRAPHY					TIME					DESIGN				TIME		PIPE		REMARKS	
From	To	Area Number	Acres	"C" Value	"AC" for Area	"AC" Accumulate	To Inlet "T" (minutes)	In Pipe "Tp" (minutes)	Concentration "T" (minutes)	Intensity "I"	"Q" Required (c.f.s.)	Pipe Size (inches)	"n" Value	Slope in %	Velocity (ft. / sec)	"Q" Provided (c.f.s.)	Length of Pipe (feet)	In Pipe "Tp"	Inlet Invert		Outlet Invert
2A	2	2A	0.31	0.65	0.20	0.20	10.0		10.0	5.15	1.04	12	0.013	1.00	4.54	3.56	60	0.2	884.33	883.73	
2	3	2	0.11	0.65	0.07	0.27	10.0	0.2	10.2	5.12	1.40	12	0.013	0.70	3.80	2.98	78	0.3	883.73	883.18	
3	4	3	0.14	0.65	0.09	0.37	10.2	0.3	10.6	5.07	1.85	12	0.013	1.20	4.97	3.90	57	0.2	883.18	882.50	
6	7	6	0.13	0.65	0.08	0.08	10.0		10.0	5.15	0.44	12	0.013	1.00	4.54	3.56	89	0.3	883.40	882.51	
7	8	7	0.13	0.65	0.08	0.17	10.0	0.3	10.3	5.10	0.87	12	0.013	1.00	4.54	3.56	60	0.2	882.51	881.91	
10	11	10	0.16	0.65	0.10	0.10	10.0		10.0	5.15	0.54	12	0.013	3.25	8.18	6.42	88	0.2	883.01	880.15	
12	11	12	0.13	0.65	0.08	0.08	10.0		10.0	5.15	0.44	12	0.013	0.90	4.30	3.38	85	0.3	880.91	880.15	
15	16	15	0.21	0.65	0.14	0.14	10.0		10.0	5.15	0.71	12	0.013	1.00	4.54	3.56	36	0.1	883.20	882.84	
16	17	16	0.22	0.65	0.14	0.28	10.0	0.1	10.1	5.13	1.44	12	0.013	1.10	4.76	3.74	97	0.3	882.84	881.77	
17	18	17	0.26	0.65	0.17	0.45	10.1	0.3	10.5	5.08	2.29	12	0.013	1.40	5.37	4.22	24	0.1	881.77	881.44	
18	19	18	0.26	0.65	0.17	0.62	10.5	0.1	10.5	5.07	3.15	15	0.013	0.70	4.40	5.40	45	0.2	881.19	880.87	
19	20	19	0.11	0.65	0.07	0.69	10.5	0.2	10.7	5.04	3.49	15	0.013	1.00	5.26	6.46	50	0.2	880.87	880.37	
20	21	MH	0	0.00	0.00	0.69	10.7	0.2	10.9	5.02	3.48	15	0.013	1.00	5.26	6.46	75	0.2	880.37	879.62	
21	22	21	0.31	0.65	0.20	0.90	10.9	0.2	11.1	4.98	4.46	15	0.013	1.00	5.26	6.46	108	0.3	879.62	878.54	
EX CB 40	1					1.65			10.3		8.41	18	0.013	1.00	5.94	10.50	52	0.1	884.29	883.77	"Q" Required from Roadway Storm Calcs
1	4	1	0.04	0.65	0.03	1.68	10.3	0.1	10.4	5.08	8.52	18	0.013	3.00	10.30	18.19	59	0.1	883.77	882.00	
4	5	4	0.15	0.65	0.10	2.14	10.4	0.1	10.5	5.07	10.85	18	0.013	1.30	6.78	11.98	33	0.1	882.00	881.57	
5	8	5	0.18	0.65	0.12	2.26	10.5	0.1	10.6	5.06	11.42	18	0.013	1.50	7.28	12.87	61	0.1	881.57	880.66	
8	9	8	0.08	0.65	0.05	2.48	10.6	0.1	10.8	5.04	12.49	18	0.013	1.70	7.75	13.70	30	0.1	880.66	880.15	
9	11	9	0.12	0.65	0.08	2.56	10.8	0.1	10.8	5.03	12.86	18	0.013	1.80	7.98	14.09	81	0.2	880.15	878.69	
11	22	11	0.19	0.65	0.12	2.87	10.8	0.2	11.0	5.00	14.36	24	0.013	0.50	5.09	16.00	110	0.4	878.19	877.64	
22	23	MH	0.00	0.00	0.00	3.77	10.9	0.4	11.2	4.97	18.71	24	0.013	0.90	6.83	21.46	41	0.1	877.64	877.27	
23	24	23	0.12	0.65	0.08	3.85	11.1	0.1	11.2	4.97	19.11	24	0.013	0.90	6.83	21.46	81	0.2	877.27	876.54	
24	25	24	0.39	0.65	0.25	4.10	11.2	0.2	11.4	4.94	20.25	24	0.013	1.00	7.20	22.62	99	0.2	876.54	875.55	
25	55	25	0.03	0.65	0.02	4.12	11.4	0.2	11.6	4.91	20.21	24	0.013	5.00	16.10	50.59	61	0.1	869.85	866.80	
28	29	28	0.18	0.65	0.12	0.12	10.0		10.0	5.15	0.61	12	0.013	1.50	5.56	4.36	80	0.2	882.47	881.27	
29	30	29	0.20	0.65	0.13	0.25	10.0	0.2	10.2	5.11	1.27	12	0.013	1.00	4.54	3.56	87	0.3	881.27	880.40	
30	31	30	0.10	0.65	0.07	0.31	10.2	0.3	10.6	5.07	1.59	12	0.013	2.00	6.42	5.04	58	0.2	880.40	879.24	
33	34	33	0.33	0.65	0.22	0.22	10.0		10.0	5.15	1.11	12	0.013	1.50	5.56	4.36	79	0.2	882.17	880.99	
34	35	34	0.33	0.65	0.22	0.43	10.0	0.2	10.2	5.11	2.21	12	0.013	1.00	4.54	3.56	89	0.3	880.99	880.10	
35	36	35	0.03	0.65	0.02	0.45	10.2	0.3	10.6	5.06	2.28	12	0.013	1.00	4.54	3.56	54	0.2	880.10	879.56	

BAYER BECKER  
 6900 TYLERSVILLE ROAD  
 MASON, OHIO

# STORM SEWER CALCULATIONS

Easton Farm Multifamily n= 0.013

**FORMULAE USED**

$Q_r = AC * I$  (required)  
 $V_p = (1.486 / n) * R^{2/3} * S^{1/2}$   
 $Q_p = A_p * V_p$   
 $R = (\text{Pipe Dia.} / 4)$

Designed By: **ETH**  
 Revised By: **GJK**  
 Date: **07/25/23**  
 Revised:  
 Job # **25-0001**

LOCATION		TOPOGRAPHY					TIME				"Q" Required (c.f.s.)	DESIGN				"Q" Provided (c.f.s.)	TIME		PIPE		REMARKS
From	To	Area Number	Acres	"C" Value	"AC" for Area	"AC" Accumulate	To Inlet "T" (minutes)	In Pipe "Tp" (minutes)	Concentration "T" (minutes)	Intensity "I"		Pipe Size (inches)	"n" Value	Slope in %	Velocity (ft. / sec)		Length of Pipe (feet)	In Pipe "Tp"	Inlet Invert	Outlet Invert	
37	38	37	0.31	0.65	0.20	0.20	10.0		10.0	5.15	1.04	12	0.013	1.00	4.54	3.56	81	0.3	880.64	879.83	
38	39	38	0.17	0.65	0.11	0.31	10.0	0.3	10.3	5.11	1.60	12	0.013	0.70	3.80	2.98	58	0.3	879.83	879.42	
39	40	39	0.08	0.65	0.05	0.37	10.3	0.3	10.6	5.07	1.85	12	0.013	1.00	4.54	3.56	81	0.3	879.42	878.61	
40	41	40	0.17	0.65	0.11	0.48	10.6	0.3	10.8	5.02	2.40	12	0.013	0.90	4.30	3.38	70	0.3	878.61	877.98	
41	42	MH	0.00	0.00	0.00	0.48	10.8	0.3	11.1	4.98	2.38	12	0.013	1.00	4.54	3.56	84	0.3	877.98	877.14	
42	43	42	0.24	0.65	0.16	0.63	11.1	0.3	11.4	4.94	3.13	15	0.013	0.90	4.99	6.13	81	0.3	876.89	876.17	
43	44	43	0.30	0.65	0.20	0.83	11.4	0.3	11.7	4.90	4.07	15	0.013	1.00	5.26	6.46	40	0.1	876.17	875.77	
44	45	44	0.06	0.65	0.04	0.87	11.7	0.1	11.8	4.88	4.24	15	0.013	1.20	5.77	7.08	12	0.0	875.77	875.62	
47	46	47	0.13	0.65	0.08	0.08	10.0		10.0	5.15	0.44	12	0.013	1.50	5.56	4.36	84	0.3	880.52	879.26	
46	45	46	0.06	0.65	0.04	0.12	10.0	0.3	10.3	5.11	0.63	12	0.013	3.00	7.86	6.17	63	0.1	879.26	877.37	
49	48	49	0.05	0.65	0.03	0.03	10.0		10.0	5.15	0.17	12	0.013	4.00	9.07	7.13	11	0.0	877.43	876.99	
EX MH 4	26	MH				2.14			11.0		10.69	18	0.013	1.50	7.28	12.87	72	0.2	878.60	877.52	"Q" Required from Roadway Storm Calcs
26	27	26	0.09	0.65	0.06	2.20	11.0	0.2	11.2	4.98	10.94	18	0.013	1.50	7.28	12.87	41	0.1	877.52	876.91	
27	31	27	0.09	0.65	0.06	2.26	11.2	0.1	11.3	4.96	11.20	18	0.013	1.60	7.52	13.29	26	0.1	876.91	876.49	
31	32	31	0.10	0.65	0.07	2.64	11.3	0.1	11.3	4.95	13.06	24	0.013	0.50	5.09	16.00	50	0.2	875.99	875.74	
32	36	32	0.02	0.65	0.01	2.65	11.3	0.2	11.5	4.93	13.06	24	0.013	0.50	5.09	16.00	36	0.1	875.74	875.56	
36	45	36	0.11	0.65	0.07	3.17	11.5	0.1	11.6	4.91	15.59	24	0.013	0.65	5.81	18.24	106	0.3	875.56	874.87	
45	48	45	0.06	0.65	0.04	4.21	11.8	0.0	11.9	4.88	20.51	24	0.013	1.05	7.38	23.18	36	0.1	874.87	874.49	
48	50	48	0.15	0.65	0.10	4.34	11.9	0.1	11.9	4.87	21.09	24	0.013	1.15	7.72	24.26	62	0.1	874.49	873.78	
50	51	50	0.02	0.65	0.01	4.35	11.9	0.1	12.1	4.85	21.08	24	0.013	1.15	7.72	24.26	28	0.1	873.78	873.46	
51	54	51	0.11	0.65	0.07	4.42	12.1	0.1	12.1	4.84	21.39	24	0.013	4.00	14.40	45.24	46	0.1	869.83	867.99	
52	53	52	9.33	0.20	1.87	1.87	10.0		10.0	7.32	13.65	24	0.013	1.00	7.20	22.62	138	0.3	871.50	870.12	
53	54	53	0.30	0.31	0.09	1.96	10.3	0.3	10.6	7.20	14.11	24	0.013	1.30	8.21	25.79	164	0.3	870.12	867.99	
54	55	54	0.30	0.65	0.20	6.58	12.1	0.1	12.2	6.95	45.68	30	0.013	1.60	10.57	51.88	74	0.1	867.49	866.30	
55	56	55	0.30	0.00	0.00	10.69	12.2	0.1	12.3	4.81	51.49	36	0.013	0.75	8.17	57.76	72	0.1	861.55	861.01	



**Building Type D - Front Elevation Color Scheme 1**  
 1/8" = 1'-0"



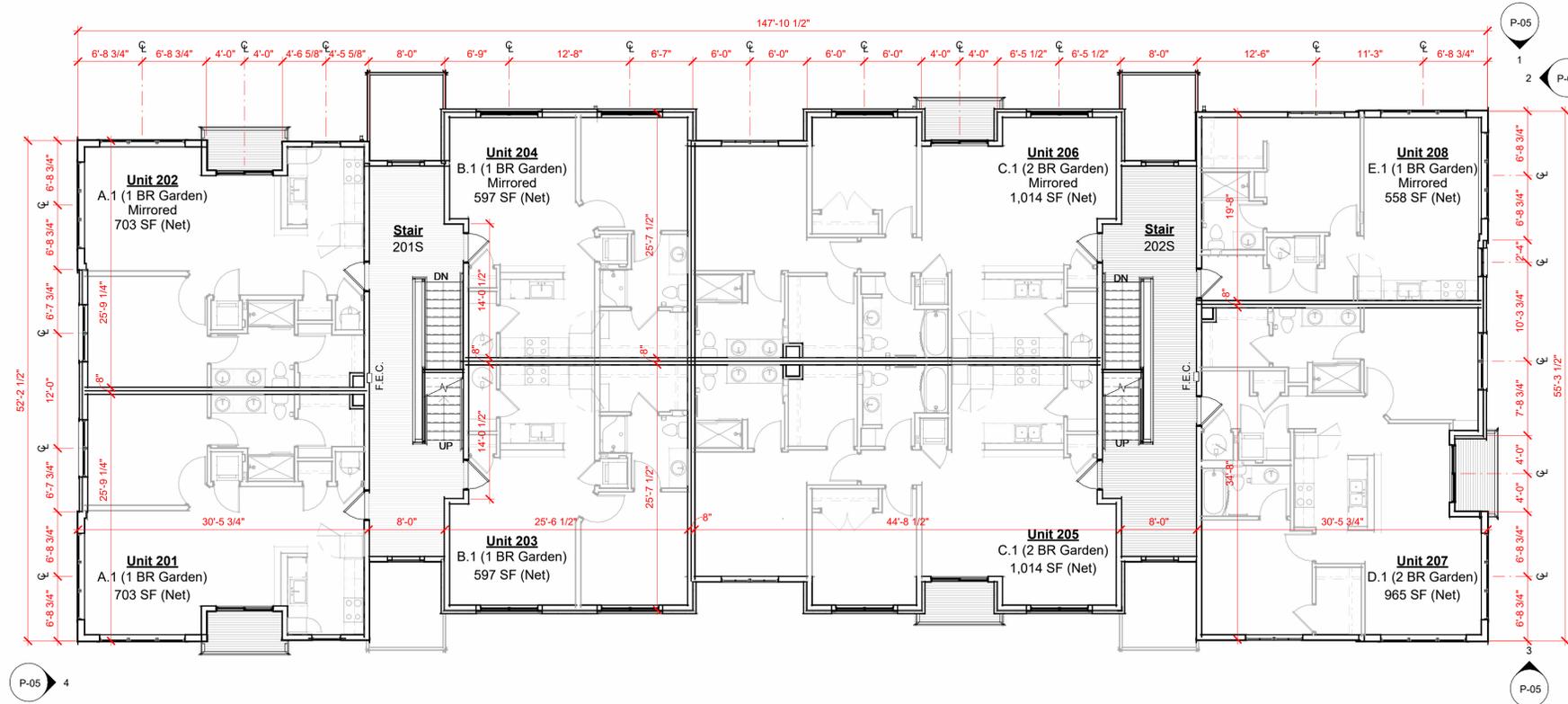
**Extr Finish Colors**  
 1/2" = 1'-0"



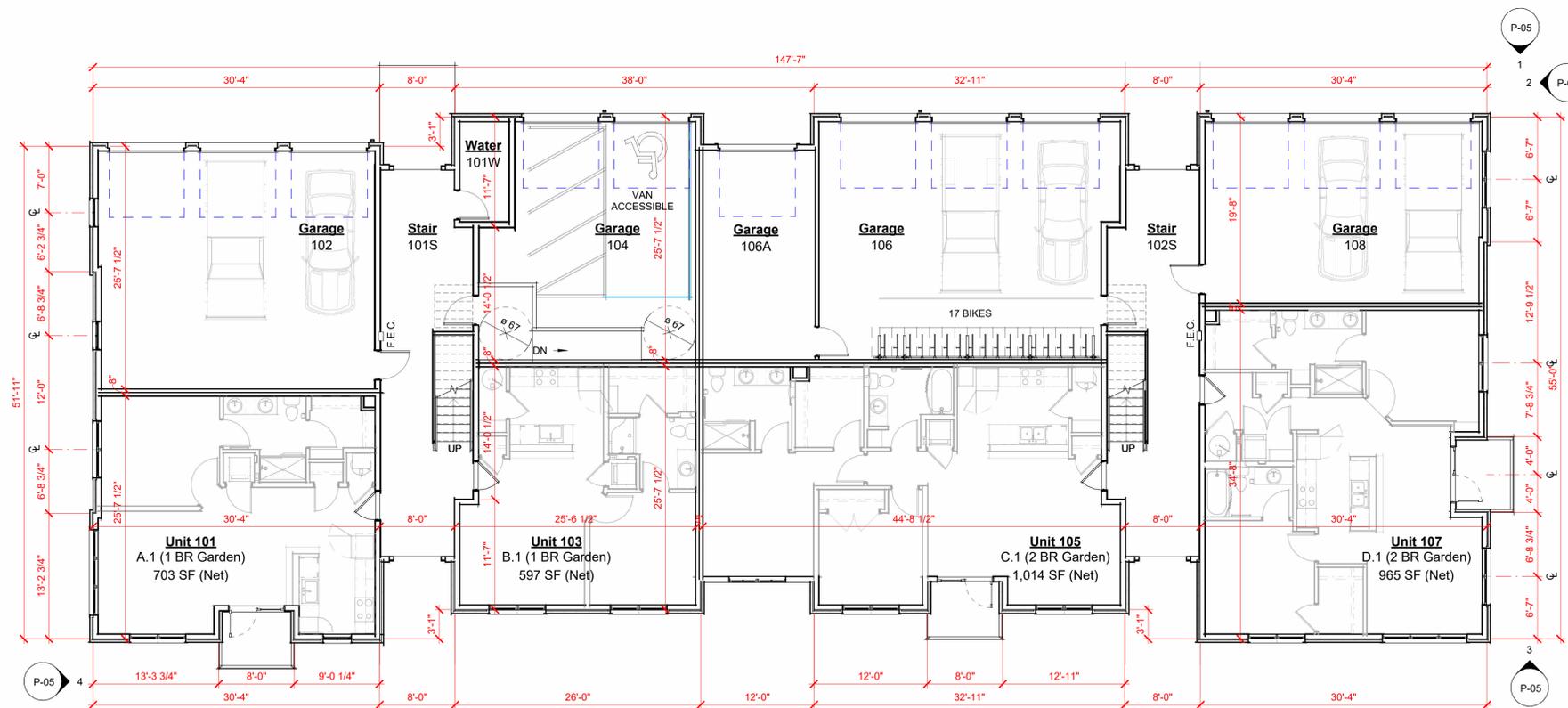
**Building Type D - Rear Elevation Color Scheme 1**  
 1/8" = 1'-0"



**Building Type D Side Elevation Color Scheme 1**  
 1/8" = 1'-0"



2 Building Type AA - Floor 2 & 3 Plan  
1/8" = 1'-0"



1 Building Type AA - Floor 1 Plan  
1/8" = 1'-0"



# Easton Farms Apartments

Springboro, Ohio



Building Type 'AA' -  
Floor 1, 2 & 3  
P-03



4 Building Type 'AA' - Side Elev. A Color Scheme 2  
1/8" = 1'-0"

3 Building Type 'AA' - Front Elevation Color Scheme 2  
1/8" = 1'-0"

CAST STONE LINTEL  
CAST STONE WATER TABLE  
FACE BRICK VENEER - QUEEN SIZE RUNNING BOND



Brick:  
Indiana Millstone by General Shale

Fiber Cement Panel & Trim:  
Cool Charcoal by Allura

Fiber Cement Lap Siding:  
Iron Gray by James Hardie

Lintels and Watertable:  
Buffstone by Rockcast

Windows:  
Black Vinyl

Brick:  
Indiana Millstone by General Shale

Fiber Cement Panel & Trim:  
Knights Armor by Allura

Fiber Cement Lap Siding:  
Granite Gray by Allura

Lintels and Watertable:  
Buffstone by Rockcast

Windows:  
Black Vinyl

Extr Finish Colors  
1/2" = 1'-0"



2 Building Type 'AA' - Side Elev. B Color Scheme 2  
1/8" = 1'-0"



1 Building Type 'AA' - Rear Elevation Color Scheme 2  
1/8" = 1'-0"



# Easton Farms Apartments

Springboro, Ohio



Building Type 'AA' -  
Elevations - Color  
Scheme 2  
P-04  
2025-07-25

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4 Building Type 'AC' - Side Elev. A Color Scheme 2  
1/8" = 1'-0"



3 Building Type 'AC' - Front Elevation Color Scheme 2  
1/8" = 1'-0"

Roof Truss Bearing  
130'-4 7/8"

Floor 3  
Truss Bearing Flr 3  
119'-5"

Floor 2  
Truss Bearing Flr 2  
108'-9 1/8"

Floor 1  
100'-0"



Brick:  
Indiana Millstone by General Shale

Fiber Cement Panel & Trim:  
Cool Charcoal by Allura

Fiber Cement Lap Siding:  
Iron Gray by James Hardie

Lintels and Watertable:  
Buffstone by Rockcast

Windows:  
Black Vinyl

Brick:  
Indiana Millstone by General Shale

Fiber Cement Panel & Trim:  
Knights Armor by Allura

Fiber Cement Lap Siding:  
Granite Gray by Allura

Lintels and Watertable:  
Buffstone by Rockcast

Windows:  
Black Vinyl

Extr Finish Colors  
1/2" = 1'-0"



2 Building Type 'AC' - Side Elev. B Color Scheme 2  
1/8" = 1'-0"



1 Building Type 'AC' - Rear Elevation Color Scheme 2  
1/8" = 1'-0"

Roof Truss Bearing  
130'-4 7/8"

Floor 3  
Truss Bearing Flr 3  
119'-5"

Floor 2  
Truss Bearing Flr 2  
108'-9 1/8"

Floor 1  
100'-0"

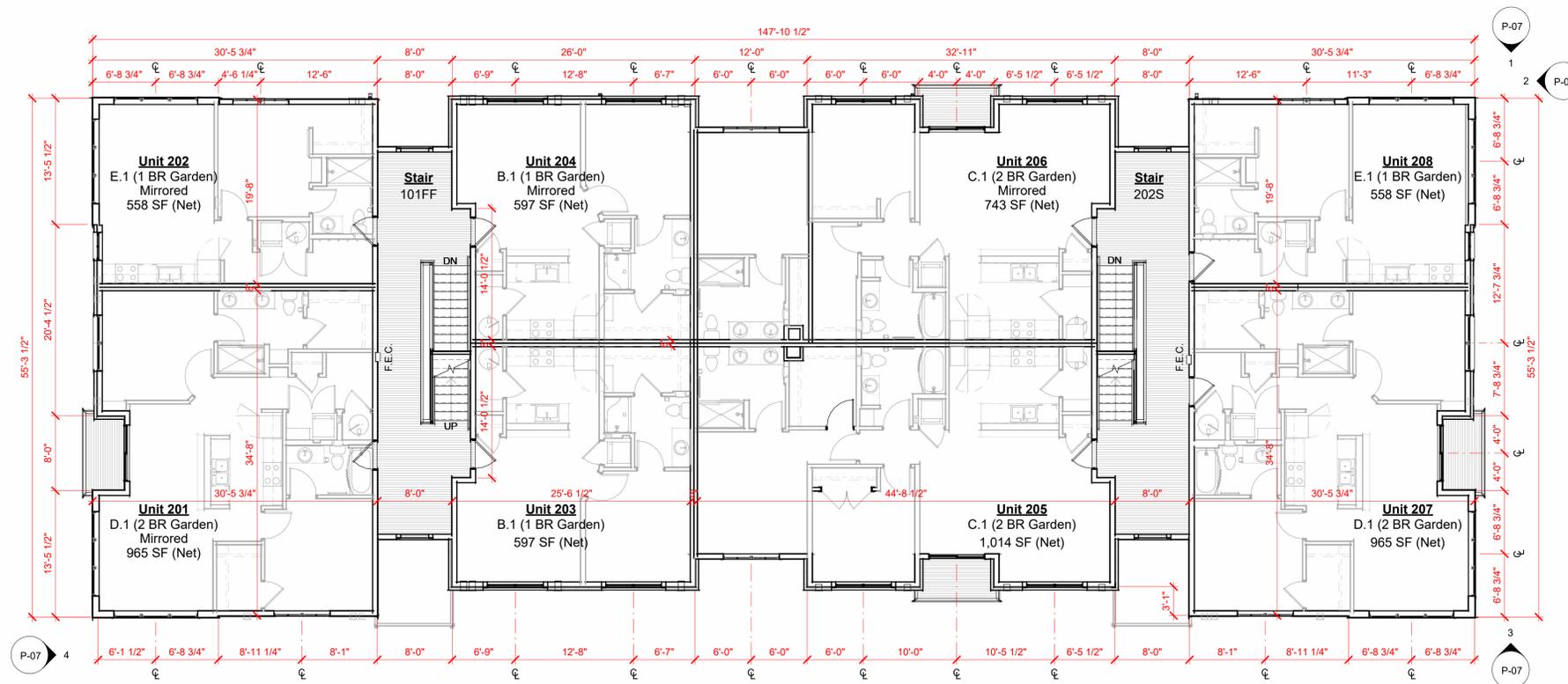


# Easton Farms Apartments

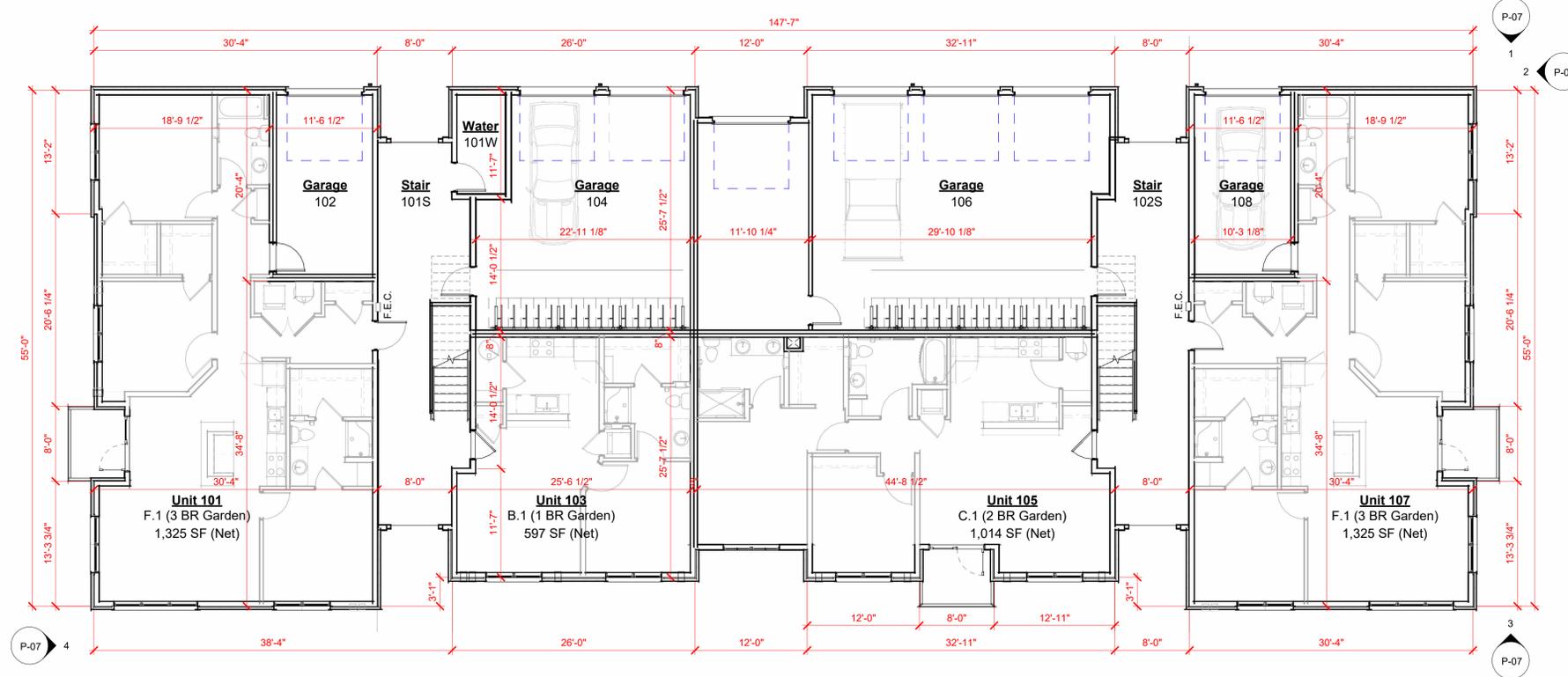
Springboro, Ohio



Building Type 'AC' -  
Elevations - Color  
Scheme 2  
P-05



2 Building Type AB - Floor 2 & 3 Plan  
1/8" = 1'-0"



1 Building AB - Floor 1 Plan  
1/8" = 1'-0"



# Easton Farms Apartments

Springboro, Ohio



Building Type 'AB'  
Floor 1, 2 & 3  
P-06



4 Building Type 'AB' - Side Elev. a Color Scheme 1  
1/8" = 1'-0"



3 Building Type 'AB' - Front Elevation Color Scheme 1  
1/8" = 1'-0"

Roof Truss Bearing  
130'-4 7/8"

Floor 3  
121'-4 1/2"

Floor 2  
110'-8 5/8"

Floor 1  
100'-0"

CAST STONE LINTEL

CAST STONE WATER TABLE

FACE BRICK VENEER - QUEEN SIZE RUNNING BOND



**Color Scheme 1**

Brick:  
Indiana Millstone by General Shale

Fiber Cement Panel & Trim:  
Cool Charcoal by Allura

Fiber Cement Lap Siding:  
Iron Gray by James Hardie

Lintels and Watertable:  
Buffstone by Rockcast

Windows:  
Black Vinyl

**Color Scheme 2**

Brick:  
Indiana Millstone by General Shale

Fiber Cement Panel & Trim:  
Knights Armor by Allura

Fiber Cement Lap Siding:  
Granite Gray by Allura

Lintels and Watertable:  
Buffstone by Rockcast

Windows:  
Black Vinyl

Extr Finish Colors  
1/2" = 1'-0"



2 Building Type 'AB' - Side Elev. b Color Scheme 1  
1/8" = 1'-0"



1 Building Type 'AB' - Rear Elevation Color Scheme 1  
1/8" = 1'-0"

Roof Truss Bearing  
130'-4 7/8"

Floor 3  
121'-4 1/2"

Floor 2  
110'-8 5/8"

Floor 1  
100'-0"

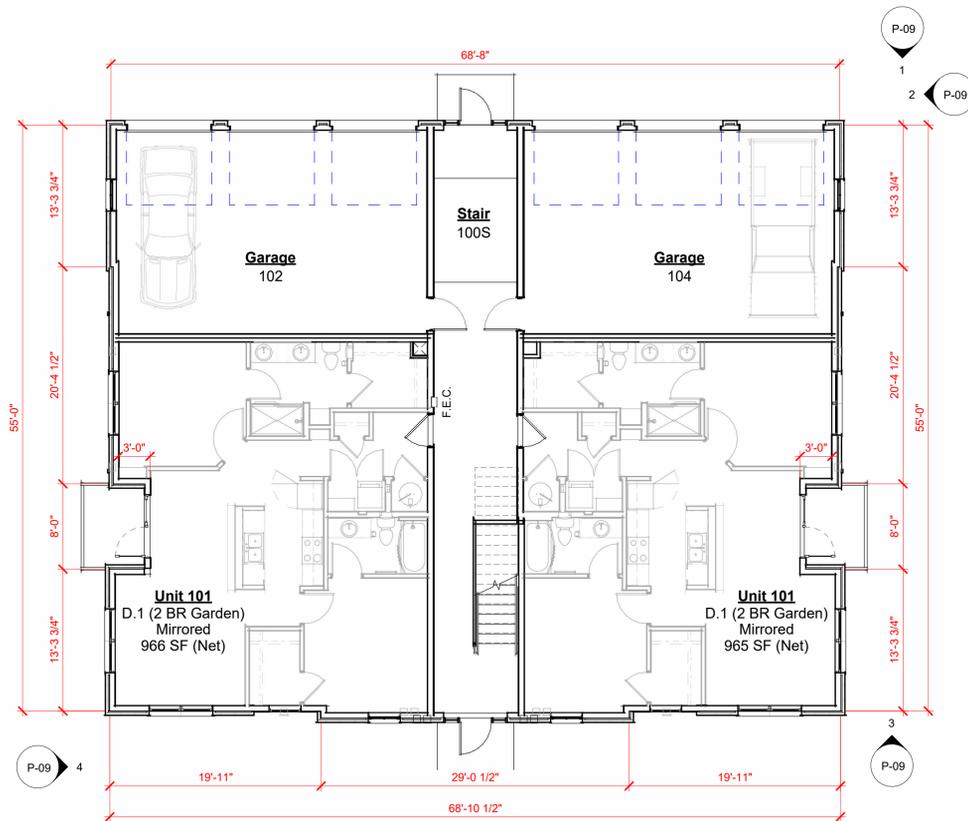


# Easton Farms Apartments

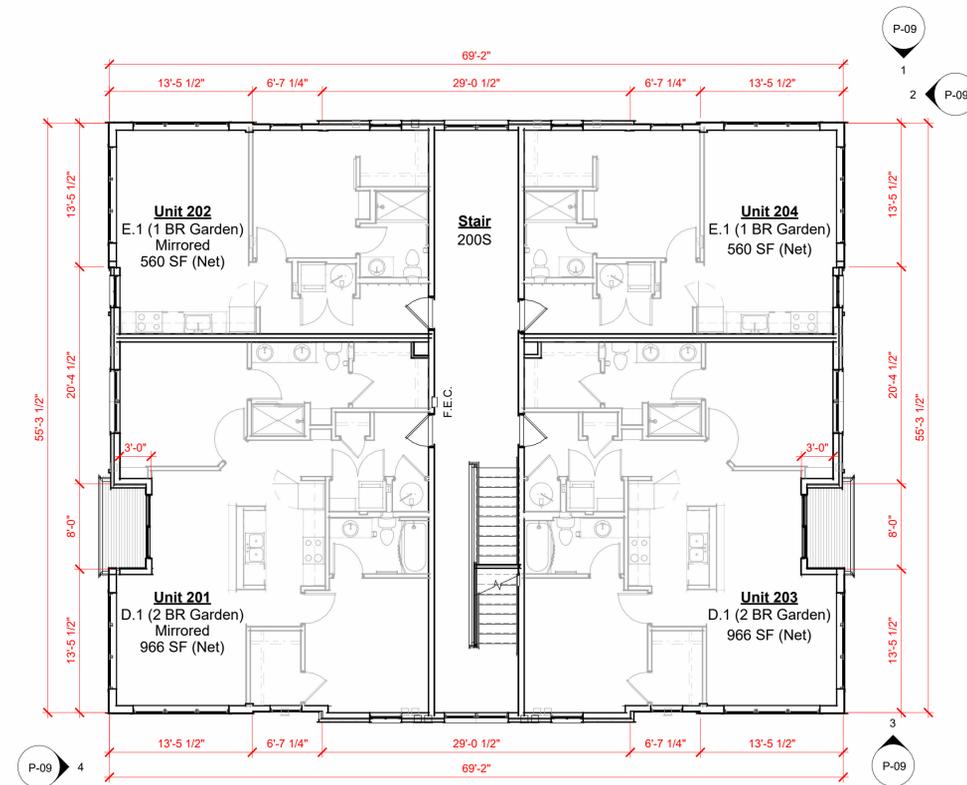
Springboro, Ohio



Building Type 'AB'  
Elevations - Color  
Scheme 1  
P-07



1 Building Type B - Floor 1 Plan  
1/8" = 1'-0"



2 Building Type B - Floor 2 & 3 Plan  
1/8" = 1'-0"



4 Building Type B - Side Elevation A Color Scheme 2  
1/8" = 1'-0"



3 Building Type B - Front Elevation Color Scheme 2  
1/8" = 1'-0"



Extr Finish Colors  
1/2" = 1'-0"



2 Building Type B - Side Elevation B Color Scheme 2  
1/8" = 1'-0"



1 Building Type B - Rear Elevation Color Scheme 2  
1/8" = 1'-0"

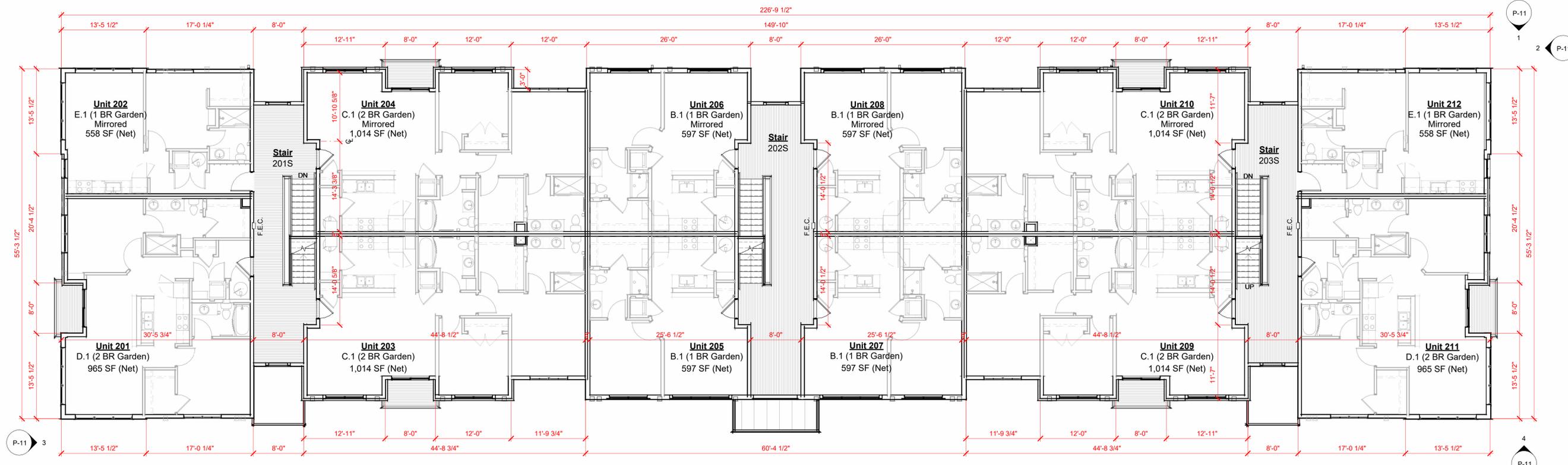


# Easton Farms Apartments

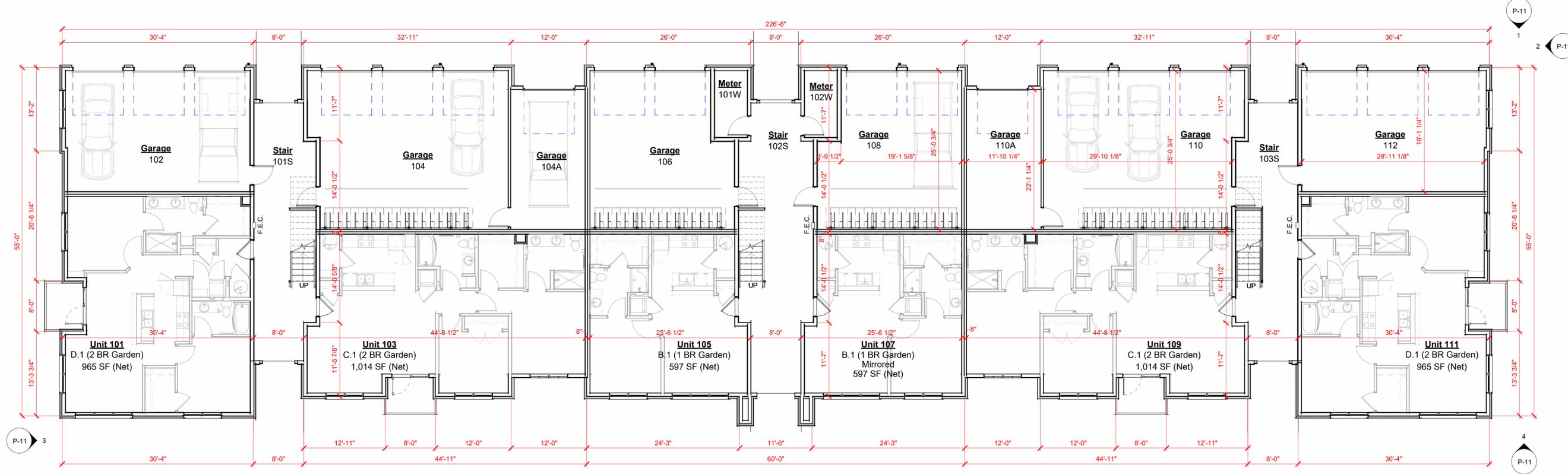
Springboro, Ohio



Building Type 'B' -  
Elevations Color  
Scheme 2  
P-09



2 Building Type CA - Floor 2 & 3 Plan  
1/8" = 1'-0"



1 Building Type CA - Floor 1 Plan  
1/8" = 1'-0"



# Easton Farms Apartments

Springboro, Ohio



Building Type 'CA' -  
Floor 1, 2 & 3  
P-10



4 Building Type 'CA' - Front Elevation - Color Scheme 1  
1/8" = 1'-0"



3 Building Type 'CA' - Side Elevation B - Scheme Option 1  
1/8" = 1'-0"



Extr Finish Colors  
1/2" = 1'-0"



2 Building Type 'CA' - Side Elevation A - Color Scheme 1  
1/8" = 1'-0"



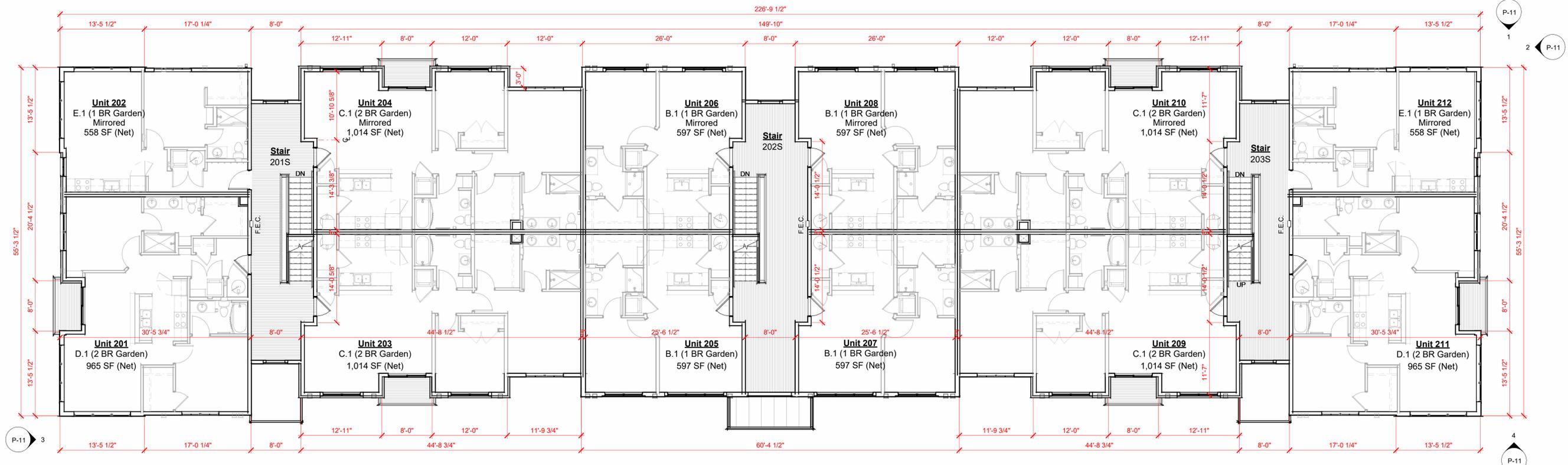
1 Building Type 'CA' - Rear Elevation - Color Scheme 1  
1/8" = 1'-0"



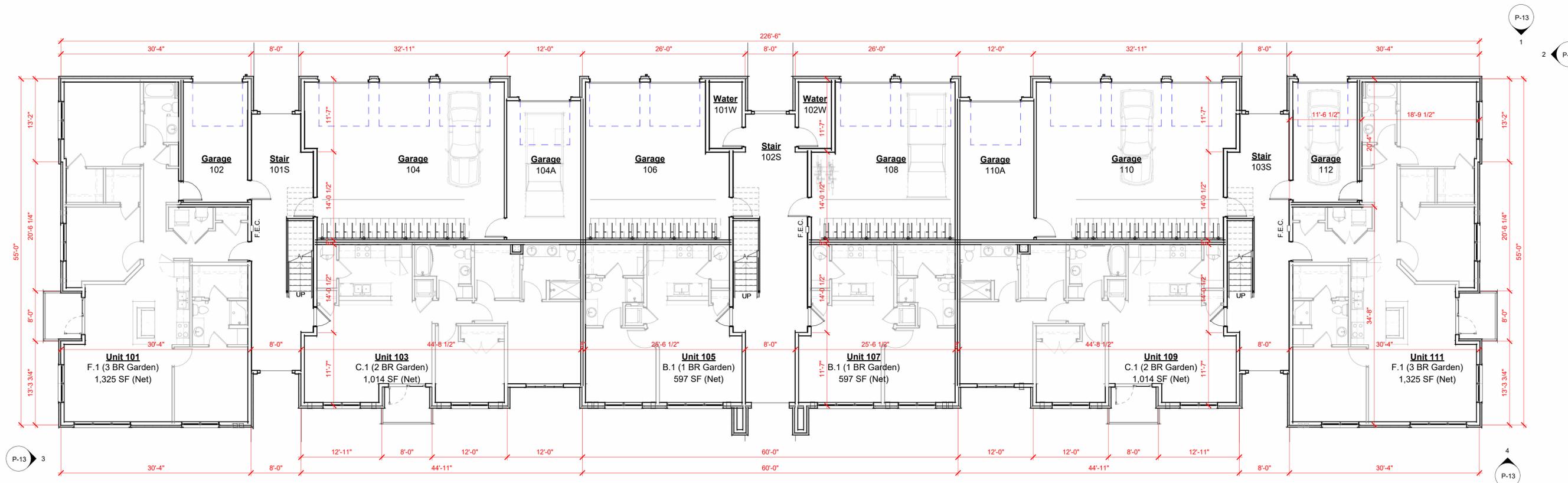
# Easton Farms Apartments

Springboro, Ohio





**Building Type CB - Floor 2 & 3 Plan**  
 1/8" = 1'-0"



**Building Type CB - Floor 1 Plan**  
 1/8" = 1'-0"



# Easton Farms Apartments

Springboro, Ohio



Building Type 'CB' -  
 Floor 1, 2 & 3  
 P-12



4 Building 'CB' - Front Elevation - Color Scheme 2  
1/8" = 1'-0"



3 Building 'CB' - Side Elev. B - Color Scheme 2  
1/8" = 1'-0"



Extr Finish Colors  
1/2" = 1'-0"



2 Building 'CB' - Side Elev. A - Color Scheme 2  
1/8" = 1'-0"



1 Building 'CB' - Rear Elevation Color Scheme 2  
1/8" = 1'-0"



# Easton Farms Apartments

Springboro, Ohio





**Building Type D - Front Elevation Color Scheme 2**  
1/8" = 1'-0"



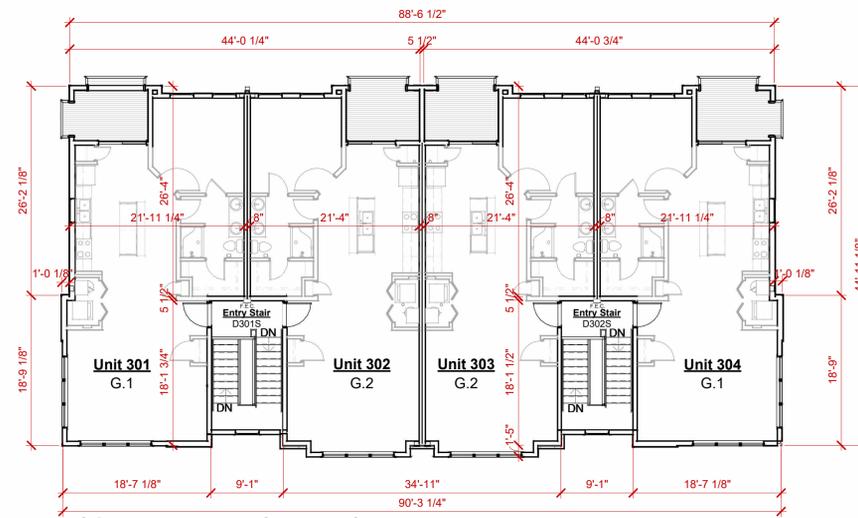
**Extr Finish Colors**  
1/2" = 1'-0"



**Building Type D - Rear Elevation Color Scheme 2**  
1/8" = 1'-0"

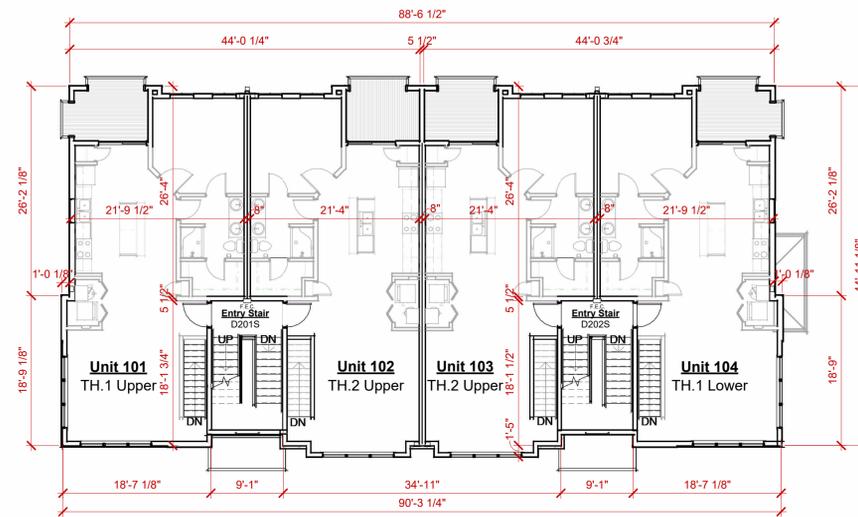


**Building Type D Side Elevation Color Scheme 2**  
1/8" = 1'-0"



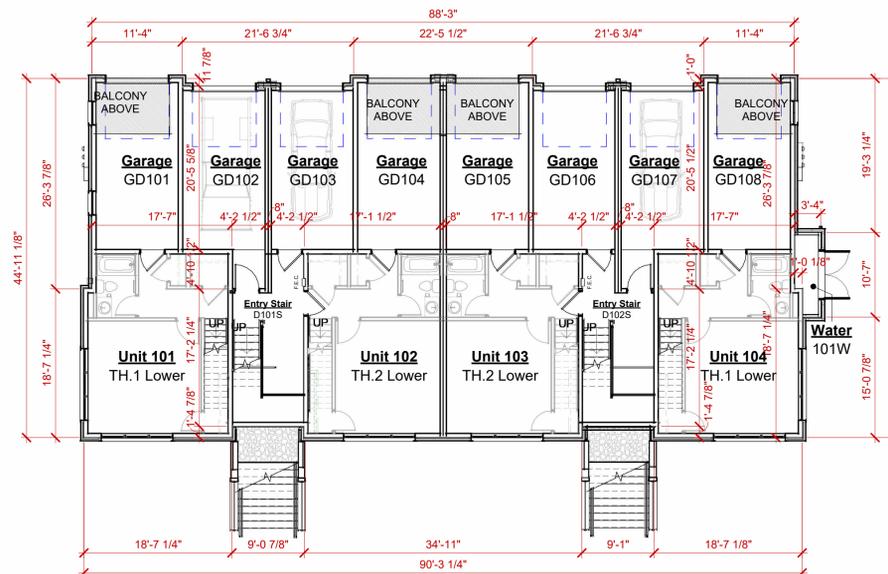
**Building Type D - Floor 3 Plan**

3/32" = 1'-0"



**Building Type D - Floor 2 Plan**

3/32" = 1'-0"



**Building Type D - Floor 1 Plan**

3/32" = 1'-0"



# Easton Farm Apartments

Springboro, Ohio





**Building Type E - Front Elevation Color Scheme 1**  
 1/8" = 1'-0"



**Extr Finish Colors**  
 1/2" = 1'-0"



**Building Type E - Rear Elevation Color Scheme 1**  
 1/8" = 1'-0"



**Building Type E - Side Elevation Color Scheme 1**  
 1/8" = 1'-0"



**Building Type E - Front Elevation Color Option 2**  
 1/8" = 1'-0"



Brick:  
 Indiana Millstone by General Shale  
 Fiber Cement Panel & Trim:  
 Cool Charcoal by Allura  
 Fiber Cement Lap Siding:  
 Iron Gray by James Hardie  
 Lintels and Watertable:  
 Buffstone by Rockcast  
 Windows:  
 Black Vinyl

Brick:  
 Indiana Millstone by General Shale  
 Fiber Cement Panel & Trim:  
 Knights Armor by Allura  
 Fiber Cement Lap Siding:  
 Granite Gray by Allura  
 Lintels and Watertable:  
 Buffstone by Rockcast  
 Windows:  
 Black Vinyl

**Extr Finish Colors**  
 1/2" = 1'-0"



**Building Type E - Rear Elevation Color Option 2**  
 1/8" = 1'-0"



**Building Type E - Side Elevation Color Option 2**  
 1/8" = 1'-0"

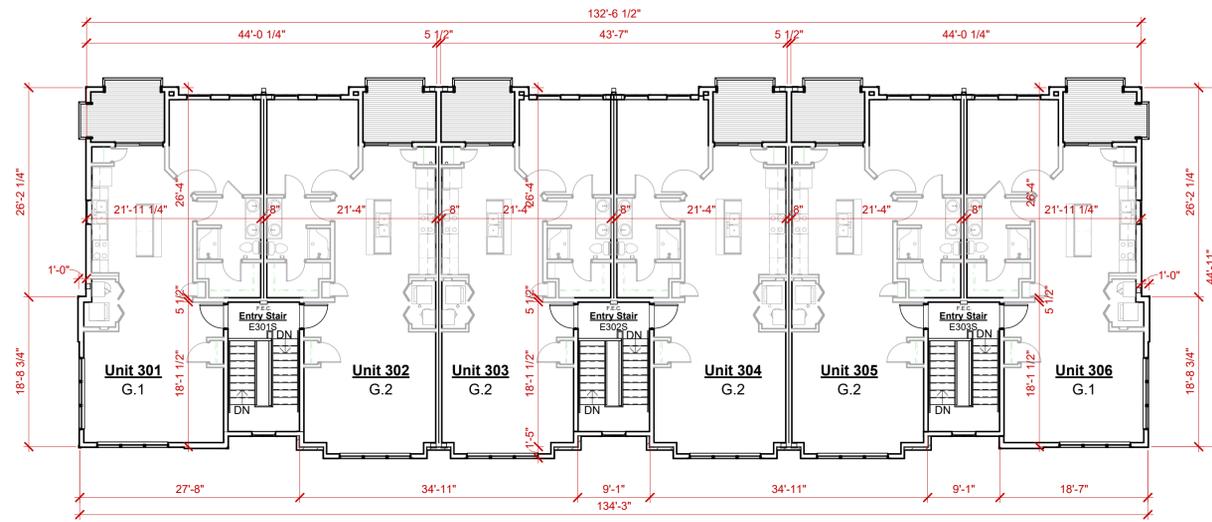


# Easton Farm Apartments

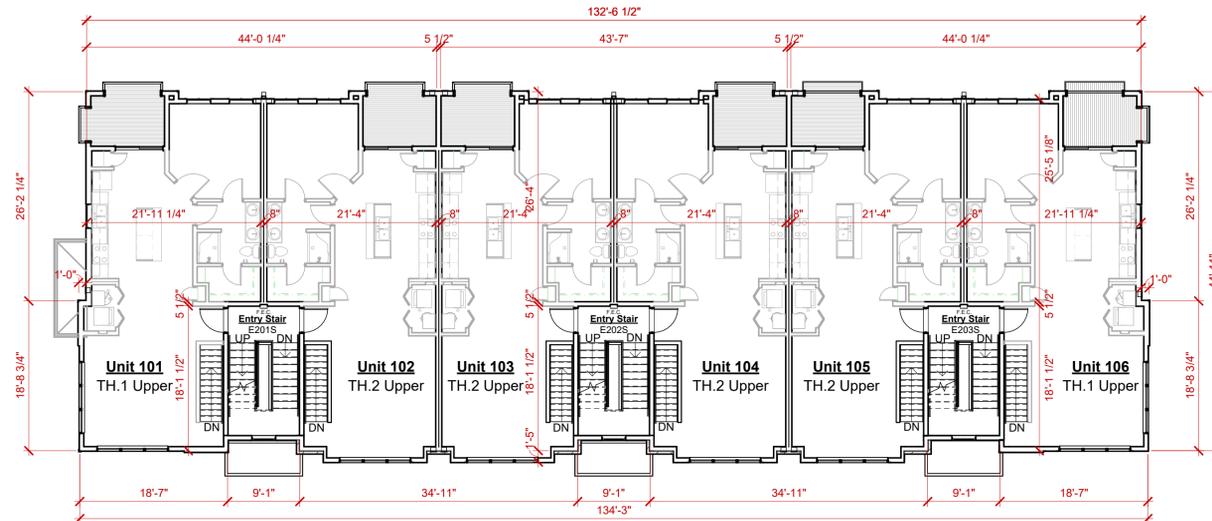
Springboro, Ohio



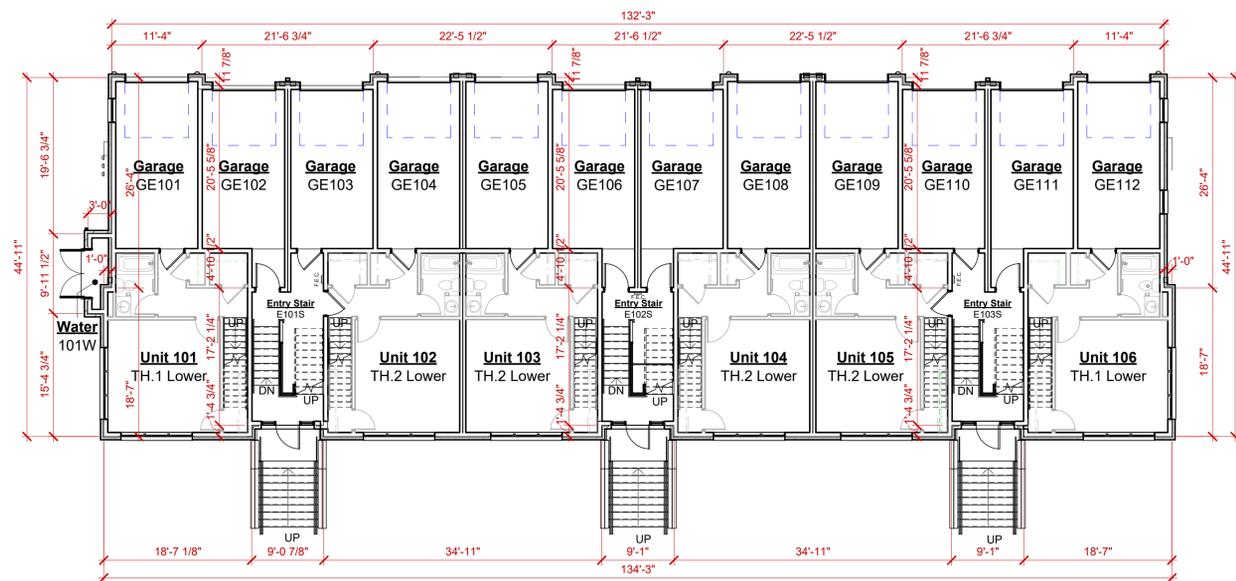
Building E Color  
 Option 2  
 FDP-E05  
 2025-07-25



**Building Type E - Floor 3 Plan**  
3/32" = 1'-0"



**Building Type E - Floor 2 Plan**  
3/32" = 1'-0"



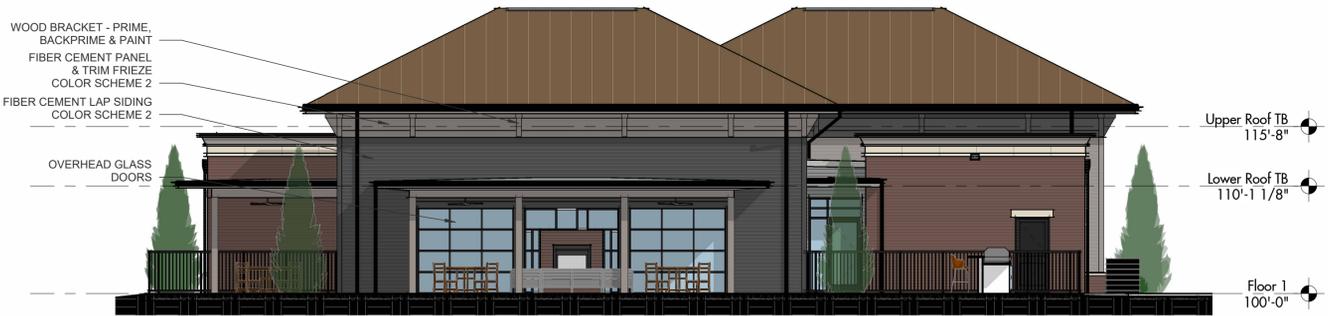
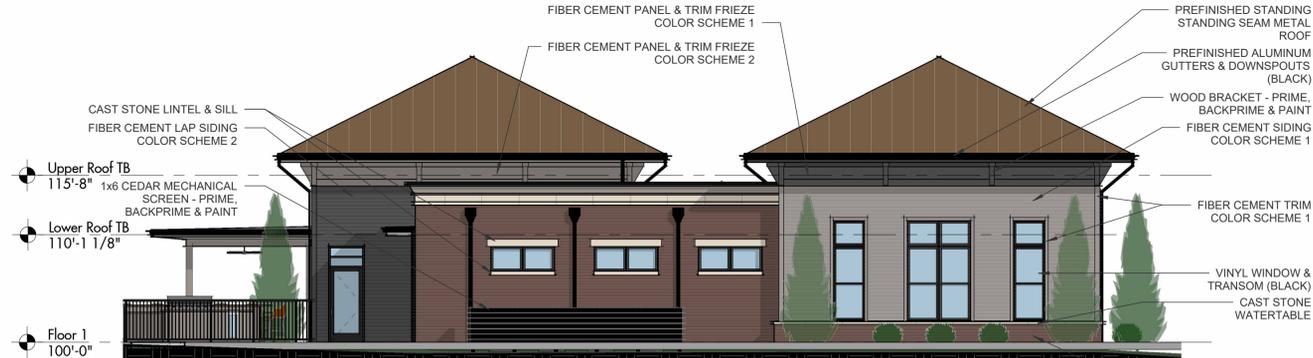
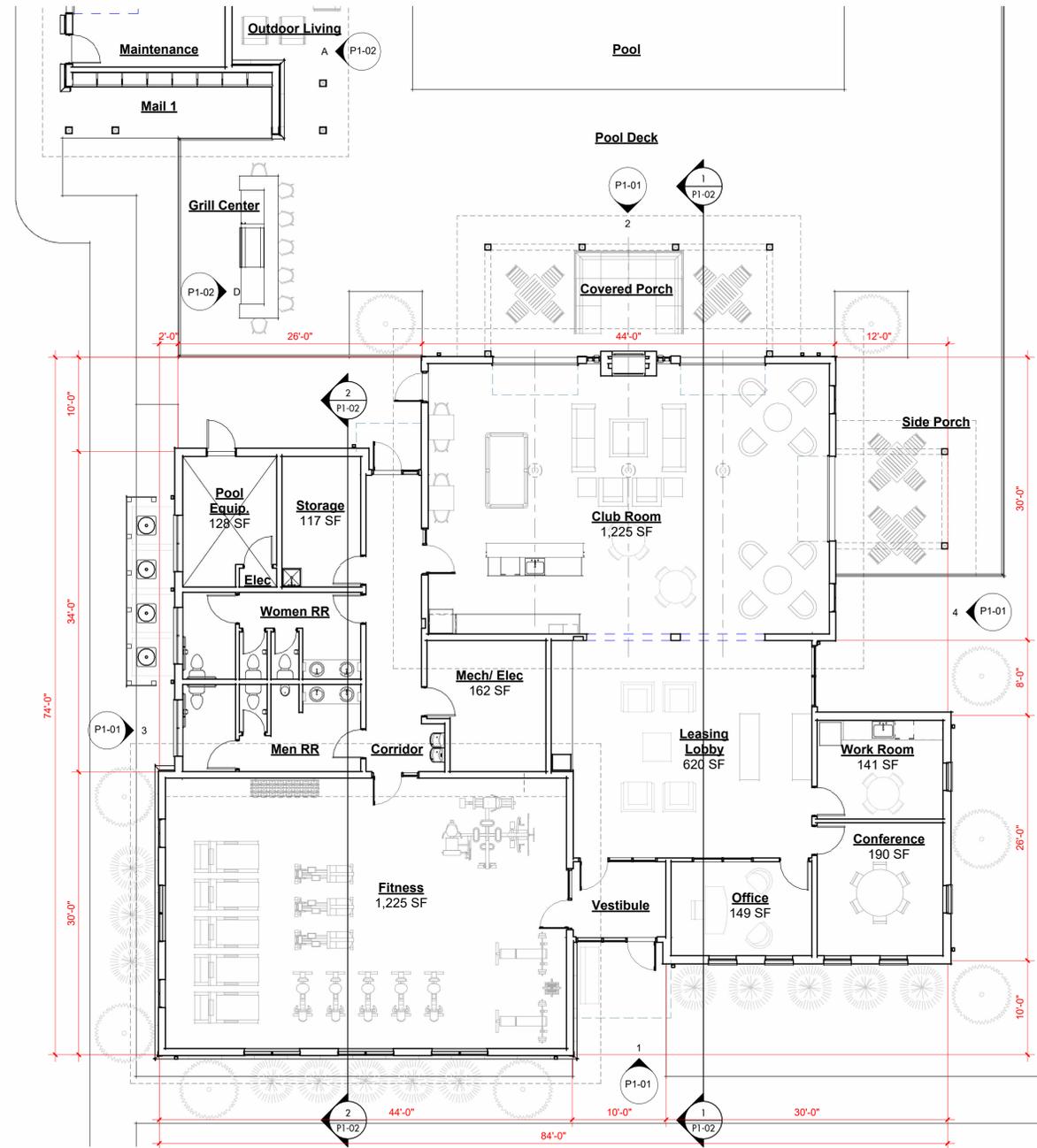
**Building Type E - Floor 1 Plan**  
3/32" = 1'-0"



# Easton Farm Apartments

Springboro, Ohio





# Easton Farms Apartments

Springboro, Ohio





Clubhouse Club Room Corner View (color)



Clubhouse Fitness Corner View (color)



Brick:  
Indiana Millstone by General Shale

Fiber Cement Panel & Trim:  
Cool Charcoal by Allura

Fiber Cement Lap Siding:  
Iron Gray by James Hardie

Lintels and Watertable:  
Buffstone by Rockcast

Windows:  
Black Vinyl

Brick:  
Indiana Millstone by General Shale

Fiber Cement Panel & Trim:  
Knights Armor by Allura

Fiber Cement Lap Siding:  
Granite Gray by Allura

Lintels and Watertable:  
Buffstone by Rockcast

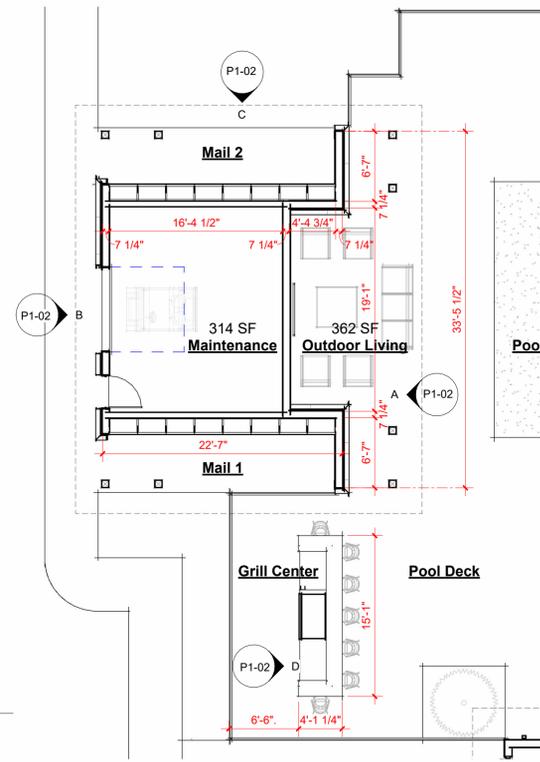
Windows:  
Black Vinyl



Building Section @ Fitness  
1/8" = 1'-0"



Building Section @ Leasing & Club Room  
1/8" = 1'-0"



Mail/Maint. Floor Plan  
1/8" = 1'-0"



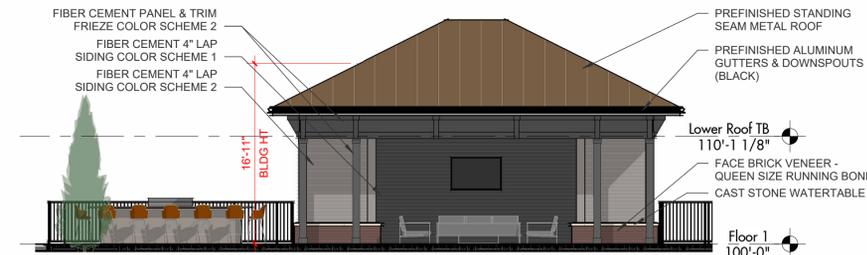
C Mail/Maint. Side Elev 1  
1/8" = 1'-0"



D Grill Center Front Elev 1  
1/8" = 1'-0"



B Mail/Maint. Front Elev 1  
1/8" = 1'-0"



A Mail/Maint. Rear Elev 1  
1/8" = 1'-0"



# Easton Farms Apartments

Springboro, Ohio



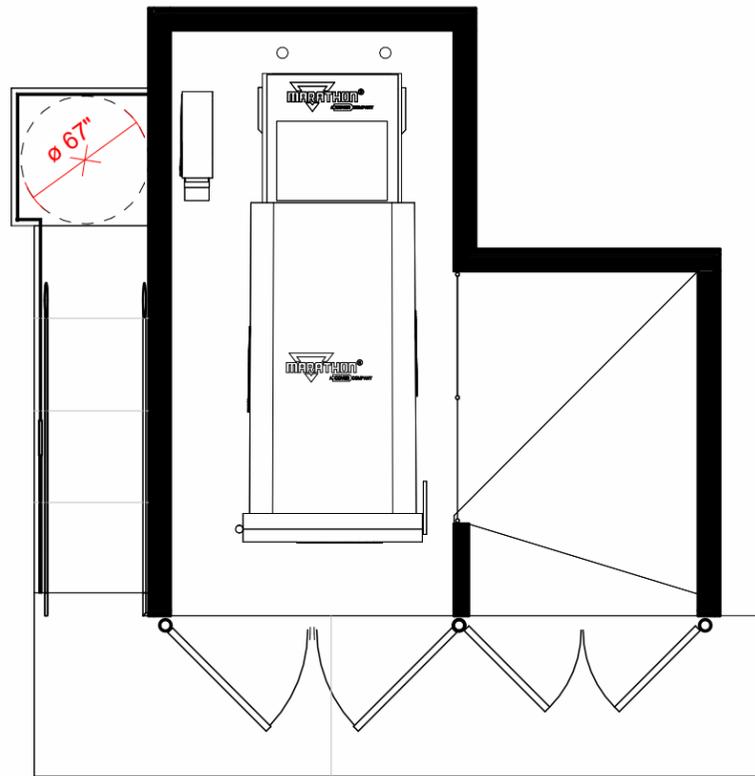
**QTY ( 1 ) Dimensional Letters - 327.7"W X 20"H**

Dimensional letters painted white and mounted to building exterior as shown.

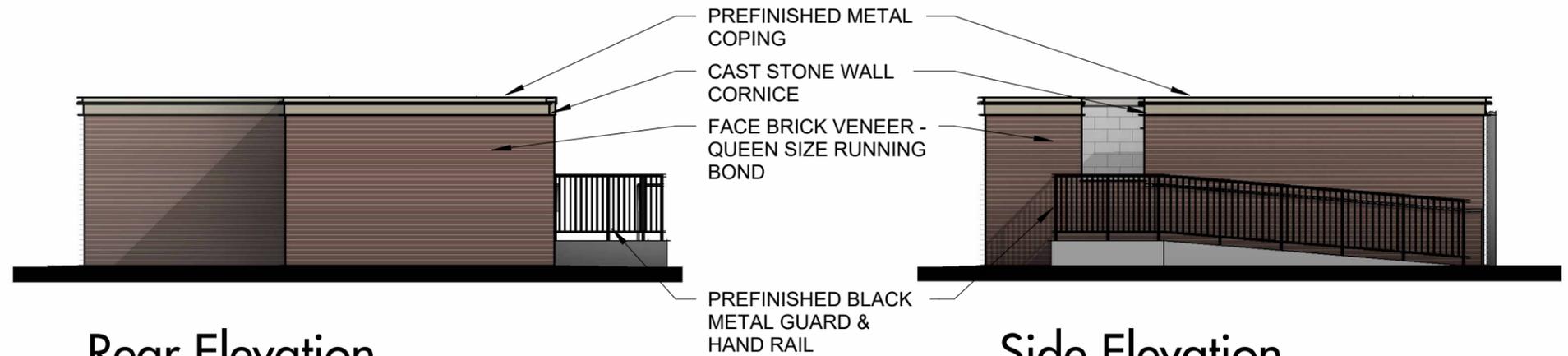
White



Front Elevation

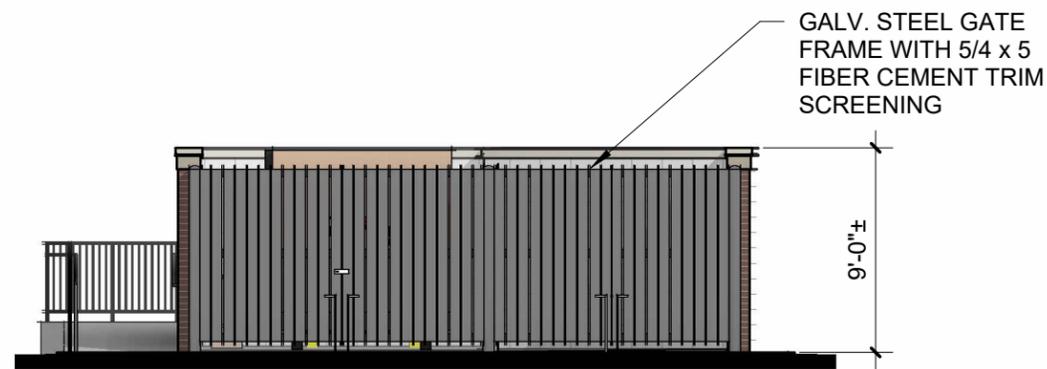


**Trash Compactor Enclosure Plan**  
1/8" = 1'-0"



**Rear Elevation**  
1/8" = 1'-0"

**Side Elevation**  
1/8" = 1'-0"



**Front Elevation**  
1/8" = 1'-0"



**Side Elevation**  
1/8" = 1'-0"



**Easton Farm Apartments**  
Springboro, Ohio  
2025-07-25



**QTY ( 1 ) Double Sided HDU Post & Arm Sign - 5'-0"W X 5'-0"H**

**25 sq. ft**

**Sign Panel** - HDU with raised border/copy painted white.

Recessed area routed smooth and painted PMS 540 C.

**Post & Arm** - Custom aluminum painted white.

**Illumination** - *Externally illuminated by others.*

 PMS 540

 White



**MORRISONSIGN**  
2757 Scioto Parkway, Columbus, OH 43221  
614.276.1181 • morrison signs.com

**Client:** Casto | Easton Farm Apartments

**Project:** Post and Arm and Ground Sign

**Drawing Date:** 07-22-25

**Drawing #:** 25-430 SP: DH D: BW



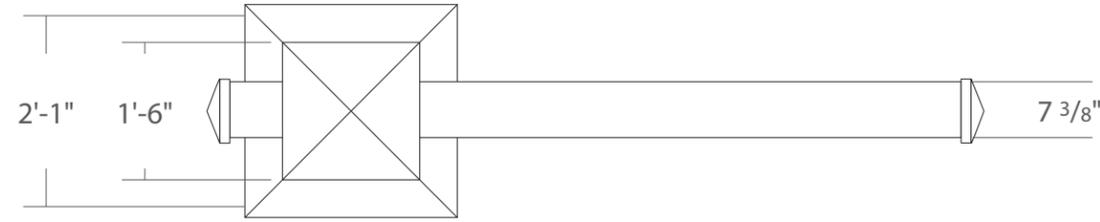
This sign is intended to be installed in accordance of article 600 of the National Electric Code and or other applicable local codes. This includes proper grounding and bonding of the sign.

**AS-DRAWN APPROVAL:**

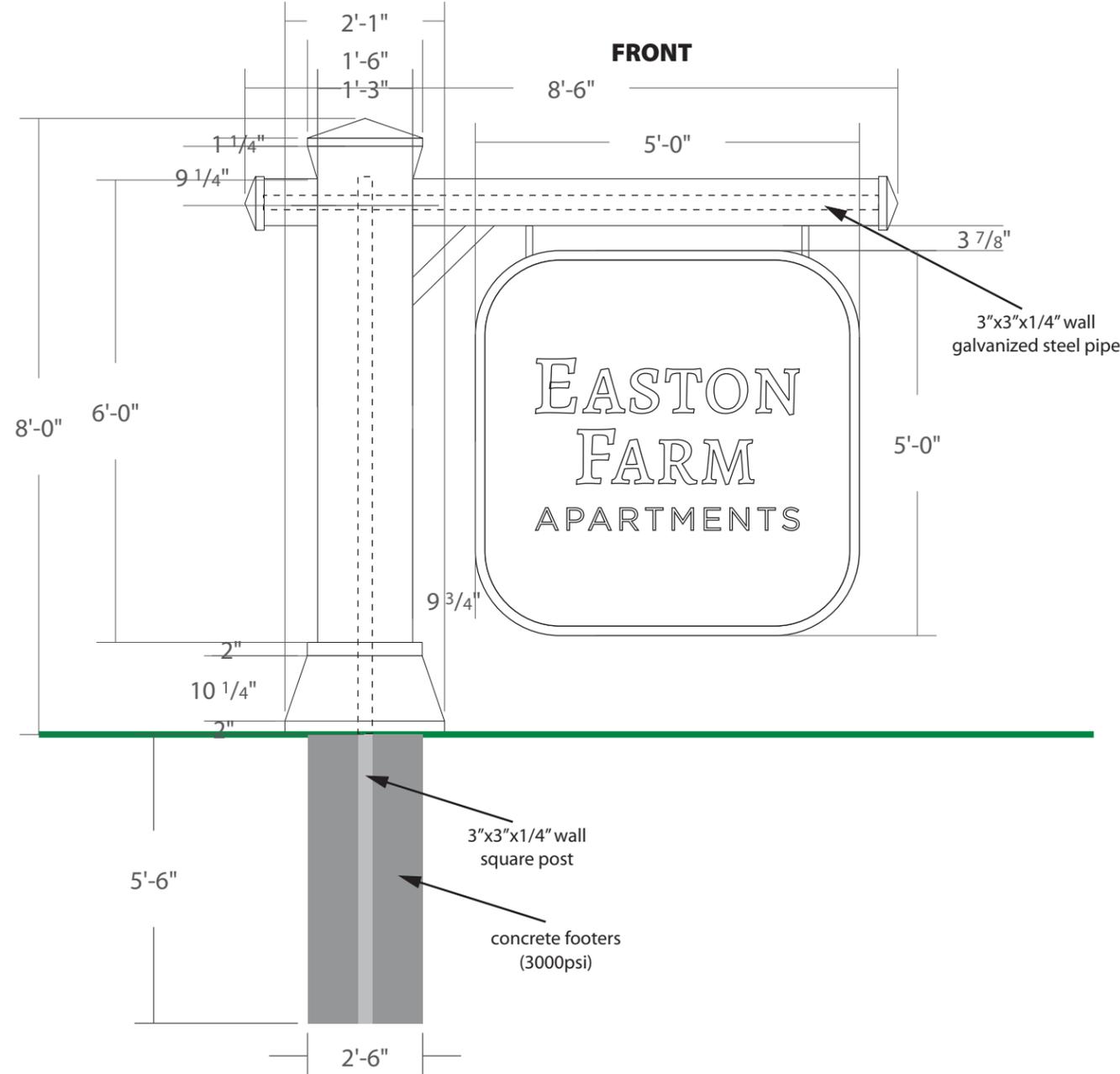
Client Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Morrison will not begin production until client signature is received on proof. Your signature indicates responsibility for the accuracy of this proof and any adjustments after signature is received will incur additional costs and/or delays.

**TOP**



**FRONT**



This sign is intended to be installed in accordance of article 600 of the National Electric Code and or other applicable local codes. This includes proper grounding and bonding of the sign.

**AS-DRAWN APPROVAL:**

Client Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Morrison will not begin production until client signature is received on proof. Your signature indicates responsibility for the accuracy of this proof and any adjustments after signature is received will incur additional costs and/or delays.



**QTY ( 1 ) Double Sided Monument**

**12'-0"W X 4'-0"H**

**48 sq. ft**

**Cabinet** - Aluminum painted PMS 540 C.

**Sign Faces** - Dimensional copy painted white.

**Base** - Aluminum cabinet painted PMS 540 C.

All on top of planter with plants to obscure shrouds. *Planter by others.*

**Illumination** - *Externally illuminated by others.*

■ PMS 540

□ White

**AS-DRAWN APPROVAL:**

Client Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Morrison will not begin production until client signature is received on proof. Your signature indicates responsibility for the accuracy of this proof and any adjustments after signature is received will incur additional costs and/or delays.



This sign is intended to be installed in accordance of article 600 of the National Electric Code and or other applicable local codes. This includes proper grounding and bonding of the sign.







boyer becker

Easton Farms | August 2025





# **295 Montgomery Ln Variance Request, covered patio**

# APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN

FINAL DEVELOPMENT PLAN

RECORD PLAN

VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner  
 Agent  
 Lessee  
 Signed Purchase Contract

APPLICANT NAME: Nathan Carmack

Address 744 S. Gebhart Church Rd

Miamisburg, OH 45342

Telephone No. ( 937 ) 475-0320

Fax No. (        )                     

Email Address Carmackshomework@gmail.com

PROPERTY OWNER NAME (IF OTHER): Daren Yingling

Address: 295 Montgomery Lane

Springboro, OH

Telephone No. ( 330 ) 931-7568

Property Address or General Location: 295 Montgomery Lane

Parcel Number(s): Lot 78 Acreage: 0.2860

PUD Category:  Residential     Retail     Office     Manufacturing     Mixed Use

If Mixed Use, Acreage in Each Category: \_\_\_\_\_

For Residential Proposed Density \_\_\_\_\_ Number of Residential Units \_\_\_\_\_

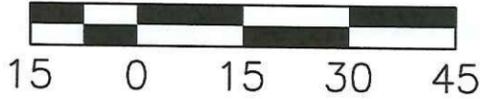
Proposed Use: Adding covered patio to current concrete pad patio. Area receives all day sun and makes the area hard to use during the day.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

  
(Signature of Applicant and/or Agent)

8/7/25  
(Date)

Nathanael Carmack  
Printed Name



YINGLING RESIDENCE  
295 MONTGOMERY LANE

SETBACKS:  
FRONT YARD=30'  
**REAR YARD=25'**  
SIDE YARD=5'

C19  
R=50.00'  
L=43.83'



INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

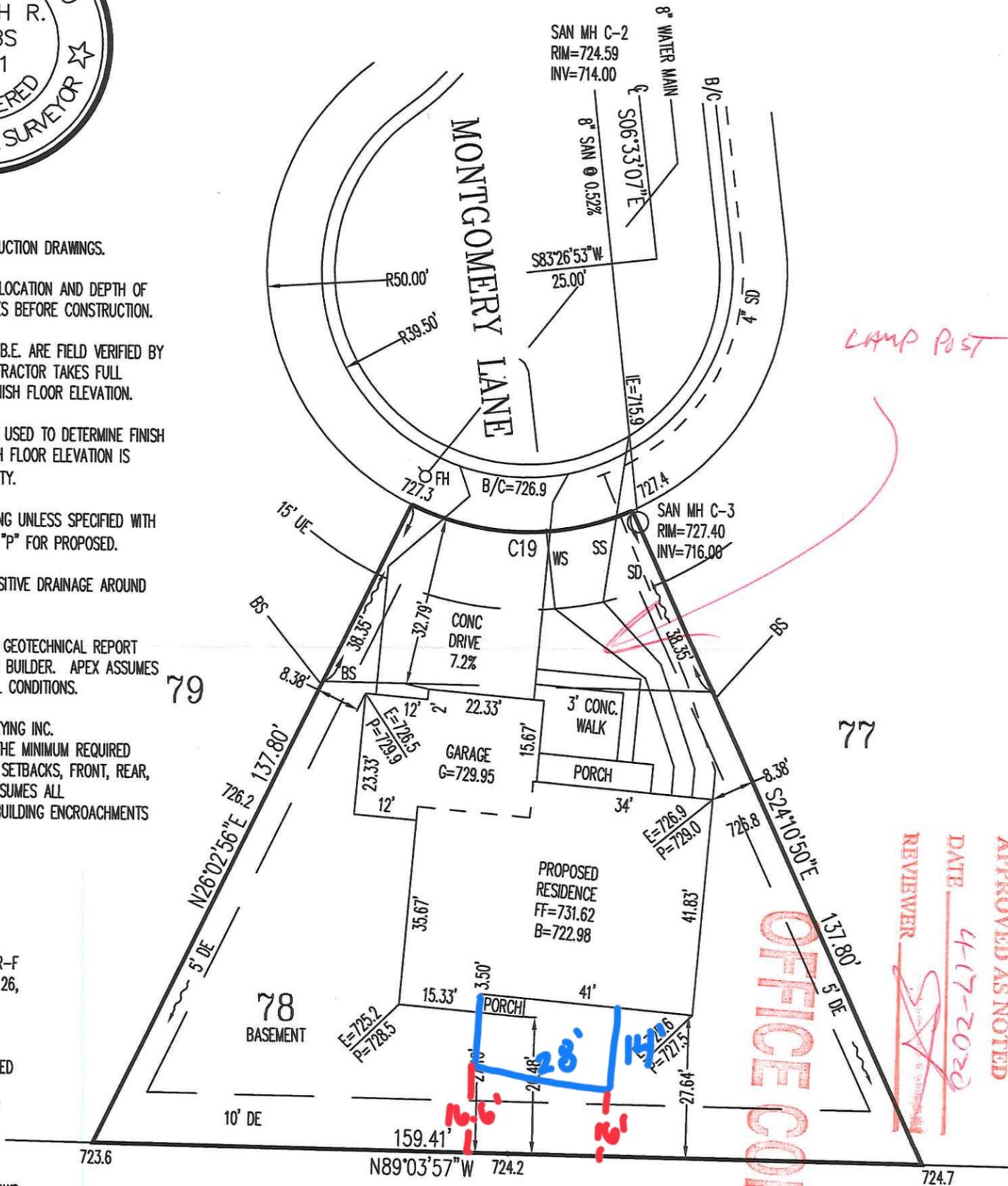
PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

ORIGINAL F.E.M.A. PANEL 39165C0017E, EFF. DEC. 17, 2010. AND REVISED BY LOMR-F 20-05-1943A, DATED MAR. 26, 2020

CORNER GRADES SHOWN HEREON ARE FROM A SUPPLIED DRAWING AND ARE REPRESENTATIVE OF LOMR-F 20-05-1943A

TOP OF WINDOW WELLS OR BOTTOM OF BASEMENT WINDOWS TO BE AT OR ABOVE LOWEST LOT ELEVATION FOR THIS LOT PER LOMR-F 20-05-1943A



LAMP POST

OFFICE COPY

REVIEWER: [Signature]  
DATE: 4-17-2020  
APPROVED AS NOTED  
BUILDING DEPARTMENT

PROJECT No. BECK RIDGE

REVISED: 03/31/2020  
DWG No. 200515PB

DATE: 03/10/2020

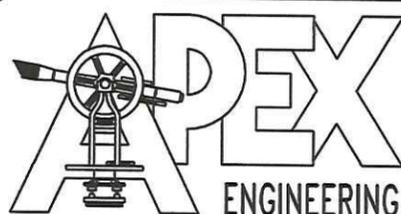
ASSOCIATE CONSTRUCTION

PLOT PLAN  
LOT 78 (12,458 SF) 0.2860 AC.  
BECK RIDGE, SECTION THREE  
CITY OF SPRINGBORO  
CLEARCREEK TWP. WARREN COUNTY, OHIO

SCALE: 1"=30'

DRAWN: JLS

CHECKED: KC



ENGINEERING & SURVEYING, INC.  
1068 NORTH UNIVERSITY BLVD. MIDDLETOWN, OHIO 45042  
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

RECEIVED  
APR 15 2020  
AMB



VICINITY MAP  
N.T.S.

Beck Ridge	
Single Family Area	
Design Criteria For 75' Wide Lots	
92 Total Lots	
Minimum Lot Area: 9,000 S.F.	
Minimum Lot Width: 75'	
Minimum Front Yard: 30'	
Minimum Rear Yard: 25'	
Minimum Side Yard: 5'	
Maximum Bldg. Height: 35'	
Minimum Dwelling Unit Floor Space: 1,600 S.F.	
Minimum Offstreet Parking: 4	

Total Area Summary	
Lots & Streets:	27.62 Ac.
Reserve A, B & C:	22.63 Ac.
Total:	50.25 Ac.
Density: 1.83 Units/Acre	
Reserve Area Summary	
Reserve A:	18.07 Ac.
Reserve B:	4.49 Ac.
Reserve C:	0.07 Ac.
Total Reserve Area:	22.63 Ac. (45.04% OF 50.25 Ac.)

# BECK RIDGE

## FINAL DEVELOPMENT PLAN

### SECTION 19 & 24, TOWN 3, RANGE 4

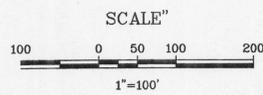
#### CITY OF SPRINGBORO

#### WARREN COUNTY, OHIO

**50.25 Ac.**  
**92 LOTS**

**GENERAL NOTES**

- EXISTING ZONING: ED, EMPLOYMENT CENTER DISTRICT.
- PROPOSED ZONING: PLANNED UNIT DEVELOPMENT-RESIDENTIAL, PUD-R.
- TYPICAL PUBLIC STREET SECTION: 29' B-B OF CURB WITH NO SIDEWALK.
- RESERVE AREAS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- ALL PROPOSED STORM SEWERS OUTSIDE OF STREET R/W SHALL BE IN A 15' EASEMENT.
- GREEN SPACE AREAS SHALL BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- DECKS AND PATIOS ARE PERMITTED IN THE REAR SETBACK AREA, NO CLOSER THAN 15' FROM REAR PROPERTY LINE.
- ROADWAY IMPROVEMENTS INCLUDING RIGHT-OF-WAY TO MEET CITY OF SPRINGBORO STANDARDS AND SPECIFICATIONS, EXCLUDING SIDEWALKS.
- GEOMETRIC DESIGN MUST MEET CITY ENGINEERING STANDARDS.
- STREET LIGHTS WILL BE PROVIDED AT INTERSECTIONS AND AT THE END OF THE CUL-DE-SAC. EACH HOUSE WILL BE REQUIRED TO HAVE A FRONT YARD SECURITY LIGHT WITH A PHOTOCELL.



**DEVELOPER**  
RoMcGo LLC  
1391 Vickie Lane  
Lebanon, Ohio 45036  
Contact: Charles Robbins  
Cell No. (937) 902-9271



REV. 7/11/06  
REV. 7/28/06  
REV. 9/13/06  
REV. 9/15/06  
REV. 9/20/06

**NORFLEET, BROWN & PETKEWICZ INC.**  
Civil Engineers & Surveyors  
228 Byers Road, Suite 301  
Mansfield, Ohio 45342  
Ph (937)847-2313 Fax (937)847-2303

SCALE: 1"=100' DRAWN: KBS CHK'D: RLD  
DATE: SEPTEMBER, 2006 JOB No.: 05-5943

ISSUED  
SEP 29 2006  
NORFLEET, BROWN & PETKEWICZ INC.



# **July 9, 2025 Planning Commission Minutes**

**City of Springboro**  
**320 West Central Avenue, Springboro, Ohio 45066**  
**Planning Commission Meeting**  
**Wednesday, July 9, 2025**

**I. Call to Order**

Becky Iverson, Chair, called the Wednesday, July 9, 2025, Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Rob Dimmitt, Steve Harding, Scott Marshall, John Sillies and Mike Thompson.

Staff Present: Dan Boron, City Planner; September Bee, Planning Commission Secretary, Elmer Dudas, Development Director, and Chad Dixon, City Engineer.

*Mr. Harding motioned to excuse Chris Pearson; Mr. Thompson seconded the motion.*

**Vote: Iverson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)**

**II. Approval of Minutes**

**June 11, 2025 Planning Commission Minutes**

Ms. Iverson asked for corrections or additions to the minutes. There were none.

*Mr. Harding motioned to approve the June 11, 2025 Planning Commission minutes. Mr. Marshall seconded the motion.*

**Vote: Iverson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)**

**III. Agenda Items**

**A. Final Approval**

**Site Plan Review, south terminus of West Tech Boulevard, new industrial building**

**Background Information**

This agenda item is a request for site plan review approval to permit the construction of a 60,480-square foot manufacturing facility for Advanced Engineering. The facility will be located at the southern terminus of West Tech Boulevard in The Ascent portion of the South Tech Business Park. The property currently has no address; addresses are not assigned by the Springboro Engineering Department until later in the site development process. Access and frontage for the building and site will be provided by an extension of West Tech Drive from its current terminus adjacent to the Caesar Creek Software building nearing completion to the north. Access will also be from the proposed Zenith Circle between the Caesar Creek and Advanced Engineering buildings.

The site plan is laid out to allow for future expansion of the Advanced Engineering facility to the south, including the temporary fire access drive on the south side of the building/site.

The subject property will have frontage on an extension of West Tech Boulevard and the proposed Zenith Circle to the north. Adjacent land uses include other properties within The Ascent portion of the South Tech Business Park. To the north is the Caesar Creek Software building approved by Planning Commission in April 2024 and currently nearing completion, to the east is a retention pond and common area within the business park, to the south is one of two remaining undeveloped parcels in the park, and to the west is I-75. I-75 coincides with the Springboro corporate boundary. Zoning for the vicinity is ADD-1, Austin Development District 1.

This item was reviewed on a preliminary basis at the June 11 Planning Commission meeting; at that time, the Planning Commission authorized this item to be placed on a future agenda for final approval.

### **Staff Recommendation**

City staff recommends approval of the site plan subject to the following comments:

1. Verify color match between north and west elevations.
2. For proposed lighting plan, photometric analysis acceptable. Reduce color-temperature of fixtures to 3500K or less and provide spec sheets for determination of compliance with Chapter 1273, Exterior Lighting, requirements.
3. For landscaping plan, provide 39 trees for site landscaping requirement. May be a combination of shade, evergreen, and ornamentals. Also provide 7 additional trees on I-75 frontage.
4. Coordinate with Zoning Inspector on sign code allowances for buildings in the ADD-1.
5. Water and Sanitary sewer to be reviewed and approved by Montgomery County. Also, revise notes accordingly on C-2.1.
6. Water and Sanitary sewer to be reviewed and approved by Montgomery County. Also, revise notes accordingly on C-2.1. Waterlines to be tested per Montgomery County standards.
7. City of Springboro will provide West Tech Roadway design plans. The curb cuts as shown to be worked out according to the future roadway design plans, along with resubmitted plans in the future.
8. Provide water main (size) extension and sanitary sewer extension design details. Remove label "by others." The water and sewer construction are to be completed by site developer (Advanced Engineering), as well as the water and sewer easement documents.
9. Remove the label "by others" from the site plan, other than the West Tech Roadway extension and the associated storm sewer with West Tech Road.
10. Locate trench drains outside of concrete aprons and outside of existing right of way. State catch basin types in parking lot.
11. Provide storm water calculations.
12. Add curb at along the south and east portion of the truck dock access.
13. Keep landscaping trees outside of utility easement.
14. An "AS BUILT" drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.

### **Discussion:**

Mr. Brent Given, Ferguson Construction, was present to address questions and comments from Planning Commission members and staff.

Ms. Iverson said this agenda item is for final approval, site plan review, south terminus of West Tech Boulevard, new industrial building and asked Mr. Given if he had any questions about the staff comments.

Mr. Given said he did not have any questions.

Ms. Iverson asked Mr. Boron if he had any questions or additional comments.

Mr. Boron said staff have been working closely with the applicant and all comments are standard for a building of this size and the infrastructure improvements that are required.

Ms. Iverson asked if there were any questions from Planning Commission members. There were none.

Ms. Iverson called for a motion to approve the site plan review, south terminus of West Tech Boulevard, new industrial building.

*Mr. Thompson made a motion to approve the Site Plan Review, south terminus of West Tech Boulevard, new industrial building. Mr. Dimmitt seconded the motion.*

Ms. Iverson called for roll call.

**Vote: Iverson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)**

Ms. Iverson said the motion was approved unanimously.

## **B. Final Approval**

### **Final Development Plan, Advanced Drive PUD, Planned Unit Development, new commercial building**

#### **Background**

This agenda item is a request for final approval for a final development plan for the construction of a speculative commercial building on the west side of Advanced Drive in the Stolz Industrial Park at the request of the property owner and developer, Westheimer Real Estate. In 2002 a final development plan for this same site was approved by the Planning Commission but never developed.

The subject property is located approximately 500 feet northeast of the terminus of Advanced Drive.

The applicant is proposing to construct a one-story, 10,000-square foot building for a future user. No address has been assigned for the property at this time; addresses are typically not assigned by the Engineering Department until further into the site development process. The proposed commercial building is located on an 8.22-acre site. The owner has indicated that the site will be subdivided to allow development of one additional building/site.

The subject property has frontage on Advanced Drive. Adjacent land uses include other properties in the Stolz Industrial Park that are occupied by the following businesses: at 175 Advanced Drive, Armstrong Trailer. To the east and southeast are Advanced Interior Solutions and Advanced Engineering at 240-250 Advanced Drive, and to the south a vacant building at 235 Advanced Drive. The subject property also borders to the west to the developing Cedar Creek Reserve subdivision that was annexed into the City in 2023.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD that coincides with the Stolz Industrial Park. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stolz estate. The remainder of the estate is the core of what is now Clearcreek Park. The PUD zoning designation permits the use of the property for office and light industrial development. Land to the west is zoned R-2, Low Density Residential District.

This item was reviewed on a preliminary basis at the June 11 Planning Commission meeting; at that time, the Planning Commission authorized this item to be placed on a future agenda for final approval.

## Staff Recommendation

City staff recommends approval of the final development plan subject to the following comments:

1. Future use of the proposed building subject to a Certificate of Zoning Compliance review by Zoning Inspector for determination of compatibility of proposed with ED, Employment Center District code requirements, as well as parking and other use-specific requirements.
2. Changes to north buffer are acceptable. City staff recommends accepting the existing vegetation summary provided against site tree requirement. Applicant to coordinate with City staff on potential subdivision of property and site plan for south-most frontage on Advanced Drive.
3. Revise/update lighting submittal as follows:
  - a. Photometric analysis acceptable but provide ratios not to exceed average to minimum (4:1) and maximum to minimum (10:1) ratios for parking area.
  - b. Indicate if proposed lighting is IDA-approved and is consistent with color-temperature standard (maximum 3500 K).
4. Signage to be reviewed by Zoning Inspector outside site plan review process.
5. Detention basin design under review.
6. The building, and any portion thereof, must be within 400 feet of the hydrant. Fire hydrant to be American Darling B-62-B with 5" Storz connection. Plastic CTS tubing (200 psi min with blue #12 tracer wire) is permitted after curb stop.
7. Prior to construction, obtain approvals from existing pipeline companies to cross easements.
8. Provide details regarding the existing catch basin revision at the curb cut with Advanced Drive.
9. Water meter with remote reader to be inside of building.
10. Revise detention basin outlet structure (CB 2-6) detail, as it does not match plan view.
11. An "AS BUILT" drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.

## Discussion:

Mr. John Westheimer and Ms. Kris Dannenfels, Westheimer Real Estate, were present to discuss this agenda item.

Ms. Iverson said the next agenda item is for final approval, final development plan, Advanced Drive PUD, Planned Unit Development, new commercial building. She asked Mr. Westheimer if he had any questions about the staff comments.

Mr. Westheimer replied that he did not, the staff comments were all reasonable and helpful.

Ms. Iverson asked if Planning Commission members or staff had any questions or comments. There were none.

Ms. Iverson called for a motion to approve the final approval, final development plan, Advanced Drive PUD, Planned Unit Development, new commercial building.

*Mr. Harding made a motion to approve Final Approval, Final Development Plan, Advanced Drive PUD, Planned Unit Development, new commercial building. Mr. Sillies seconded the motion.*

Ms. Iverson called for roll call.

**Vote: Iverson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)**

Ms. Iverson said the motion was approved unanimously.

**C. Final Approval**  
**Site Plan Review, 95 Commercial Way, proposed commercial building**

**Background**

This agenda item is a request for final review of a site plan for 95 Commercial Way. The applicant, PS One LLC, property owner, is seeking approval to construct a new, 12,000-square foot commercial building on the property that is located near the western terminus of Commercial Way. The 2.98-acre parcel was originally developed in 2011-2012 for a landscaping business and has been occupied by a tenant, Haas Factory Outlet, for some time. The property owner proposes to construct a speculative building to the east of the existing Haas space on the site of the former landscaping business storage area. The property is zoned ED, Employment Center District, which allows light industrial and office uses, vehicle repair and sales, and an array of educational, medical, and public uses; the district overlays all of Commercial Way, North and South Pioneer Drive, and Pleasant Valley Drive, and other business and light industrial areas on the west side of Springboro. The south property line coincides with the Springboro Corporation Line, and boundary with Franklin Township.

Existing land uses include to the west Woodhull, LLC, at 125 Commercial Way; to the north at 90 Commercial Way a vacant former dialysis center, and at 80 Commercial Way the Tom Harrison Tennis Center; to the east at 75 Commercial Way, S&S Tool and Die; and to the south two large residential lots in Franklin Township with frontage on Sharts Road.

Adjacent zoning is ED, Employment Center District to the west, north, and east. Zoning to the south is Franklin Township R2, Two-Family Residential District.

This item was reviewed on a preliminary basis at the May 14 Planning Commission meeting; at that time, the Planning Commission authorized this item to be placed on a future agenda for final approval.

**Staff Recommendation**

City staff recommends approval of a recommendation to City Council of this record plan.

1. Relabel elevations north, south, etc.
2. Future use of the proposed building subject to a Certificate of Zoning Compliance review by Zoning Inspector for determination of compatibility of proposed with ED, Employment Center District code requirements, as well as parking and other use-specific requirements.
3. Lighting plan complies with Chapter 1273, Exterior Lighting, of the Planning and Zoning Code. Selected fixture is Dark Sky-compliant.
4. For proposed landscaping plan, note the following:
  - a. On sheet L1, add 3 ornamental trees on Commercial Way frontage.
  - b. Existing vegetation on east side of site is acceptable for compliance with east and south buffers, and site landscaping requirements.
  - c. Is no existing landscaping installed in the existing developed area remaining?
5. Identify benchmark being utilized.
6. Match crowns on storm sewers in catch basin CB 1. Revise storm sewer slopes accordingly.
7. An "AS BUILT" drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.

## Discussion

Mr. Steve Fox, Civil Engineer, Burkhardt Engineering, was present to discuss this agenda item.

Ms. Iverson said the next agenda item was for the final approval, site plan review, 95 Commercial Way, proposed commercial building. She asked Mr. Fox if he had any questions for staff or Planning Commission members regarding the staff comments.

Mr. Fox said he did not have any questions or concerns about the staff comments.

Ms. Iverson asked Mr. Boron and Planning Commission members if they had any additional comments. They did not.

Ms. Iverson called for a motion to approve the final approval, site plan review, 95 Commercial Way, proposed commercial building.

*Mr. Sillies made a motion to approve Final Approval, Site Plan Review, 95 Commercial Way, proposed commercial building. Mr. Harding seconded the motion.*

Ms. Iverson called for roll call.

**Vote: Iverson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)**

Ms. Iverson said the motion was approved unanimously.

### D. Preliminary Review

**Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development**

### E. Preliminary Review

**General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development**

## Background Information

This agenda item is based on an application filed by Taft Stettinius & Hollister, LLP, requesting approval of rezoning and general plan to allow the development of a mixed-use development southeast of the corner of West Central Avenue (SR 73) and Clearcreek-Franklin Road. The property has no address; addresses are not assigned by the City Engineer until later in the site development process. The development, envisioned as The Lawn, would be located on 35.60 acres of land that was farmed as recently as 2024. Development would be accomplished through rezoning the property from O, Office District, to PUD-MU, Planned Unit Development-Mixed Use.

This item is being reviewed on a preliminary basis at the July 9 meeting as was the case at the April 9 and May 14 meetings.

The O District allows medical and general office development, nursing homes, medical clinics, veterinary hospitals, banks, personal service establishments, among other primary permitted uses, and accessory buildings, off-street parking, and other accessory uses normally associated with the uses listed above.

The applicants are proposing the development of the property with two components within the PUD: a retail component and a multifamily residential component. The retail component includes an area on the easternmost side of the property adjoining The Enclave assisted living facility (355 West Central Avenue) and another retail component on the northwest corner of the property abutting the West Central Avenue/Clearcreek-Franklin Road intersection and Tractor Supply. The second component includes multi-family and townhome development; a total of 324 residential units are proposed, occupying the lands along the east side of Twin Creek, a stream that bisects the property and drains much of the western part of Springboro. The proposed residential development density is 20.77 dwelling units per acre for the residential component, although this number would be reduced considering the open space requirement of the residential component.

The applicant proposes multiple access points to the PUD-MU: one from the intersection of West Central Avenue and Springwood Drive, making it a four-way signalized intersection, an interconnecting right-in/right-out drive from The Enclave (which was originally part of the property through the early 2010s) and two more access points to the west of Twin Creek including a from the signal to Tractor Supply. A total of 4.66 acres of open space, or 29.6% of the proposed PUD's residential component; is proposed. Residential PUDs require a minimum of 25% open space. The O District has no open space requirement. The retail component also has no open space requirement.

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, common areas, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of property, the dedication of right-of-way and the creation of dedicated open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include to the north a large lot undeveloped and unused property to the north on the north side of West Central Avenue, commonly known as the Eastbrook Farm, Chase Bank, and the Premier Health office building; to the east, The Enclave assisted living facility; to the south the City of Springboro's Community Park and Victory Wholesale; and to the west Tractor Supply Company and a regional detention pond.

Adjacent zoning in the vicinity is to the north O District for the Eastbrook Farm and PUD on the site of Chase Bank and the Premier Health office building; PUD-Business to the east on the site of The Enclave; to the south R-2, Low-Density Residential District on the Community Park site, and ED, Employment Center District on the Victory Wholesale site; and HBD, Highway Business District, to the west on the site of Tractor Supply Company.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 7, City Services Center, includes the subject property and lands fronting West Central Avenue from the City Building west to Clearcreek-Franklin Road. The policy area recommends mixed use development for the subject property, the employment of higher design standards, good internal connectivity for the site, and management of access to West Central Avenue. Retail uses that serve the immediate area are encouraged, and residential included in the mixed-use pattern is also encouraged.

Courtesy notification letters were sent out to all property owners prior to the April 9 meeting. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

## Staff Comments

City staff has the following comments regarding this agenda item:

The following comments are regarding the development plan exhibits and narrative:

1. Traffic impact study review comments to be sent to applicants under separate cover.
2. For final approval, revise development plan exhibit sheet as follows to become general plan:
  - a. Transfer information onto survey base map, provide latest revision date, project name, and scale.
  - b. Relabel development plan as general plan.
  - c. Tie-down proposed open space boundary.
  - d. Include uses, once finalized, from page 12 of submittal booklet.
  - e. Include table, once finalized, from page 17 of submittal booklet, and include minimum floor area for residential uses.
  - f. Revise exhibit example graphic provided by City staff.
3. Revise residential density statements to 20.8 dwelling units per acre overall (327 units on 15.74 acres) and incorporate open space into that calculation.
4. Please provide description of carriage house units for general plan language and use by traffic engineer for traffic generation.
5. Page 12 of booklet, remove vehicle fueling stations, and vehicle repair (minor) from the list of permitted uses proposed for the retail component.
6. Page 12 of booklet, remove PWS bullet; intended use (cell phone store) is a retail use.
7. Page 12 of booklet, add outdoor dining to restaurant use.
8. Improvements to the public right of way to be constructed per the recommendations of the traffic impact study.
9. What part of the existing vegetation and topography is projected to remain on the site post-development?
10. Parking requirements to meet City code.
11. Utility and roadway improvements (private and public) shall meet City of Springboro specifications, including storm water management plan.
12. Create a POA for Development. POA to be completed prior to initial building permit being released. Association shall maintain common elements such as trails, lighting, storm water facilities, private roads, open space, etc.
13. Provide public access easements (ingress/egress) for all private roads (if any) throughout the site. Public roads to be built to City specifications including road width to be 24 feet wide (12 feet wide lanes & 29 feet b/b curb) with 50' right of way dedication.
14. Any development occurring in the floodplain/floodway, shall require the appropriate permitting through the City, FEMA, and any other federal requirements.

The following comments are regarding the proposed design manual beginning on page 16 of the booklet:

15. Standards should incorporate references to Planning and Zoning Code chapters and sections as baseline, for example, Chapter 1281, Signs, unless a departure is proposed.
16. Page 19, parking lot landscaping, also reference Chapter 1280, Landscaping, requirements for parking areas.
17. Page 20, site signage. Statement would benefit from graphic representation.
18. Page 22, Outdoor storage. Should outdoor storage also be screened from private roadway system, and not just the visible right of way?
19. Page 23, Building materials, vinyl recommended as prohibited building material.
20. Page 24, Building color, see Section 1262.04(g)(3), Color, for code limitations.

## Discussion

Mr. Patrick Warnement, Ohio Real Estate Engineer for WaWa Corporation, and Mr. Travis Hunt, Kleingers Group, were present to answer questions from Planning Commission members and staff. Mr. Hunt is the project manager for the traffic impact study (TIS) conducted for this project.

Ms. Iverson said agenda items D and E are a combination of preliminary review for rezoning and general plan, O, Office District, to PUD-MU, Planned Unit Development- Mixed Use, southeast corner West Central Avenue (SR73) and Clearcreek-Franklin Road, mixed-use development. She asked Mr. Boron for any preliminary comments on this project.

Mr. Boron said this project has been on the agenda on two previous occasions for preliminary review and this is the third preliminary review. The TIS was received, and staff and the applicants have had an opportunity to review the results; this study is a prerequisite for this to be forwarded on to City Council. The City's Traffic Engineer, Mr. Scott Knebel, is present tonight and will review the results of the study with the applicants and Planning Commission members.

In addition to the traffic information to be presented, staff provided a number of comments associated with this project, both on the concept and then also the design manual that was prepared by the development team from Kingsley.

Ms. Iverson asked that the record reflect Mr. Chris Pearson, Vice Chair, joined the meeting at 6:09 pm.

Mr. Daniel Buchenroth, Kingsley and Company, joined the meeting at 6:09 pm.

Ms. Iverson asked Mr. Boron where he would like to start with the staff comments.

Mr. Boron said he would like to start with the traffic study.

Mr. Hunt said his team had previously sent a memorandum of understanding. The initial recommendations set forth were several improvements in the recommendations from the TIS, one being adding an eastbound turn lane at Pioneer Boulevard at Central Avenue (SR 741) and then at the Clearcreek-Franklin intersection, the plan is for this to be the main tie-in for the western portion of the development. They are proposing to extend the existing west-bound left-hand turn lane from the current lane, and a south-bound right turn lane at this same intersection. Farther east, at the proposed access driveway, an eastbound right turn lane is warranted for that driveway.

To obtain left turn access into the site, there would have to be a cut in the existing, landscaped median and there will be a new turn lane added as well. Moving down to the Springwood Drive access, there would be a reconfiguration of the intersection with that northbound driveway and a westbound turn lane and becoming a four-way traffic light with a crossing signal. This will involve moving an existing portion of the median to align that with the opposite turn lane that exists there currently.

Mr. Hunt said that was all he had to discuss at this time and asked Mr. Knebel for a summary of his comments and recommendations.

Mr. Knebel said that one of the conclusions from the study with the improvements that were outlined did still show poor levels of service in the opening day or design years, depending on which intersection is looked at. He is proposing to shorten the southbound right turn lane at Clearcreek-Franklin Road, adding a westbound right turn lane, and adding a northbound right turn lane coming out of the development.

A right turn lane should be added at Pioneer Boulevard eastbound that would be a through right turn extending all the way down to the unsignalized access point for the west development. The additional lane for this length would accommodate volumes that are destined for not only Pioneer Boulevard, but also then the two access points for the west development. This will be a continuous lane from Burger King heading west and will end at the new proposed access point before SR 73 crosses the Twin Creek bridge near Springwood Drive.

Mr. Dimmitt asked if widening the roadway another 12 feet would require taking property away from current business owners along SR 73.

Mr. Knebel said there is enough room on the right-of-way to allow for the additional lanes without impacting their properties.

There was a discussion among Planning Commission members regarding widening the bridge over Twin Creek and adding additional sidewalks. The developer would be responsible for all costs incurred with this project.

Mr. Hunt said that his team is exploring several options for the bridge and sidewalks, and they would include more detailed information at a future meeting.

Mr. Harding asked if shortening the right-turn lane on Clearcreek-Franklin Road be effective, given the new residential development that will be constructed soon on the east side of the road. Would the lane need to be adjusted back to its original length once all those new houses are built?

Mr. Knebel said that the developer of that property would be required to address any improvements that would be needed to accommodate additional traffic, just as the applicant is doing now.

There was a discussion about improving the safety of the intersection at Clearcreek-Franklin Road and SR 73. Adjusting the flow and changing the overall layout of the intersection to improve sight lines that will help alleviate the number of traffic accidents that occur there. This is a high-volume intersection and its design will be crucial to the successful development of this site. The unsignalized entrance to the east of this intersection will help divert traffic to avoid having to use the Clearcreek-Franklin / SR 73 intersection.

Planning Commission members and the applicants discussed connecting the new development to the existing sidewalks and multi-use paths and the costs that will be incurred both when constructing them and then maintaining them, either by the city or the developer, in the future.

Mr. Buchenroth said they were already planning to connect both sides of the creek within the development, but further assessment needs to occur before any final decisions are made about connecting to the existing public sidewalks. They would like to focus on resolving this issue for their next presentation to the Planning Commission.

Mr. Troy Messer, Kleingers Group and Ms. Sonya Jindal Tork, Taft Law, joined the discussion at 6:45 pm.

Mr. Messer asked Mr. Boron what the City's position on part of the trail being city-owned versus a privately owned trail that the city would have an easement to.

Mr. Boron said that if there is an opportunity to build on City property, the City would do that. But if there is an opportunity to build and remain on private property through an easement, that would be acceptable as well.

Mr. Pearson asked about staff comment number three, revise residential density statements to 20.8 dwelling units per acre overall (327 units on 15.74 acres) and incorporate open space into that calculation.

Mr. Buchenroth said that at a previous meeting the density was at 24 dwelling units per acre but when open space is factored in, it drops down to 20.8 dwellings units per acre. He showed an illustrative property plan, spec only, not for final consideration, but for the purpose of trying to show Planning Commission members and staff what their proposed intentions are for each individual area.

He said that the property had been separated into two sections, a western portion made up of commercial/retail spaces and residential dwellings and an eastern portion composed of a combination of residential dwellings and commercial/hospitality businesses. The retail businesses will be located at the front of the property with some restaurants/hospitality businesses located at the back of the property in the eastern section of the property. The multi-family housing will consist of townhomes and traditional-style carriage homes and be located in the rear portion of the property in the western portion and in the eastern portion, the townhomes will be separated from the commercial properties.

Mr. Buchenroth noted that the easternmost rear lot, Lot 9, is designed to allow for connectivity to Community Park and its trails. They envision an area that will invite people to stop and take a break and enjoy shopping or dining and then return to the park or in reverse, to attract people who might be shopping or dining to explore the connected park.

Addressing staff comment number 4, provide a description of carriage houses, Mr. Buchenroth said the carriage houses would be two-story apartments with the second-story apartment having some sort of den above it that could be utilized as an additional bedroom upstairs. There will not be garages for these units. The townhomes located on the east side of the development will be three-story buildings that have garages underneath the apartments to provide two stories for living above the ground-level garage. Walkability has been a big consideration for this project because of the connection with the trail systems.

Ms. Iverson asked Mr. Buchenroth about staff comment number nine asking what existing vegetation and topography is projected to remain on the site post-development.

Mr. Buchenroth said that some of the vegetation will have to be removed to allow for re-piping the stream toward Twin Creek and regrading, but they plan to leave as much vegetation as possible to make the area feel as if you're taking a walk through the woods.

Mr. Buchenroth addressed staff comment number 5, remove vehicle fueling stations and minor vehicle repair from proposed retail uses. He introduced Mr. Warnement and asked him to give a summary of WaWa's business model.

Mr. Warnement gave a brief description of WaWa's history and how their business model was developed. WaWa is committed to being a responsible member of the community and feels that their employee benefits are excellent and they offer well-paying jobs to residents. Food is an important part of their business, and he feels that their menu will attract customers while they are refueling or recharging their vehicles.

There was a discussion about the viability of another fueling station in this area and whether it was permitted by zoning code. Mr. Pearson asked if O, Office District allows fueling stations.

Mr. Boron said that fueling stations are not permitted in the O District and that is why in-part there is a request for rezoning to Planned Unit Development-Mixed Use, PUD-MU for this site.

Planning Commission members discussed the traffic study and allowing the rezoning of this site and they concluded that the rezoning should be approved to allow a fueling station and to let the market bear what residents and customers will support.

Mr. Buchenroth said with regards to staff comment number seven, they will add the outdoor dining to the dining component.

Addressing staff comment number 10, Mr. Buchenroth asked what parking requirements would be considered given that this site has such a wide range of uses and the business hours will vary.

Mr. Boron said the comment was referring to the City Code itself and incorporating that into their plans. This would include shared parking and bike parking, among other subcategories.

Mr. Buchenroth said that there would be two separate property owners associations (POAs) set up for this project: one for the western district and another for the eastern district. All the new roads would be privately owned, and they would provide public access easements for those roads.

Mr. Buchenroth addressed staff comment number 14, development in floodplain and FEMA approval will be addressed and all permits required, whether by the city or FEMA will be adhered to.

Mr. Buchenroth said that staff comments 15-20 are all design related, and they are working with staff on these comments and will update the design manual as necessary.

Mr. Boron said that staff comment number 9 regarding the existing vegetation and topography is trying to determine what exactly will remain and what will not. The topography on the west end is especially important. Applicants need to show how the proposed changes will look once completed.

Mr. Harding excused himself from the meeting at 7:17 pm.

Mr. Boron said staff comment number two was important because this is a rezoning issue, the allowed uses within the site need to be clearly identified and incorporated into the general plan. The land use plan requires specific uses and these need to be documented. The request for a minor vehicle repair business is especially concerning in this proposal given the character of this part of the city.

Planning Commission members discussed striking the vehicle repair component from the allowable uses and agreed that Mr. Buchenroth would take that recommendation back to his team for further consideration.

Mr. Dimmitt asked if re-routing the smaller stream into Twin Creek would affect the flow of the creek.

Mr. Messer said they were waiting for final approval before engaging in any grading plan to start assessment of how much mitigation will be required by both the city and FEMA. There will probably be a retention pond near the retail development and then the apartments on the west side will have a retention pond as well. Both areas will have its own association for maintenance purposes. Definitive plans will be submitted in the future.

Ms. Iverson asked Mr. Buchenroth if they would be back for the August Planning Commission meeting.

Mr. Buchenroth said that they would like to appear in August but there remains some work to be done with their submittal. He will work with Mr. Boron and staff regarding any remaining questions or concerns. It will still be for preliminary review.

Mr. Boron asked Planning Commission members to move the August 13 Planning Commission meeting back one week to Wednesday, August 20 at 6:00 pm to accommodate Planning Commission members and staff calendars. It was agreed that the date will be moved to August 20 and the Clerk of Council will be notified of the date change.

## VII. Guest Comments

Ms. Iverson called for guest comments.

Ms. Linda Butcher, 75 Lookout Drive, introduced herself to Planning Commission and staff. She is concerned about the additional traffic this development will add to city roadways. She is also concerned about who would maintain any bridges or sidewalks constructed and that they will be ADA-compliant.

Ms. Iverson said that if it was in the right-of-way, the City would maintain it and if it was on private property, the owner would maintain the area and will be ADA compliant, per City Code.

Ms. Butcher questioned whether there would be enough grocery stores to support all the new residents.

Ms. Iverson thanked Ms. Butcher for her comments and stated that all Planning Commission meetings are always open to the public.

## VIII. Planning Commission and Staff Comments

Ms. Iverson asked Mr. Boron if he had any additional comments. He did not.

## IX. Adjournment

Ms. Iverson called for a motion to adjourn.

*Mr. Thompson motioned to adjourn the July 9, 2025 Planning Commission Meeting at 7:37 pm.*

*Mr. Sillies seconded the motion.*

**Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)**

Ms. Iverson said the motion was approved unanimously and the meeting is adjourned.

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Becky Iverson, Planning Commission Chairperson

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Dan Boron, Planner

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September Bee, Planning Commission Secretary