Agenda
City of Springboro Planning Commission Meeting
Wednesday, July 9, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

I. Call to Order

II. Approval of Minutes

A. June 11, 2025 Planning Commission Meeting

III. Agenda Items

A. Final Approval, Site Plan Review, south terminus of West Tech Blvd, new industrial building

B. Final Approval, Final Development Plan Review, Advanced Drive PUD, Planned Unit Development, new commercial building

C. Final Approval, Site Plan Review, 95 Commercial Way, proposed commercial building

D. Preliminary Review, Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

E. Preliminary Review, General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

IV. Guest Comments

V. Planning Commission and Staff Comments

VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, July 9, 2025, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval
Site Plan Review, south terminus of West Tech Boulevard, new industrial building

Background Information

This agenda item is a request for site plan review approval to permit the construction of a 60,480-square foot manufacturing facility for Advanced Engineering. The facility will be located at the southern terminus of West Tech Boulevard in The Ascent portion of the South Tech Business Park. The property currently has no address; addresses are not assigned by the Springboro Engineering Department until later in the site development process. Access and frontage for the building and site will be provided by an extension of West Tech Drive from its current terminus adjacent to the Caesar Creek Software building nearing completion to the north. Access will also be from the proposed Zenith Circle between the Caesar Creek and Advanced Engineering buildings.

The site plan is laid out to allow for future expansion of the Advanced Engineering facility to the south, including the temporary fire access drive on the south side of the building/site.

The subject property will have frontage on an extension of West Tech Boulevard and the proposed Zenith Circle to the north. Adjacent land uses include other properties within The Ascent portion of the South Tech Business Park. To the north is the Caesar Creek Software building approved by Planning Commission in April 2024 and currently nearing completion, to the east is a retention pond and common area within the business park, to the south is one of two remaining undeveloped parcels in the park, and to the west is I-75. I-75 coincides with the Springboro corporate boundary. Zoning for the vicinity is ADD-1, Austin Development District 1.

This item was reviewed on a preliminary basis at the June 11 Planning Commission meeting; at that time, the Planning Commission authorized this item to be placed on a future agenda for final approval.

Staff Recommendation

City staff recommends approval of the site plan subject to the following comments:

1. Verify color match between north and west elevations.
2. For proposed lighting plan, photometric analysis acceptable. Reduce color-temperature of fixtures to 3500K or less and provide spec sheets for determination of compliance with Chapter 1273, Exterior Lighting, requirements.
3. For landscaping plan, provide 39 trees for site landscaping requirement. May be a combination of shade, evergreen, and ornamentals. Also provide 7 additional trees on I-75 frontage.
4. Coordinate with Zoning Inspector on sign code allowances for buildings in the ADD-1.
5. Water and Sanitary sewer to be reviewed and approved by Montgomery County. Also, revise notes accordingly on C-2.1.

6. Water and Sanitary sewer to be reviewed and approved by Montgomery County. Also, revise notes accordingly on C-2.1. Waterlines to be tested per Montgomery County standards.
7. City of Springboro will provide West Tech Roadway design plans. The curb cuts as shown to be worked out according to the future roadway design plans, along with resubmitted plans in the future.
8. Provide water main (size) extension and sanitary sewer extension design details. Remove label "by others." The water and sewer construction are to be completed by site developer (Advanced Engineering), as well as the water and sewer easement documents.
9. Remove the label "by others" from the site plan, other than the West Tech Roadway extension and the associated storm sewer with West Tech Road.
10. Locate trench drains outside of concrete aprons and outside of existing right of way. State catch basin types in parking lot.
11. Provide storm water calculations.
12. Add curb at along the south and east portion of the truck dock access.
13. Keep landscaping trees outside of utility easement.
14. An "AS BUILT" drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.

B. Final Approval
Final Development Plan, Advanced Drive PUD, Planned Unit Development, new commercial building

Background

This agenda item is a request for final approval for a final development plan for the construction of a speculative commercial building on the west side of Advanced Drive in the Stolz Industrial Park at the request of the property owner and developer, Westheimer Real Estate. In 2002 a final development plan for this same site was approved by the Planning Commission but never developed.

The subject property is located approximately 500 feet northeast of the terminus of Advanced Drive.

The applicant is proposing to construct a one-story, 10,000-square foot building for a future user. No address has been assigned for the property at this time; addresses are typically not assigned by the Engineering Department until further into the site development process. The proposed commercial building is located on an 8.22-acre site. The owner has indicated that the site will be subdivided to allow development of one additional building/site.

The subject property has frontage on Advanced Drive. Adjacent land uses include other properties in the Stoltz Industrial Park that are occupied by the following businesses: at 175 Advanced Drive, Armstrong Trailer. To the east and southeast are Advanced Interior Solutions and Advanced Engineering at 240-250 Advanced Drive, and to the south a vacant building at 235 Advanced Drive. The subject property also borders to the west to the developing Cedar Creek Reserve subdivision that was annexed into the City in 2023.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD that coincides with the Stolz Industrial Park. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stolz estate. The remainder of the estate is the core of what is now Clearcreek Park. The PUD zoning designation permits the use of the property for office and light industrial development. Land to the west is zoned R-2, Low Density Residential District.

This item was reviewed on a preliminary basis at the June 11 Planning Commission meeting; at that time, the Planning Commission authorized this item to be placed on a future agenda for final approval.

Staff Recommendation

City staff recommends approval of the final development plan subject to the following comments:

1. Future use of the proposed building subject to a Certificate of Zoning Compliance review by Zoning Inspector for determination of compatibility of proposed with ED, Employment Center District code requirements, as well as parking and other use-specific requirements.
2. Changes to north buffer are acceptable. City staff recommends accepting the existing vegetation summary provided against site tree requirement. Applicant to coordinate with City staff on potential subdivision of property and site plan for south-most frontage on Advanced Drive.
3. Revise/update lighting submittal as follows:
   a. Photometric analysis acceptable but provide ratios not to exceed average to minimum (4:1) and maximum to minimum (10:1) ratios for parking area.
   b. Indicate if proposed lighting is IDA-approved and is consistent with color-temperature standard (maximum 3500 K).
4. Signage to be reviewed by Zoning Inspector outside site plan review process.
5. Detention basin design under review.
6. The building, and any portion thereof, must be within 400 feet of the hydrant. Fire hydrant to be American Darling B-62-B with 5" Storz connection. Plastic CTS tubing (200 psi min with blue #12 tracer wire) is permitted after curb stop.
7. Prior to construction, obtain approvals from existing pipeline companies to cross easements.
8. Provide details regarding the existing catch basin revision at the curb cut with Advanced Drive.
9. Water meter with remote reader to be inside of building.
10. Revise detention basin outlet structure (CB 2-6) detail, as it does not match plan view.
11. An "AS BUILT" drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.

C. Final Approval
Site Plan Review, 95 Commercial Way, proposed commercial building

Background

This agenda item is a request for preliminary review of a site plan for 95 Commercial Way. The applicant, PS One LLC, property owner, is seeking approval to construct a new, 12,000-square foot commercial building on the property that is located near the western terminus of Commercial Way. The 2.98-acre parcel was originally developed in 2011-2012 for a landscaping business and has been occupied by a tenant, Haas Factory Outlet, for some time. The property owner proposes to construct a speculative building to the east of the existing Haas space on the site of the former landscaping business storage area. The property is zoned ED, Employment Center District, which allows light industrial and office uses, vehicle repair and sales, and an array of educational, medical, and public uses; the district overlays all of Commercial Way, North and South Pioneer Drive, and Pleasant Valley Drive, and other business and light industrial areas on the west side of Springboro. The south property line coincides with the Springboro Corporation Line, and boundary with Franklin Township.

Existing land uses include to the west Woodhull, LLC, at 125 Commercial Way; to the north at 90

Commercial Way a vacant former dialysis center, and at 80 Commercial Way the Tom Harrison Tennis Center; to the east at 75 Commercial Way, S&S Tool and Die; and to the south two large residential lots in Franklin Township with frontage on Sharts Road.

Adjacent zoning is ED, Employment Center District to the west, north, and east. Zoning to the south is Franklin Township R2, Two-Family Residential District.

This item was reviewed on a preliminary basis at the May 14 Planning Commission meeting; at that time, the Planning Commission authorized this item to be placed on a future agenda for final approval.

Staff Recommendation

City staff recommends approval of a recommendation to City Council of this record plan.

1. Relabel elevations north, south, etc.
2. Future use of the proposed building subject to a Certificate of Zoning Compliance review by Zoning Inspector for determination of compatibility of proposed with ED, Employment Center District code requirements, as well as parking and other use-specific requirements.
3. Lighting plan complies with Chapter 1273, Exterior Lighting, of the Planning and Zoning Code. Selected fixture is Dark Sky-compliant.
4. For proposed landscaping plan, note the following:
    a. On sheet L1, add 3 ornamental trees on Commercial Way frontage.
    b. Existing vegetation on east side of site is acceptable for compliance with east and south buffers, and site landscaping requirements.
    c. Is no existing landscaping installed in the existing developed area remaining?
5. Identify benchmark being utilized.
6. Match crowns on storm sewers in catch basin CB 1. Revise storm sewer slopes accordingly.
7. An “AS BUILT” drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.

D. Preliminary Review
Rezoning, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

E. Preliminary Review
General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed Use, southeast corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, mixed-use development

Background Information

This agenda item is based on an application filed by Taft Stettinius & Hollister, LLP, requesting approval of rezoning and general plan to allow the development of a mixed-use development southeast of the corner of West Central Avenue (SR 73) and Clearcreek-Franklin Road. The property has no address; addresses are not assigned by the City Engineer until later in the site development process. The development, envisioned as The Lawn, would be located on 35.60 acres of land that was farmed as recently as 2024. Development would be accomplished through rezoning the property from O, Office District, to PUD-MU, Planned Unit Development-Mixed Use.

This item is being reviewed on a preliminary basis at the July 9 meeting as was the case at the April 9 and May 14 meetings.

The O District allows medical and general office development, nursing homes, medical clinics, veterinary hospitals, banks, personal service establishments, among other primary permitted uses, and accessory buildings, off-street parking, and other accessory uses normally associated with the uses listed above.

The applicants are proposing the development of the property with two components within the PUD: a retail component and a multifamily residential component. The retail component includes an area on the easternmost side of the property adjoining The Enclave assisted living facility (355 West Central Avenue) and another retail component on the northwest corner of the property abutting the West Central Avenue/Clearcreek-Franklin Road intersection and Tractor Supply. The second component includes multi-family and townhome development; a total of 324 residential units are proposed, occupying the lands along the east side of Twin Creek, a stream that bisects the property and drains much of the western part of Springboro. The proposed residential development density is 20.77 dwelling units per acre for the residential component, although this number would be reduced considering the open space requirement of the residential component.

The applicant proposes multiple access points to the PUD-MU: one from the intersection of West Central Avenue and Springwood Drive, making it a four-way signalized intersection, an interconnecting right-in/right-out drive from The Enclave (which was originally part of the property through the early 2010s) and two more access points to the west of Twin Creek including a from the signal to Tractor Supply. A total of 4.66 acres of open space, or 29.6% of the proposed PUD's residential component; is proposed. Residential PUDs require a minimum of 25% open space. The O District has no open space requirement. The retail component also has no open space requirement.

The proposed rezoning/general plan appears as two separate items on the Planning Commission agenda. Rezoning together with general plan review and approval are the first step in the three-step PUD review and approval process. Approval by both Planning Commission and City Council is required. Final development plan—where more detailed plans for roads, utilities, common areas, drainage, and lots—review and approval by Planning Commission is the second stage in the process. Final development plans may be submitted in a number of sections in conjunction with a site's incremental development. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of property, the dedication of right-of-way and the creation of dedicated open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

Adjacent land uses include to the north a large lot undeveloped and unused property to the north on the north side of West Central Avenue, commonly known as the Eastbrook Farm, Chase Bank, and the Premier Health office building; to the east, The Enclave assisted living facility; to the south the City of Springboro's Community Park and Victory Wholesale; and to the west Tractor Supply Company and a regional detention pond.

Adjacent zoning in the vicinity is to the north O District for the Eastbrook Farm and PUD on the site of Chase Bank and the Premier Health office building; PUD-Business to the east on the site of The Enclave; to the south R-2, Low-Density Residential District on the Community Park site, and ED, Employment Center District on the Victory Wholesale site; and HBD, Highway Business District, to the west on the site of Tractor Supply Company.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development, and other general characteristics. Policy Area 7,

City Services Center, includes the subject property and lands fronting West Central Avenue from the City Building west to Clearcreek-Franklin Road. The policy area recommends mixed use development for the subject property, the employment of higher design standards, good internal connectivity for the site, and management of access to West Central Avenue. Retail uses that serve the immediate area are encouraged, and residential included in the mixed-use pattern is also encouraged.

Courtesy notification letters were sent out to all property owners prior to the April 9 meeting. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Comments

City staff has the following comments regarding this agenda item:

The following comments are regarding the development plan exhibits and narrative:

1. Traffic impact study review comments to be sent to applicants under separate cover.
2. For final approval, revise development plan exhibit sheet as follows to become general plan:
    a. Transfer information onto survey base map, provide latest revision date, project name, and scale.
    b. Relabel development plan as general plan.
    c. Tie down proposed open space boundary.
    d. Include uses, once finalized, from page 12 of submittal booklet.
    e. Include table, once finalized, from page 17 of submittal booklet, and include minimum floor area for residential uses.
    f. Revise exhibit example graphic provided by City staff.
3. Revise residential density statements to 20.8 dwelling units per acre overall (327 units on 15.74 acres) and incorporate open space into that calculation.
4. Please provide description of carriage house units for general plan language and use by traffic engineer for traffic generation.
5. Page 12 of booklet, remove vehicle fueling stations, and vehicle repair (minor) from the list of permitted uses proposed for the retail component.
6. Page 12 of booklet, remove PWS bullet; intended use (cell phone store) is a retail use.
7. Page 12 of booklet, add outdoor dining to restaurant use.
8. Improvements to the public right of way to be constructed per the recommendations of the traffic impact study.
9. What part of the existing vegetation and topography is projected to remain on the site post-development?
10. Parking requirements to meet City code.
11. Utility and roadway improvements (private and public) shall meet City of Springboro specifications, including storm water management plan.
12. Create a POA for Development. POA to be completed prior to initial building permit being released. Association shall maintain common elements such as trails, lighting, storm water facilities, private roads, open space, etc.
13. Provide public access easements (ingress/egress) for all private roads (if any) throughout the site. Public roads to be built to City specifications including road width to be 24 feet wide (12 feet wide lanes & 29 feet b/b curb) with 50' right of way dedication.
14. Any development occurring in the floodplain/floodway, shall require the appropriate permitting through the City, FEMA, and any other federal requirements.

The following comments are regarding the proposed design manual beginning on page 16 of the booklet:

15. Standards should incorporate references to Planning and Zoning Code chapters and sections as baseline, for example, Chapter 1281, Signs, unless a departure is proposed.
16. Page 19, parking lot landscaping, also reference Chapter 1280, Landscaping, requirements for parking areas.
17. Page 20, site signage. Statement would benefit from graphic representation.
18. Page 22, Outdoor storage. Should outdoor storage also be screened from private roadway system, and not just the visible right of way?
19. Page 23, Building materials, vinyl recommended as prohibited building material.
20. Page 24, Building color, see Section 1262.04(g)(3), Color, for code limitations.

The information contained in this report is based on material provided to the City of Springboro as of Wednesday, July 2, 2025 at 12:00 p.m.

Final Approval, Site Plan Review W Tech Blvd Advanced Engineering, new building

City of Springboro
320 West Central Avenue
Springboro, OH 45066
Phone: (937) 748-4343
Fax: (937) 748-0815
www.ci.springboro.oh.us

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS
CITY OF SPRINGBORO PLANNING COMMISSION

☒ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Ferguson Construction

Address: 400 Canal St., Sidney, Ohio 45365

Telephone No. (937) 498-2381

Fax No. ( )

Email Address: cjohnson@ferguson-construction.com

PROPERTY OWNER NAME (IF OTHER): Synergy REIT, LLC and City of Springboro

Address:

Telephone No. ( )

Property Address or General Location: W. Tech Rd.

Parcel Number(s): 0415126010 (old #), 0415126009 (old #), 0415126017 (new)

Zoning District: ADD-1

Proposed Use: Manufacturing and future office

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

(Signature of Applicant and/or Agent)

06/19/2025
(Date)

Caleb Johnson
Printed Name

February 19, 2025

Daklak Do

240 Advanced Drive
Springboro, Ohio 45066

City of Springboro
320 W Central Avenue
Springboro Ohio 45066

Subject: Ferguson Construction Representative

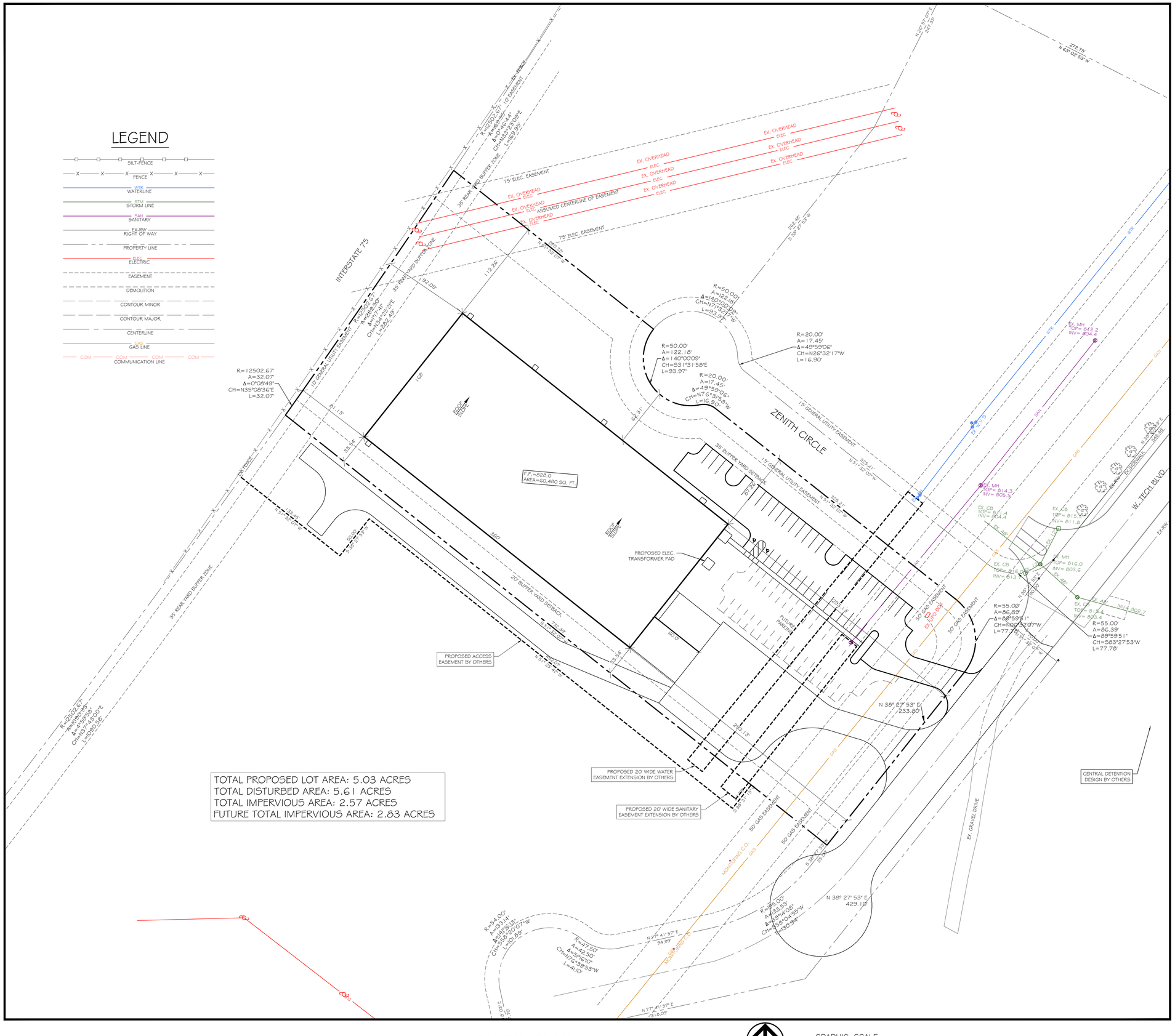
Dear City Planning Commission

I hereby designate Ferguson Construction to present the plan for our new building on West Tech Road, Springboro Ohio.

Sincerely,

Daklak Do

President
Advanced Interior Solutions, Inc.



PAVING PLAN SCALE : 1" = 40' -0"

PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS

GRAPHIC SCALE

0 20 40 80

1 inch =40'

Revisions

#	Date	Description

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NOT FOR CONSTRUCTION

New Building for

ADVANCED ENGINEERING

Warren County

FERGUSON CONSTRUCTION
www.ferguson-construction.com

Sidney, Ohio
400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381

Dayton, Ohio
825 S. Ludlow St.
Dayton, OH 45402
Phone: (937) 274-1173

Columbus, Ohio
3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

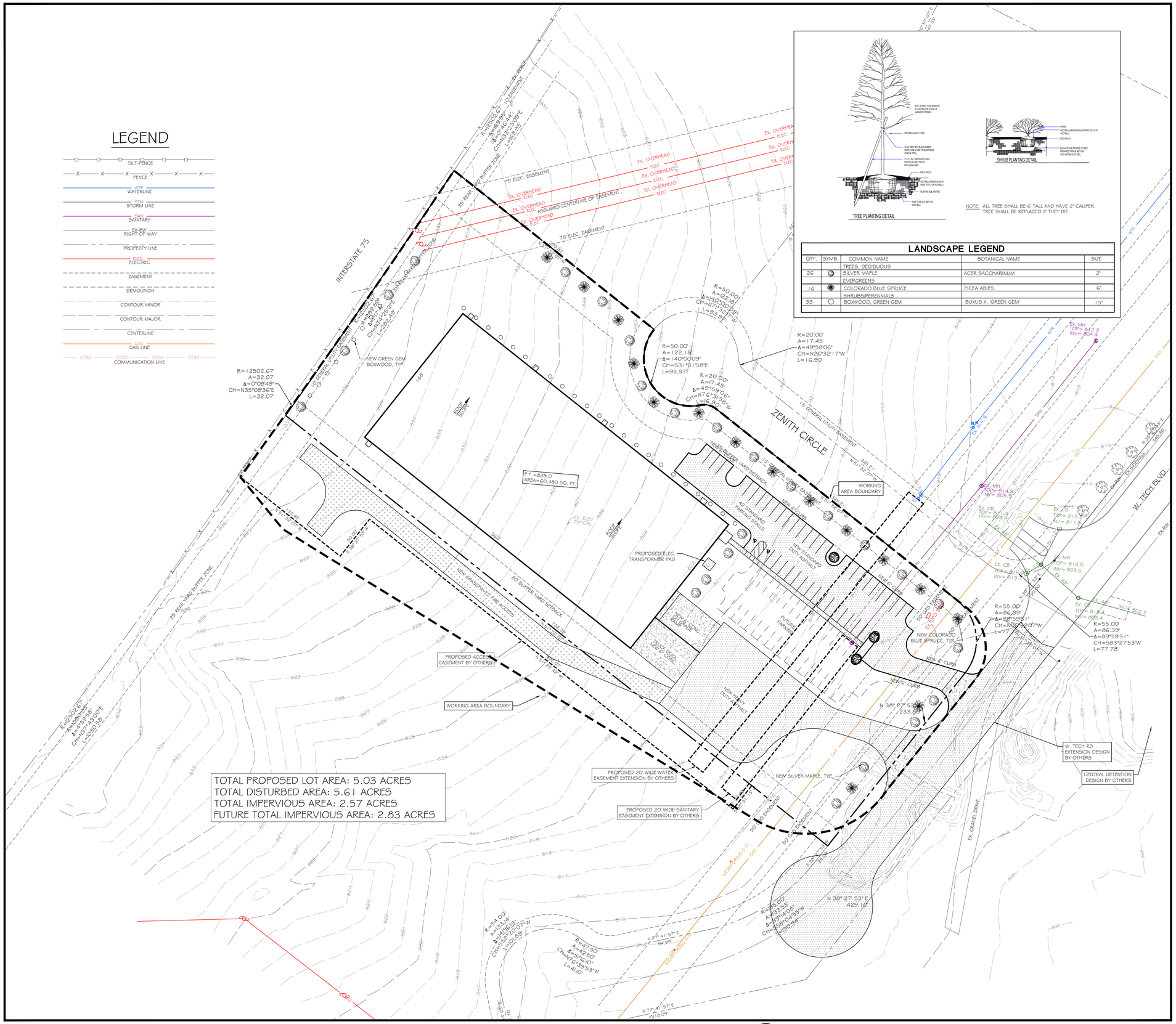
Job Number	E-43030
Date	06/17/25
Drawn By	CTJ
Checked By	JWM

PROPERTY PLAN

C-1.0

LEGEND

- SILT-FENCE
- FENCE
- WATERLINE
- STORM LINE
- SANITARY
- RIGHT OF WAY
- PROPERTY LINE
- ELECTRIC
- EASEMENT
- DEMOLITION
- CONTOUR MINOR
- CONTOUR MAJOR
- CENTERLINE
- GAS LINE
- COMMUNICATION LINE



NOTE: ALL TREE SHALL BE 6' TALL AND HAVE 2" CALIPER. TREE SHALL BE REPLACED IF THEY DIE.

LANDSCAPE LEGEND

QTY.	SYMB.	COMMON NAME	BOTANICAL NAME	SIZE
		TREES, DECIDUOUS		
26		SILVER MAPLE	ACER SACCHARINUM	2"
		EVERGREENS		
16		COLORADO BLUE SPRUCE	PICEA ABIES	6'
		SHRUBS/PERENNIALS		
33		BOXWOOD, GREEN GEM	BUXUS X. 'GREEN GEM'	15"

PAVING PLAN

SCALE : 1" = 40' -0"

PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS

GRAPHIC SCALE

0 20 40 80

1 inch =40'

Revisions

#	Date	Description

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NOT FOR CONSTRUCTION

New Building for

ADVANCED ENGINEERING

Warren County

FERGUSON CONSTRUCTION

www.ferguson-construction.com

Sidney, Ohio
400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381

Dayton, Ohio
825 S. Ludlow St.
Dayton, OH 45402
Phone: (937) 274-1173

Columbus, Ohio
3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number	E-43030
Date	06/17/25
Drawn By	CTJ
Checked By	JWM

PAVING & LANDSCAPING PLAN

C-1.1

GENERAL NOTES

EROSION CONTROL

SITE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGHOUT THE PROJECT. THIS SHALL INCLUDE THE USE OF STRAW BALES, SILT FENCING, #2 STONE AT CONSTRUCTION ENTRANCES AND ANY OTHER METHODS TO PREVENT EROSION OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. ANY DIRT OR DEBRIS TRACKED ONTO THE ROADWAY SHALL BE REMOVED WITHIN 24 HOURS OR LESS.

ALL DETENTION BASINS SHALL BE USED AS SEDIMENTATION BASINS DURING THE CONSTRUCTION PERIOD. THE BASINS MUST BE INSPECTED ONCE A WEEK AND AFTER EVERY RAINFALL OR WHENEVER CITY STAFF DEEMS NECESSARY. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NECESSARY. REMOVE SEDIMENT FROM THE BASIN WHEN APPROXIMATELY HALF OF THE STORAGE VOLUME HAS BEEN FILLED.

NO GRADING OPERATIONS SHALL BEGIN UNTIL THE CITY APPROVES THE EROSION CONTROL PLAN AND AN EPA NPDES PERMIT IS OBTAINED. THE SITE CONTRACTOR MUST IMPLEMENT, INSPECT & MAINTAIN EROSION CONTROL MEASURES UNTIL AREA IS STABILIZED.

SITE PREPARATION AND GRADING

STRIP TOPSOIL FROM BUILDING AND PAVEMENT AREAS, STOCK PILE AND RESPREAD. AFTER THE COMPLETION OF STRIPPING OPERATIONS, THE EXPOSED SUBGRADE AREAS SHALL BE PROOFROLLED WITH SUITABLE HEAVY EQUIPMENT (20-30 TON LOADED DUMP TRUCK). GRADE AND MAKE REQUIRED CUTS AND COMPACTED FILLS FOR NEW ELEVATIONS SHOWN. WASTE EXCESS MATERIAL ON-SITE.

THE CONTRACT MUST BE ADJUSTED FOR ANY COST INCURRED IN MOVING, REROUTING OR REPAIRING BELOW GRADE ITEMS SUCH AS TANKS AND PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS SPECIFICALLY NOTED ON CONTRACT DRAWINGS.

ROCK EXCAVATION AND REMOVAL IS EXCLUDED. ROCK EXCAVATION IS DEFINED AS ROCK WHICH CANNOT BE REMOVED BY ORDINARY MEANS. (TRACK HOE OR RUBBER TIRE BACK HOE)

BUILDING PAD

NEW FLOOR SLAB IS TO BE 6" CONCRETE WITH (1) LAYER OF 42# WWF OR EQUAL ON 6" 304 CUSHION FILL ON COMPACTED SUBGRADE. SUBGRADE IS TO BE COMPACTED TO A MINIMUM OF 100% STANDARD PROCTOR AND APPROVED BY A TESTING LABORATORY.

SITE CONCRETE

ALL OUTSIDE HVAC UNITS SHALL BE ON A 6" CONCRETE PAD.

SITE CONCRETE SHALL BE 6" THICK (4,000 PSI - AIR ENTRAINED) WITH (1) LAYER OF 42# WWF OR EQUAL ON 6" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE. (EXCEPT FOR SIDEWALKS AND DOOR STOOPS)

UTILITIES

EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE DATA. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING THEM IN THE FIELD PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THEM. CONTRACTOR TO CONTACT OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION.

UNDERGROUND WATER LINE / FIRE PROTECTION CONTRACTORS ARE TO DETERMINE THE SIZE OF THE WATERLINE AND TO VERIFY THE LOCATIONS OF FIRE DEPARTMENT CONNECTIONS, FIRE HYDRANTS, CAPACITY REQUIREMENTS, TAP FEES, METER PIT REQUIREMENTS, ETC. WITH THE MONTGOMERY COUNTY FIRE DEPARTMENT.

FURNISH AND INSTALL A COMPLETE SANITARY SEWER LINE, SPRINKLER WATER LINE, DOMESTIC WATER LINE, AND NATURAL GAS SERVICE LINE FROM THE BUILDING TO THE EXISTING MAIN OR PROPERTY LINE AS REQUIRED BY SUBCONTRACTOR DESIGN. INSTALLATION SHALL CONFORM WITH OHIO BUILDING CODES AND/OR MONTGOMERY COUNTY REQUIREMENTS.

COMPACTED GRANULAR BACKFILL SHALL BE INSTALLED ON ALL PIPING UNDER BUILDINGS, PAVEMENT AREAS AND ANY PIPING WITHIN 5 FEET OF EDGE OF PAVEMENT.

ALL SANITARY AND WATERLINE WORK MUST COMPLY WITH CITY ENGINEERS STANDARDS AND INSTALLED PER THE NATIONAL PLUMBING CODE. ENTIRE SEWER LATERAL SHALL BE INSPECTED AND PRESSURE TESTED.

ALL WATER LINES MUST BE TESTED PER CITY STANDARDS.

ALL STORM AND SANITARY PIPING MATERIALS UNDER A BUILDING ARE TO COMPLY WITH TABLE 702.2 OF THE 2024 OHIO PLUMBING CODE. ALL PIPING TO BE INSTALLED PER CODE.

WATERLINES SHALL HAVE 4'-6" MINIMUM COVER. THE WATER SERVICE SHALL BE TYPE 'K' COPPER AND HAVE A BACKFLOW PREVENTOR UNLESS SPECIFIED DIFFERENTLY.

AT CROSSING THE WATERLINE SHALL HAVE A MINIMUM VERTICAL DISTANCE OF 18" FROM STORM AND SANITARY SEWERS. ALSO ONE FULL LENGTH OF WATER MAIN SHALL BE LOCATED SO THE JOINTS ARE AS FAR FROM THE STORM AND SANITARY SEWERS AS POSSIBLE.

ALL WORK MUST COMPLY WITH CITY STANDARDS.

STORM WATER MANAGEMENT

NEW STORM PIPING TO BE ADS N-12 ST IB PIPE OR EQUAL AND INSTALLED PER PIPE MANUFACTURERS SPECIFICATIONS.

FURNISH AND INSTALL A COMPLETE SITE DRAINAGE SYSTEM CONSISTING OF PIPING, ADS END SECTION OR CONCRETE ODOT HW-1.1 HEADWALLS, CATCH BASINS AND MANHOLES AS SHOWN.

DOWNSPOUTS TO BE CONNECTED TO SITE DRAINAGE SYSTEM USING PVC BOOTS, PVC PIPE AND PVC 45° FITTINGS. VERIFY DOWNSPOUT LOCATIONS ON THE BUILDING ELEVATION DRAWINGS.

ASPHALT NOTES

STANDARD ASPHALT PAVEMENT SHALL CONSIST OF 1-1/2" OF ASPHALT SURFACE COURSE TYPE 1, PG 64-22 ON 1-1/2" OF ASPHALT INTERMEDIATE COURSE, TYPE 2, PG 64-22 ON 7" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE.

HEAVY-DUTY ASPHALT PAVEMENT SHALL CONSIST OF 2" OF ASPHALT SURFACE COURSE TYPE 1, PG 64-22 ON 3" OF ASPHALT INTERMEDIATE COURSE, TYPE 2, PG 64-22 ON 9" OF COMPACTED 304 AGGREGATE ON COMPACTED SUBGRADE.

PAVING DESIGN IS BASED UPON A MAXIMUM DEFLECTION OF THE SUBGRADE SOILS OF 1/2" DURING PROOF ROLLING OPERATIONS. ADDITIONAL COSTS FOR REMOVAL OF UNSTABLE SOILS FOUND DURING PROOF ROLLING OPERATIONS MUST BE ADDED TO CONTRACT BY CHANGE ORDER.

CONCRETE PARKING BUMPERS WILL BE INSTALLED WHERE SHOWN ON THE DRAWINGS.

CLEANING OF ASPHALT AND ITEM 407 TACK COAT IS REQUIRED IF MORE THAN (3) WORKING DAYS PASS BETWEEN LAYING OF ASPHALT SURFACE COURSE TYPE 1 AND ASPHALT INTERMEDIATE COURSE TYPE 2. (0.1 GAL. / SQ. YD.).

ASPHALT CONTRACTOR IS RESPONSIBLE FOR SAW-CUTS AND A.C. SEALER WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT.

PARKING LOT STRIPING IS TO RECEIVE ONE COAT OF WHITE PAINT 4" WIDE AS PER LAYOUT ON SITE PLAN INCLUDING DIRECTIONAL ARROWS WHERE SHOWN. (BY ASPHALT CONTRACTOR)

HANDICAP PARKING

PROVIDE SYMBOL OF ACCESSIBILITY PARKING SIGNS AT ALL HANDICAP ACCESS PARKING SPACES PER OBC SECTION 1110 AND ADAAG REQUIREMENTS. UNIVERSAL PARKING SPACE DESIGN USED PER ADAAG A4.6.3 REQUIREMENTS.

SEEDING AND LANDSCAPING

AREAS WITHIN INDICATED SEEDING LIMITS SHALL BE SEEDED. (FERTILIZER, ROCK PICK-UP, MULCH & TACKIFIER, STRAW ETC. REQUIRED.)

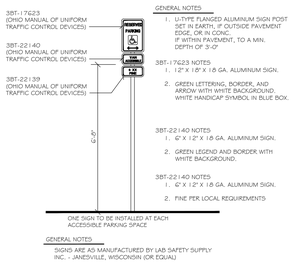
LANDSCAPING SHALL BE BY THE OWNER.

CONTRACTOR SHALL SEED OR MULCH ANY DISTURBED AREAS WITHIN 14 DAYS OF FINAL GRADING.

PARKING LOT LIGHTING

THE ELECTRICIAN SHALL COMPLY WITH ALL REQUIREMENTS OF THE SPRINGBORO ZONING CODE INCLUDING CHAPTER 1273 "EXTERIOR LIGHTING"

- PARKING LOTS AND ASSOCIATED CIRCULATION AREAS MINIMUM ILLUMINATION OF 0.4 FOOT-CANDLES AND MAXIMUM ILLUMINATION OF 6.0 FOOT-CANDLES.
- LIGHT FIXTURES SHALL NOT BE MOUNTED IN EXCESS OF THE MAXIMUM HEIGHT LIMITATION OF THE DISTRICT IN WHICH THEY ARE LOCATED. FOR LIGHTING IN RESIDENTIAL DISTRICTS AND FOR USES ADJACENT TO A RESIDENTIAL DISTRICT OR USE, LIGHT FIXTURES SHALL NOT BE MOUNTED IN EXCESS OF 25 FEET ABOVE GRADE. FIXTURE HEIGHT SHALL BE MEASURED FROM THE GRADE OF THE ILLUMINATED SURFACE TO THE TOP OF THE FIXTURE.
- ALL FIXTURES SHALL BE FULLY SHIELDED.
- NO DIRECT LIGHT SOURCE SHALL BE VISIBLE AT THE PROPERTY LINE (ADJACENT TO RESIDENTIAL) AT GROUND LEVEL.
- MAXIMUM ILLUMINATION AT THE PROPERTY LINE SHALL NOT EXCEED 0.5 FOOT-CANDLES.



GENERAL NOTES

1. U-TYPE FLANGED ALUMINUM SIGN POST SET IN EARTH, IF OUTSIDE PAVEMENT EDGE, OR IN CONC. IF WITHIN PAVEMENT, TO A MIN. DEPTH OF 3'-0"

3BT-17623 NOTES
1. 12" X 18" X 16 GA. ALUMINUM SIGN.
2. GREEN LETTERING, BORDER, AND ARROW WITH WHITE BACKGROUND. WHITE HANDICAP SYMBOL IN BLUE BOX.

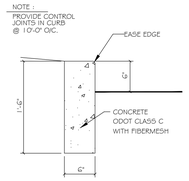
3BT-22140 NOTES
1. 6" X 12" X 16 GA. ALUMINUM SIGN.
2. GREEN LEGEND AND BORDER WITH WHITE BACKGROUND.

3BT-22140 NOTES
1. 6" X 12" X 16 GA. ALUMINUM SIGN.
2. PINE PER LOCAL REQUIREMENTS

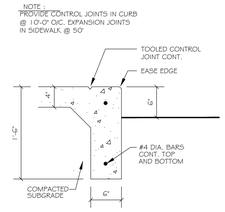
GENERAL NOTES

SIGNS ARE AS MANUFACTURED BY LAB SAFETY SUPPLY INC. - JANESVILLE, WISCONSIN (OR EQUAL)

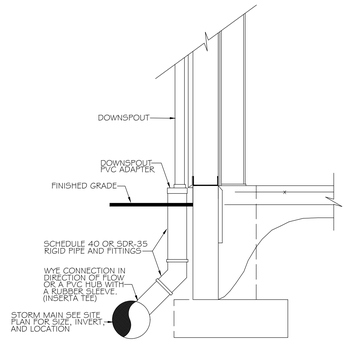
ACCESSIBLE PARKING SIGN DETAIL
N.T.S.



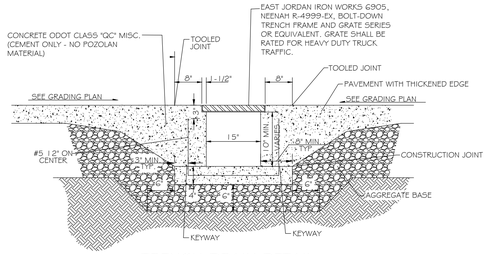
CONCRETE CURB
SCALE: 1" = 1'-0"



CONC. CURB AND WALK
SCALE: 1" = 1'-0"

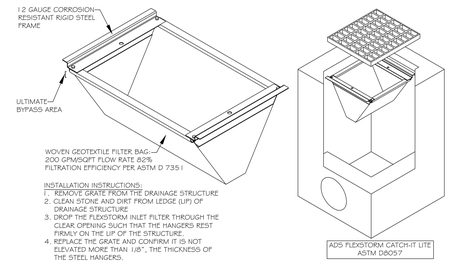


DOWNSPOUT DETAIL



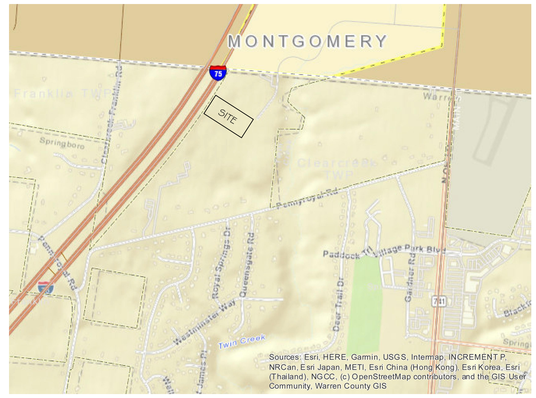
TRENCH DRAIN DETAIL

CONCRETE PAVEMENT THICKENED EDGE NOTES:
1) CONCRETE PAVEMENT SHALL HAVE ISOLATION JOINTS AT THICKENED EDGE WHERE PAVEMENT MEETS TRENCH DRAIN.
2) THICKENED EDGES SHALL CONSISTS OF A MINIMUM INCREASE IN THE THICKNESS OF THE CONCRETE PAVEMENT ALONG A MINIMUM OF 12" OF THE PAVEMENT. THE 2" THICKNESS INCREASE SHALL TRANSITION OVER A MINIMUM OF 12"-24".

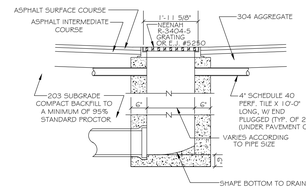


INSTALLATION INSTRUCTIONS:
1. REMOVE GRATE FROM THE DRAINAGE STRUCTURE
2. CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
3. DROP THE FLEXSTORM INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE.
4. REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8", THE THICKNESS OF THE STEEL HANGERS.

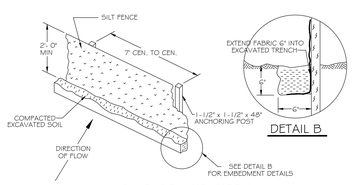
FLEXSTORM DETAIL



VICINITY MAP SCALE : N.T.S.



CATCH BASIN DETAIL
FOR ASPHALT AREAS



SILT FENCE DETAIL
NOT TO SCALE

TRENCH DETAIL NOTES

A. GRANULAR BEDDING SHALL BE CRUSHED STONE OR GRAVEL, ODOT 603 TYPE 3 (#57 OR #67), OR OTHER APPROVED EQUIVALENT.

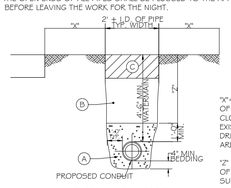
B. ALL TRENCHES WHERE "X" IS GREATER THAN "2" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREA OR WALKS CAN BE COMPACTED EXISTING NATIVE MATERIAL IN 12" MAXIMUM LIFTS OR AS APPROVED BY THE CITY. NO MATERIAL SHALL BE USED FOR BACK FILLING THAT CONTAINS STONE, ROCKS, ETC., GREATER THAN 4" DIAMETER.

ALL TRENCHES WHERE "Z" IS GREATER THAN "X" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREA OR WALKS SHALL BE COMPACTED WITH GRANULAR BACKFILL MATERIAL ODOT 603 TYPE 1 OR TYPE 2, IN 6" MAXIMUM LIFTS OR LOW STRENGTH MORTAR BACKFILL ODOT ITEM 613 TYPE 1 UNTIL THE TOP OF THE COMPACTED GRANULAR BACKFILL OR LOW STRENGTH MORTAR BACKFILL IS HIGH ENOUGH WHERE "X" IS GREATER THAN "2".

C. DENSITY TEST ON GRANULAR BACKFILL OF 95% OF ASTM D698 STANDARD PROCTOR. CURVE MAY BE REQUIRED TO BE PERFORMED BY A COMMERCIAL TESTING LAB SATISFACTORY TO THE MUNICIPALITY.

D. OFF-PAVEMENT AREAS SHALL BE PROVIDED WITH A MINIMUM OF 6" OF TOPSOIL OVER THE COMPACTED MATERIAL AND THEN SEEDED AND MULCHED PER ODOT ITEM 659. IN-PAVEMENT AREAS SHALL FOLLOW TYPICAL PAVEMENT RESTORATION DETAILS.

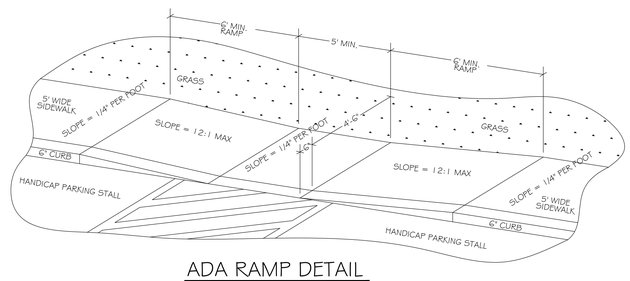
E. THE OPEN ENDS OF ALL PIPES SHALL BE PLUGGED TO THE APPROVAL OF THE MUNICIPALITY BEFORE LEAVING THE WORK FOR THE NIGHT.



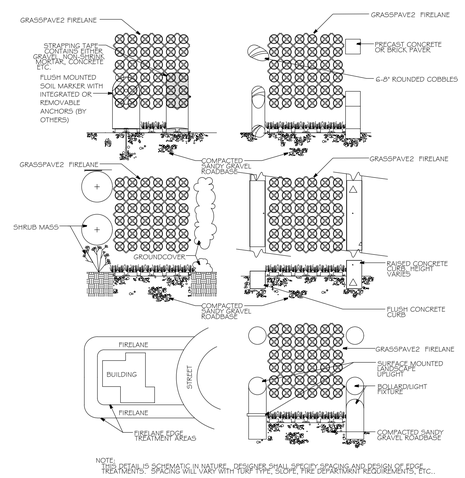
"X" = DISTANCE FROM EDGE OF TRENCH TO EDGE OF CLOSEST PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREA OR WALKS.

"Z" = DISTANCE FROM TOP OF BEDDING TO FINISH SURFACE.

TRENCH DETAIL



ADA RAMP DETAIL



NOTE:
THIS DETAIL IS SCHEMATIC IN NATURE. DESIGNER SHALL SPECIFY SPACING AND DESIGN OF EDGE TREATMENTS. SPACING WILL VARY WITH TURF TYPE, SLOPE, FIRE DEPARTMENT REQUIREMENTS, ETC..

GRASSPAVE2 FIRE LANE DETAILS
NOT TO SCALE

Revisions

#	Date	Description

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New Building for
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Warren County

FERGUSON CONSTRUCTION
www.ferguson-construction.com

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Columbus, Ohio
3595 Johnny Appleseed Ct.
Columbus, OH 43231
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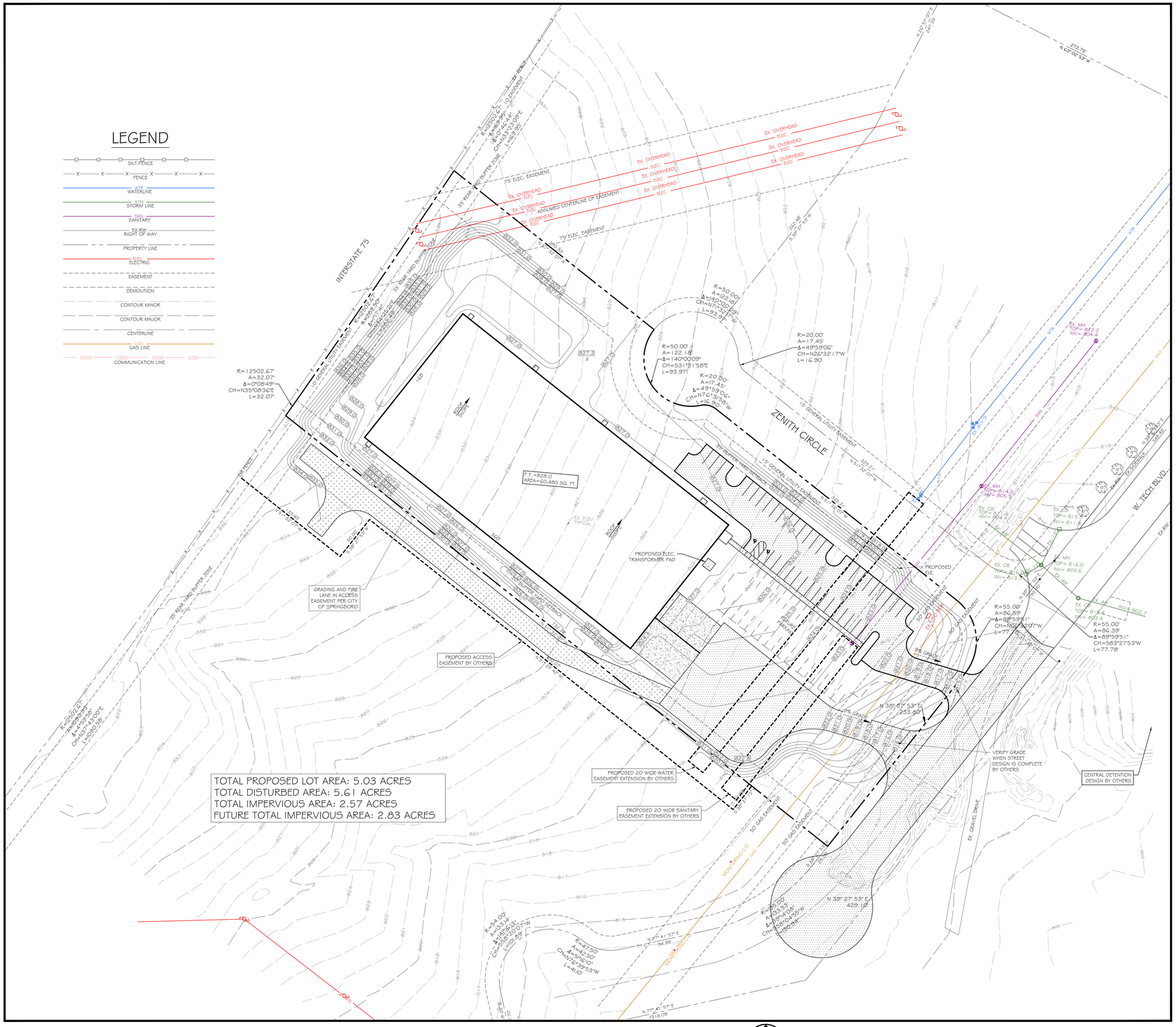
Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number	E-43030
Date	06/17/25
Drawn By	CTJ
Checked By	JWM

SITE NOTES AND DETAILS

C-2.1



GRADING PLAN SCALE : 1" = 40' -0"

PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS

GRAPHIC SCALE

0 20 40 80

1 inch =40'

Revisions

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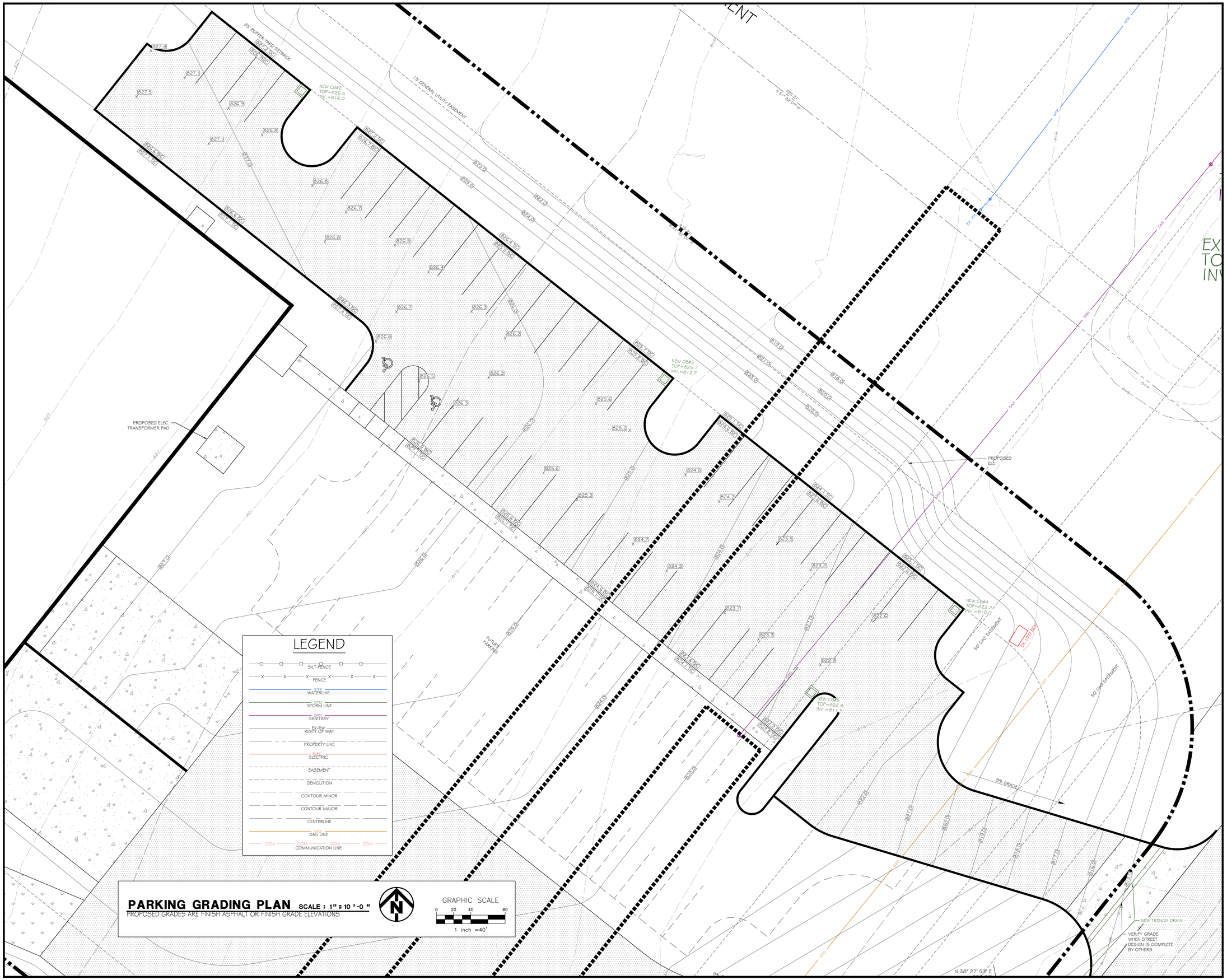
Date	05/13/25
Drawn By	CTJ
Checked By	JWM

GRADING PLAN

C-3.1



PARKING GRADING PLAN SCALE : 1" = 10 '-0 "

PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS

Revisions

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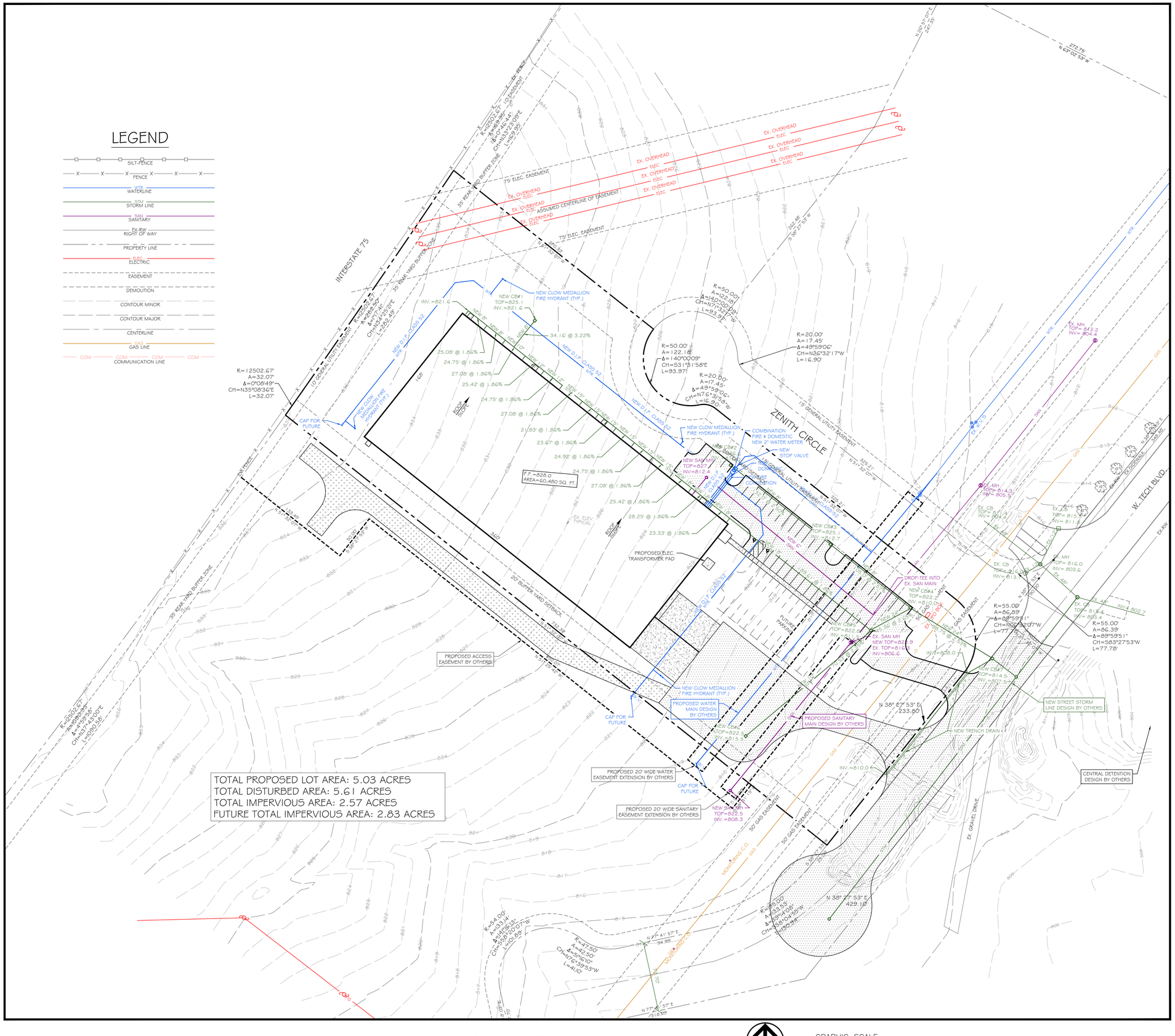
PARKING LOT GRADING PLAN

C-3.2



UTILITY PLAN SCALE : 1" = 40' -0"

PROPOSED GRADES ARE FINISH ASPHALT OR FINISH GRADE ELEVATIONS

Revisions

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Checked By	JWM

UTILITY PLAN

C-4.1

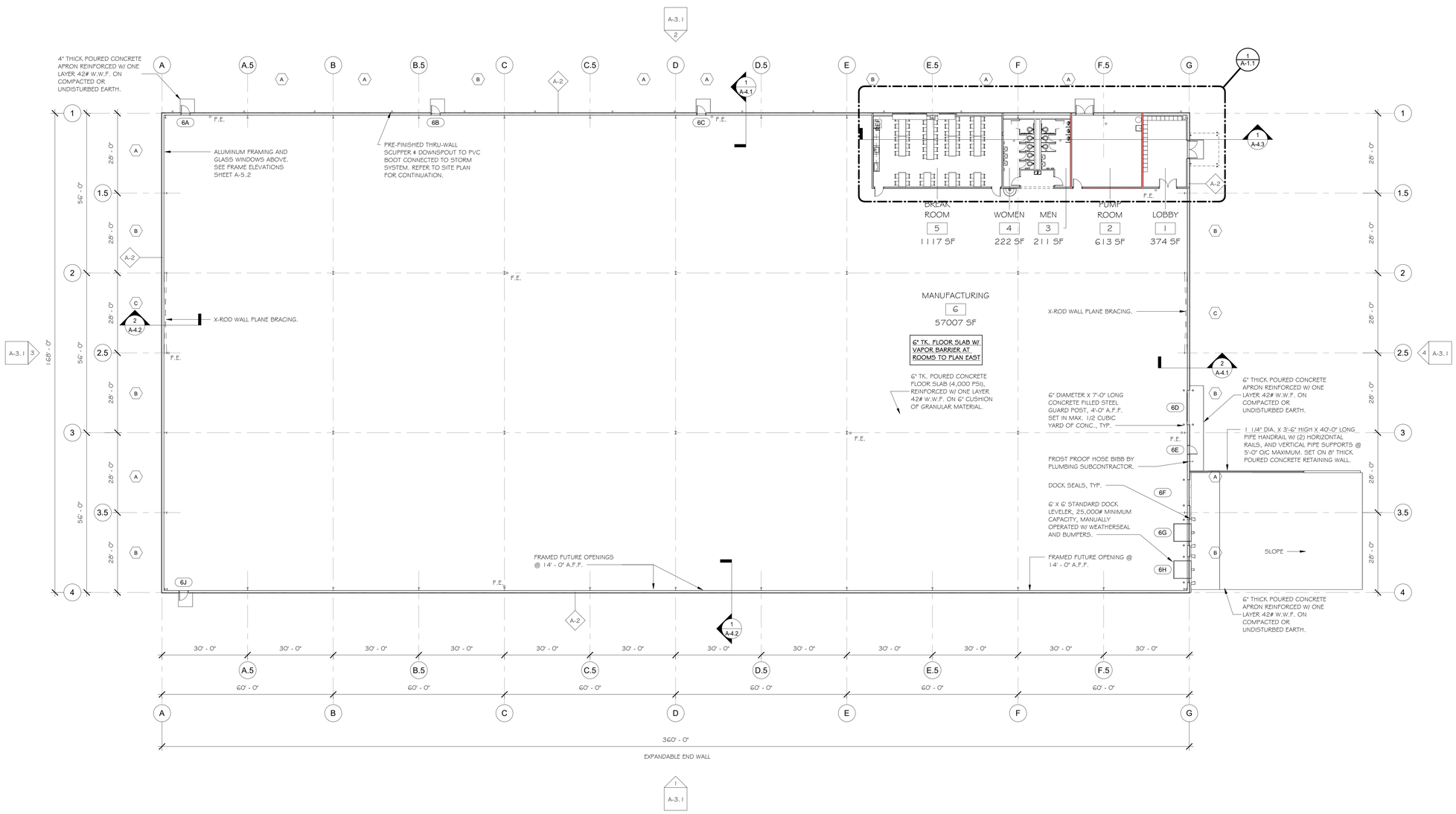
WALL LEGEND	
WALL TAG	WALL DESCRIPTION
A-2	2" TK. R=17.9, 42# LIGHT MESA INSULATED MTL PANEL, 26 GA. FACES, 8" GIRTS, TO UNDERSIDE OF ROOF
C-12	12" THICK CONCRETE BLOCK WALL W/ MASONRY WALL REINFORCING EVERY THIRD COURSE, FOAM INSULATION, BOND BEAM, #5 VERTICAL REINFORCING GROUTED SOLID @ 4'-0" O/C AND MASONRY CONTROL JOINTS @ 24'-0" O/C MAXIMUM.
D-4	3 5/8" MTL STD, 25 GA., 16" OC; 5/8" GWB TWO SIDES, FIBERGLASS INSULATION BETWEEN STUDS
D-6	6" MTL STD, 20 GA., 16" OC; 5/8" GWB BOTH SIDES, FIBERGLASS INSULATION BETWEEN STUDS
D-7	6" MTL STD, 20 GA., 16" OC; 5/8" GWB BOTH SIDES, FIBERGLASS INSULATION BETWEEN STUDS, 1 HR-RATED PER UL DESIGN No. U419
E-4	3 5/8" MTL STD, 25 GA., 16" OC; 5/8" GWB ONE SIDE, FIBERGLASS INSULATION BETWEEN STUDS
E-6	6" MTL STD, 20 GA., 16" OC; 5/8" GWB ONE SIDE, FIBERGLASS INSULATION BETWEEN STUDS

- STUD WALLS TO DECK

- FIRE RATED STUD WALLS

INDEX OF DRAWINGS		
SHEET #	SHEET ISSUE DATE	SHEET NAME
C-1.1	06/17/25	PAVING & LANDSCAPING PLAN
C-2.1	06/17/25	SITE NOTES AND DETAILS
C-3.1	06/17/25	GRADING PLAN
C-4.1	06/17/25	UTILITY PLAN
A-1.0	06/17/25	OVERALL PLAN
A-1.1	06/17/25	ENLARGED PLAN
A-2.1	06/17/25	ROOF PLAN
A-3.1	06/17/25	ELEVATIONS
A-3.2	06/17/25	COLORED ELEVATIONS
A-4.1	06/17/25	WALL SECTIONS
A-4.2	06/17/25	WALL SECTIONS
A-4.3	06/17/25	WALL SECTIONS
A-4.4	06/17/25	WINDOW SECTION DETAILS
A-5.1	06/17/25	DOOR AND FINISH SCHEDULE & DETAILS
A-5.2	06/17/25	WINDOW ELEVATIONS

ROOM/OCCUPANT LOAD SCHEDULE				
ROOM #	ROOM NAME	NET AREA	OCC. GROUP	OCC. LOAD
1	LOBBY	374 SF	A	25
2	PUMP ROOM	613 SF	MECH	3
3	MEN	211 SF	UNOCCUPIED	0
4	WOMEN	222 SF	UNOCCUPIED	0
5	BREAK ROOM	1117 SF	A	75
6	MANUFACTURING	57007 SF	F-1	571
TOTAL: 6		59543 SF		674



1 OVERALL FLOOR PLAN
1/16" = 1'-0"

PLUMBING NOTES

WATER LINES INSIDE OF BLDG. TO BE TYPE "L" HARD COPPER.

WATER LINES OUTSIDE OF BLDG. TO BE TYPE "K" SOFT COPPER.

SANITARY PIPING TO BE PVC PLASTIC.

GAS LINES TO BE BLACK STEEL SCHEDULE 40.

INSULATE ALL ABOVE GROUND HOT AND COLD WATER LINES.

WATER CLOSETS TO BE WALL, FLUSH VALVE.

LAVATORIES TO BE WALL HUNG.

ELECTRIC WATER COOLERS TO BE WALL HUNG, HANDICAP TYPE.

MOP BASIN TO BE 24" X 24" FIBERGLASS, FLOOR MOUNTED.

FLOOR DRAINS TO BE 5" DIAMETER POLISHED BRASS.

HOT WATER HEATER BY PLUMBING SUBCONTRACTOR.

PROCESS PIPING AND/OR DRAINS FOR OWNERS EQUIPMENT NOT INCLUDED.

DOCK DRAINS BY SITE SUBCONTRACTOR.

WASH FOUNTAINS TO BE BRADLEY (OR EQUAL) 54" DIAMETER SEMI-CIRCULAR DEEP BOWL PRECAST TERRAZZO W/ FOOT CONTROL COMPLETE W/ LIQUID SOAP DISPENSER.

ALL SINK FAUCETS ARE TO BE WRIST BLADE TYPE FOR HANDICAPPED USE.

WATER CLOSETS SHALL BE EQUIPPED WITH SEATS OF SMOOTH, NON-ABSORBANT MATERIAL OF THE HINGED, OPEN-FRONT TYPE PER O.P.C. 420.3.

THE PLUMBING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR STAMPING AND SEALING ALL PLUMBING DRAWINGS REQUIRED FOR OBTAINING STATE PERMIT, DESIGN COMPLYING W/ 2024 OBC & REFERENCED NFPA & STANDARDS.

SPRINKLER NOTES

INSTALL A COMPLETE AUTOMATIC EARLY SUPPRESSION FAST RESPONSE (ESFR) SPRINKLER SYSTEM IN THE NEW BUILDING. PROVIDE A PUMP SYSTEM IF REQUIRED.

AUTOMATIC SPRINKLER COVERAGE SHALL BE PROVIDED UNDER OPEN SECTIONAL OVERHEAD DOORS OR OTHER OBSTRUCTIONS PER SECTIONS 5-5.5.2 AND 5-6.5 OF THE NFPA 13 LISTED IN OBC CHAPTER 35.

THE ENTIRE INSTALLATION SHALL BE MADE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE GOVERNING AUTHORITIES HAVING JURISDICTION IN THIS TERRITORY.

WHERE FORKLIFTS OPERATE NEAR SPRINKLER RISERS, PROVIDE HIGHWAY TYPE GUARDRAIL W/ FLARED ENDS MOUNTED ON W6X9 WIDEFLANGE POSTS W/ 1/2" TK. X 10" X 10" BASE PLATE ANCHORED TO CONCRETE FLOOR W/ (4) 3/4" DIA. EXPANSION ANCHORS. TOP OF GUARDRAIL TO BE 2'-6" A.F.F. GUARDRAIL TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SPRINKLER SUBCONTRACTOR TO COORDINATE W/ G.C. EXACT LOCATIONS.

THE SPRINKLER SUBCONTRACTOR SHALL BE RESPONSIBLE FOR STAMPING AND SEALING ALL SPRINKLER DRAWINGS REQUIRED FOR OBTAINING STATE PERMIT, DESIGN COMPLYING W/ 2024 OBC & REFERENCED NFPA & STANDARDS.

ELECTRICAL NOTES

LIGHTING

MANUFACTURING AREA TO RECEIVE 50 FOOT CANDLES OF SUSPENDED 2 x 4 LED HIGH BAY FIXTURES.

PROVIDE EXIT AND EMERGENCY LIGHTS AS REQUIRED.

MISC.
SEE DOOR SCHEDULE FOR HOOK-UP OF ELECTRIC DOOR OPERATORS.

PROVIDE WALL PACK EXTERIOR SECURITY LIGHTING W/ PHOTOCELL AS REQUIRED.

EQUIPMENT
PROVIDE HOOK-UP OF ALL HVAC EQUIPMENT. VERIFY REQUIREMENTS W/ HVAC SUBCONTRACTOR.

WIRING/RECEPTACLES
INSTALL ALL SWITCHES, RECEPTACLES, ETC., FOR A COMPLETE INSTALLATION.

PROVIDE CONVENIENCE QUAD RECEPTACLES AS REQUIRED BY CODE, AND AT EVERY COLUMN.

ELECTRICAL HOOK-UP OF OWNER MACHINERY IS NOT INCLUDED.

FIRE
PROVIDE FIRE ALARM SYSTEM AS REQUIRED PER CODE.

WHERE FORKLIFTS OPERATE NEAR ELECTRICAL PANELS, PROVIDE HIGHWAY TYPE GUARDRAIL W/ FLARED ENDS MOUNTED ON W6X9 WIDEFLANGE POSTS W/ 1/2" TK. X 10" X 10" BASE PLATE ANCHORED TO CONCRETE FLOOR W/ (4) 3/4" DIA. EXPANSION ANCHORS. TOP OF GUARDRAIL TO BE 2'-6" A.F.F. GUARDRAIL TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. ELECTRICAL SUBCONTRACTOR TO COORDINATE W/ G.C. EXACT LOCATIONS.

SERVICE
ELECTRICAL SERVICE TO BE 3000 AMP 480 VOLT THREE PHASE.

GENERAL REQUIREMENTS FOR TELEPHONE SERVICE TO THE BUILDING SUCH AS UNDERGROUND CONDUIT FROM THE ROAD RIGHT OF WAY TO THE TELEPHONE EQUIPMENT ROOM, PLYWOOD BACKBOARD, DEDICATED OUTLET, GROUND CONNECTION, ETC., TO BE INCLUDED BY ELECTRICAL SUBCONTRACTOR. VERIFY EXACT REQUIREMENTS W/ LOCAL TELEPHONE COMPANY. ALL COMMUNICATION WIRING TO BE BY OTHERS.

PROVIDE PROPER CLEARANCES BETWEEN PAD MOUNTED TRANSFORMERS AND BUILDING WALLS. FIRE WALLS OR BARRIER WALLS ARE NOT TO BE USED UNLESS APPROVED BY THE OWNER.

GROUNDING
PROVIDE METAL BUILDING GROUNDING AS REQUIRED.

ALL GROUNDING ELECTRODES PER N.E.C. 250.52 - METAL UNDERGROUND WATER PIPE, METAL FRAME OF THE BUILDING OR STRUCTURE, CONCRETE ENCASED ELECTRODE, GROUND RING, ROD AND PIPE ELECTRODES, AND / OR PLATE ELECTRODES THAT ARE PRESENT AT EACH BUILDING OR STRUCTURE SERVED SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM. WHERE NONE OF THESE GROUNDING ELECTRODES EXIST, ONE OR MORE OF THE GROUNDING ELECTRODES SPECIFIED IN N.E.C. 250.52 (A) (4) THROUGH (A) (7) SHALL BE INSTALLED AND USED.

REFERENCE PROVISIONS REQUIRED DURING THE CONSTRUCTION OF THE FOUNDATION TO ALLOW THE REINFORCING (CONCRETE ENCASED ELECTRODE) TO BE BONDED TO THE REMAINDER OF THE GROUNDING ELECTRODE SYSTEM.

GENERAL
THE ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR STAMPING AND SEALING ALL ELECTRICAL DRAWINGS REQUIRED FOR OBTAINING STATE PERMIT, DESIGN COMPLYING W/ 2024 OBC & REFERENCED NEC & STANDARDS.

HVAC NOTES

MANUFACTURING AREA TO BE HEATED. HEATING SYSTEM TO MAINTAIN 65° F INSIDE TEMPERATURE W/ 0° OUTSIDE TEMPERATURE. PROVIDE FRESH AIR AS REQUIRED.

PROVIDE SMOKE DETECTORS IN HVAC EQUIPMENT AS REQUIRED.

PROVIDE TOILET ROOM EXHAUST BY HVAC SUBCONTRACTOR. ELECTRIC HOOK-UP BY ELECTRICAL SUBCONTRACTOR.

WALL MOUNTED LOUVERS AND WALL MOUNTED EXHAUST FANS IN METAL WALL PANEL SYSTEMS TO HAVE NO FLANGES.

WHERE ROOFTOP MOUNTED COMBINATION HEATING / COOLING UNITS ARE INSTALLED ON A PRE-ENGINEERED METAL ROOF, PIPE THE CONDENSATE WATER DIRECTLY TO THE GUTTER USING PVC PIPE, BY THE HVAC SUBCONTRACTOR.

PROVIDE BUILDING VENTILATION IN MANUFACTURING AREA PER CODE. SPECIAL VENTILATION OR HUMIDITY REQUIREMENTS FOR OWNERS PROCESS EQUIPMENT, IF ANY, HAVE NOT BEEN INCLUDED AT THIS TIME.

INSTALL CONDENSATE DRIP PANS UNDER ALL ROOF MOUNTED EXHAUST FANS.

THE MECHANICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR STAMPING AND SEALING ALL MECHANICAL DRAWINGS REQUIRED FOR OBTAINING STATE PERMIT, DESIGN COMPLYING W/ 2024 OMC & REFERENCED STANDARDS.

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Drawn By	TRF
Checked By	JWM

OVERALL PLAN

A-1.0

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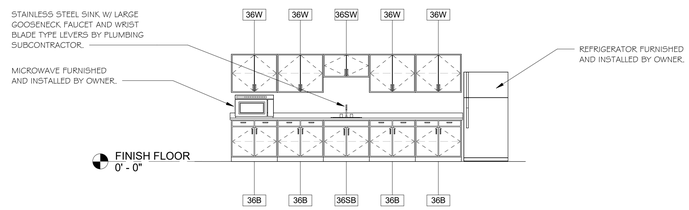
CABINET NOTE
CABINETS TO HAVE PLASTIC LAMINATE COVERED EXTERIOR FACES AND EDGES OF DOORS, DRAWERS, OPEN SHELVING W/ BACKS, EXPOSED END PANELS AND SUPPORT BRACKETS. INTERIOR OF CABINETS AND DRAWERS TO HAVE PRE-MELAMINE FACINGS. COLORS TO BE SELECTED FROM MANUFACTURER'S STANDARDS. HINGES TO BE CONCEALED TYPE WITH 4" WIRE DOOR AND DRAWER PULLS. FINISH TO BE SELECTED FROM MANUFACTURER'S STANDARDS.



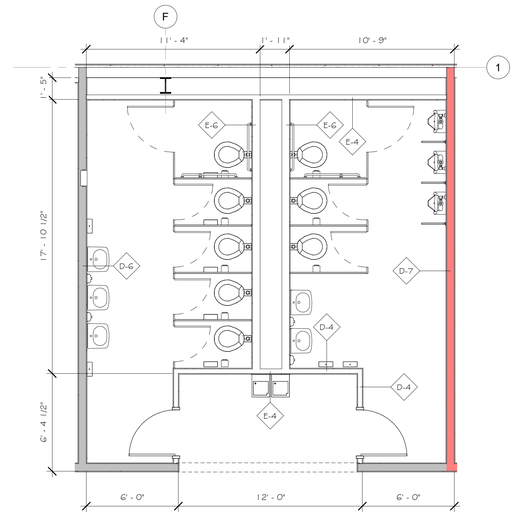
3 BREAK ROOM CASEWORK
1/4" = 1'-0"

CASEWORK NOTES

1. ALL CASEWORK TO BE PLASTIC LAMINATE COVERED, WITH CONTINUOUS SHELF IN BOTH WALL AND BASE CABINETS.

2. COUNTER TOPS TO BE PLASTIC LAMINATE ON DBL. LAYER OF 3/4" TK. HIGH DENSITY PARTICLE BOARD WITH 4" HIGH BACKSPLASH.

3. ALL SINKS TO BE ADA ACCESSIBLE, SIDE APPROACH.

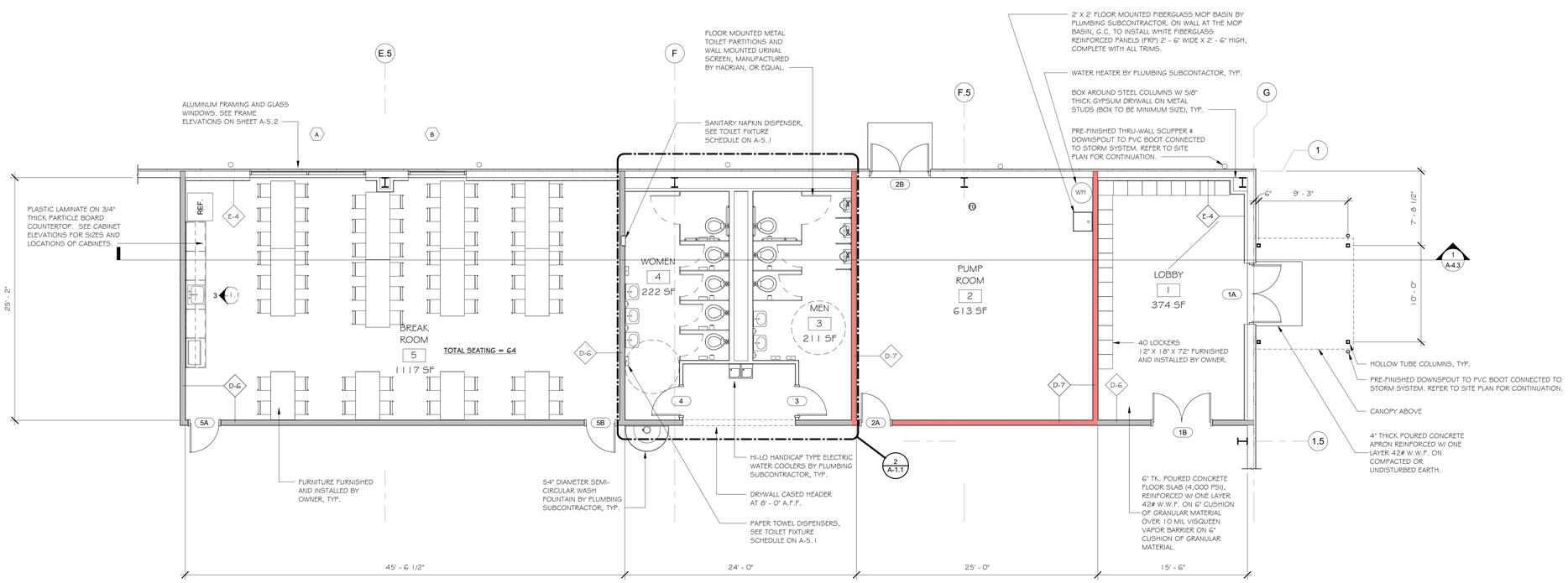


2 RESTROOM DIMENSION PLAN
1/4" = 1'-0"

ROOM/OCCUPANT LOAD SCHEDULE				
ROOM #	ROOM NAME	NET AREA	OCC. GROUP	OCC. LOAD
1	LOBBY	374 SF	A	25
2	PUMP ROOM	613 SF	MECH	3
3	MEN	211 SF	UNOCCUPIED	0
4	WOMEN	222 SF	UNOCCUPIED	0
5	BREAK ROOM	1117 SF	A	75
6	MANUFACTURING	57007 SF	F-1	571
TOTAL: 6		59543 SF		674

WALL LEGEND	
WALL TAG	WALL DESCRIPTION
A-2	2" TK. R=17.9, 42" LIGHT MESA INSULATED MTL PANEL, 26 GA. FACES, 8" GIRTS, TO UNDERSIDE OF ROOF
C-12	12" THICK CONCRETE BLOCK WALL W/ MASONRY WALL REINFORCING EVERY THIRD COURSE, FOAM INSULATION, BOND BEAM, #5 VERTICAL REINFORCING GROUTED SOLID @ 4'-0" O/C AND MASONRY CONTROL JOINTS @ 24'-0" O/C MAXIMUM.
D-4	3 5/8" MTL STD, 25 GA., 16" OC; 5/8" GWB TWO SIDES, FIBERGLASS INSULATION BETWEEN STUDS
D-6	6" MTL STD, 20 GA., 16" OC; 5/8" GWB BOTH SIDES, FIBERGLASS INSULATION BETWEEN STUDS
D-7	6" MTL STD, 20 GA., 16" OC; 5/8" GWB BOTH SIDES, FIBERGLASS INSULATION BETWEEN STUDS, 1 HR-RATED PER UL DESIGN No. U419
E-4	3 5/8" MTL STD, 25 GA., 16" OC; 5/8" GWB ONE SIDE, FIBERGLASS INSULATION BETWEEN STUDS
E-6	6" MTL STD, 20 GA., 16" OC; 5/8" GWB ONE SIDE, FIBERGLASS INSULATION BETWEEN STUDS

- STUD WALLS TO DECK
- FIRE RATED STUD WALLS



1 ENLARGED BREAK AREA PLAN
3/16" = 1'-0"

Revisions

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Drawn By	TRF
Checked By	JWM

ENLARGED PLAN

A-1.1

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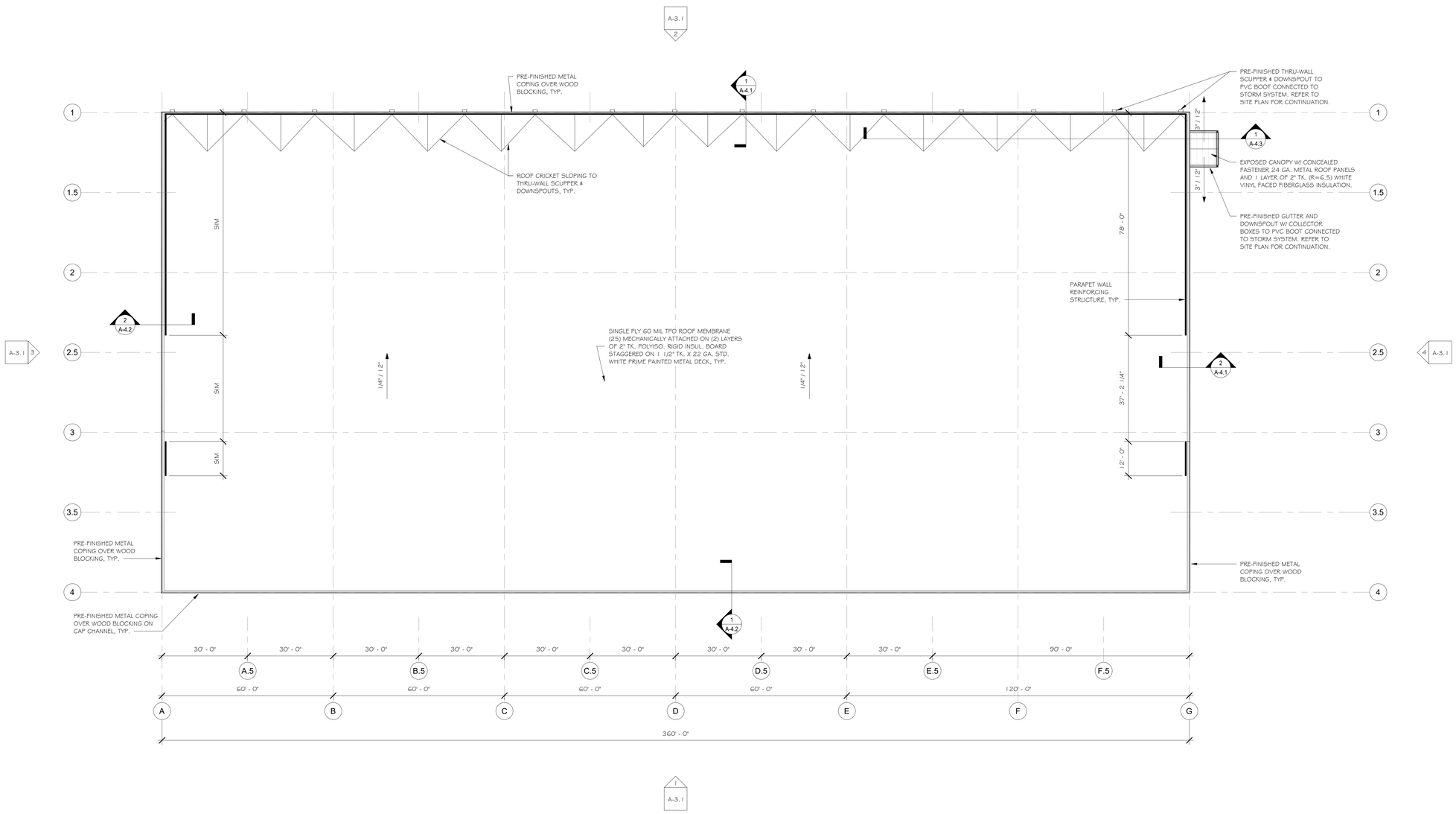

1 ROOF PLAN
1/16" = 1'-0"

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ROOF PLAN

A-2.1

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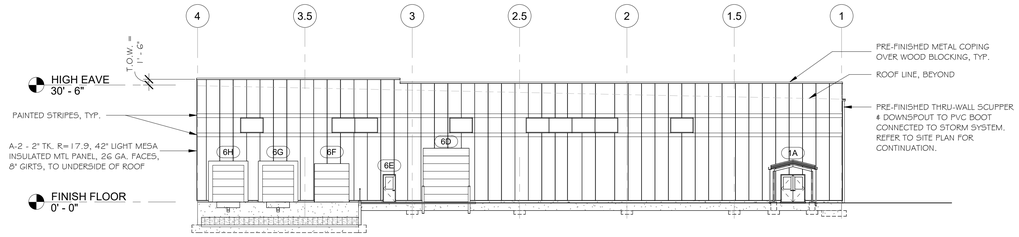
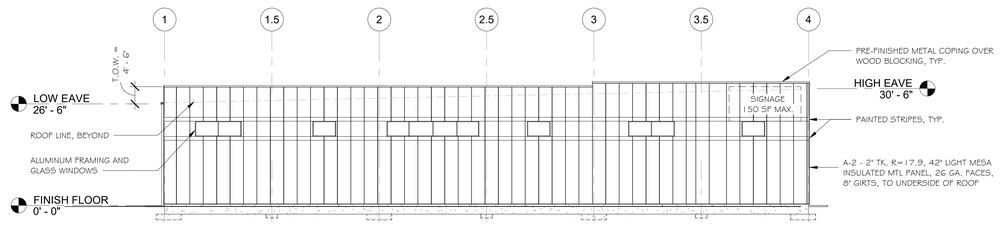
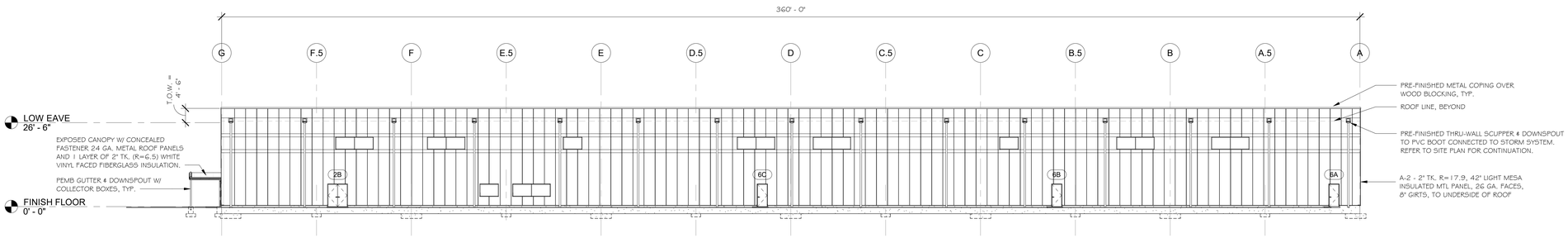


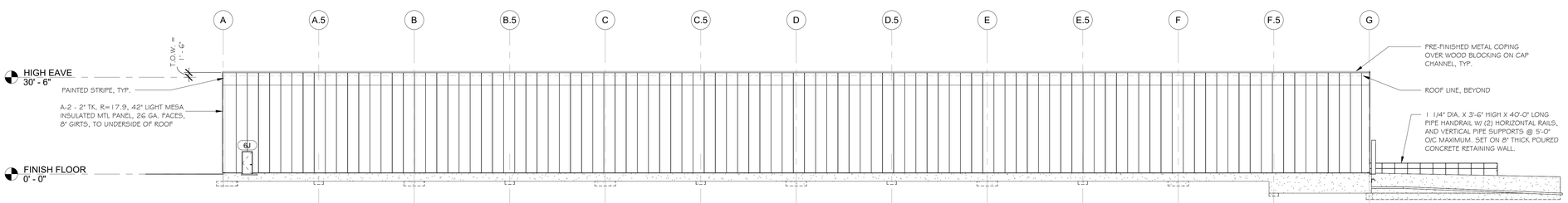
4 EAST ELEVATION
1/16" = 1'-0"



3 WEST ELEVATION
1/16" = 1'-0"



2 NORTH ELEVATION
1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"

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Checked By	JWM

ELEVATIONS

A-3.1

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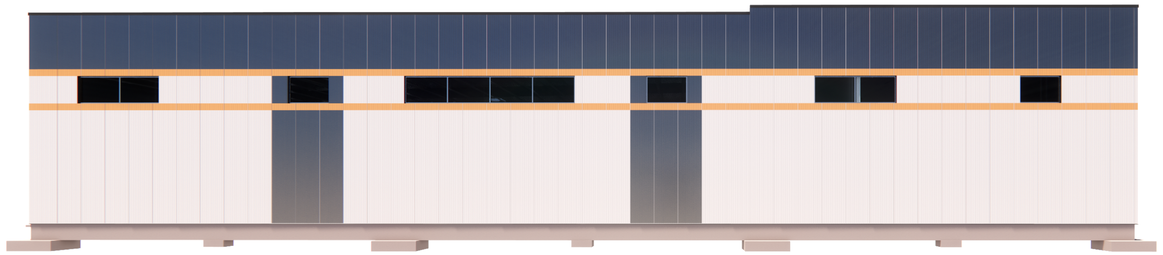
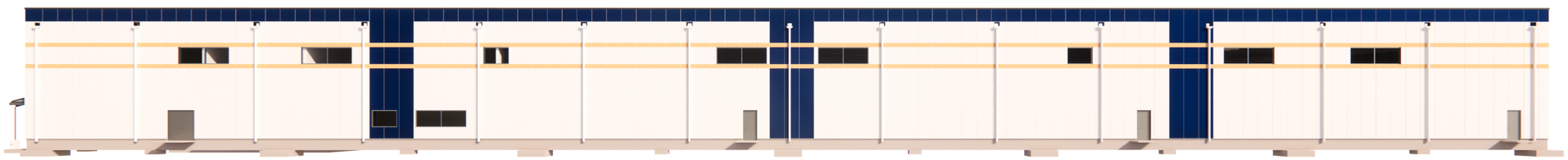
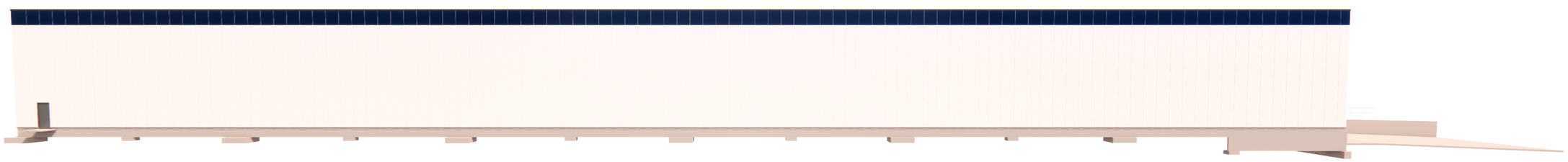


WEST ELEVATION (IMWP)
N.T.S.

EAST ELEVATION (IMWP)
N.T.S.



NORTH ELEVATION (IMWP)
N.T.S.



SOUTH ELEVATION (IMWP)
N.T.S.

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COLORED ELEVATIONS

A-3.2

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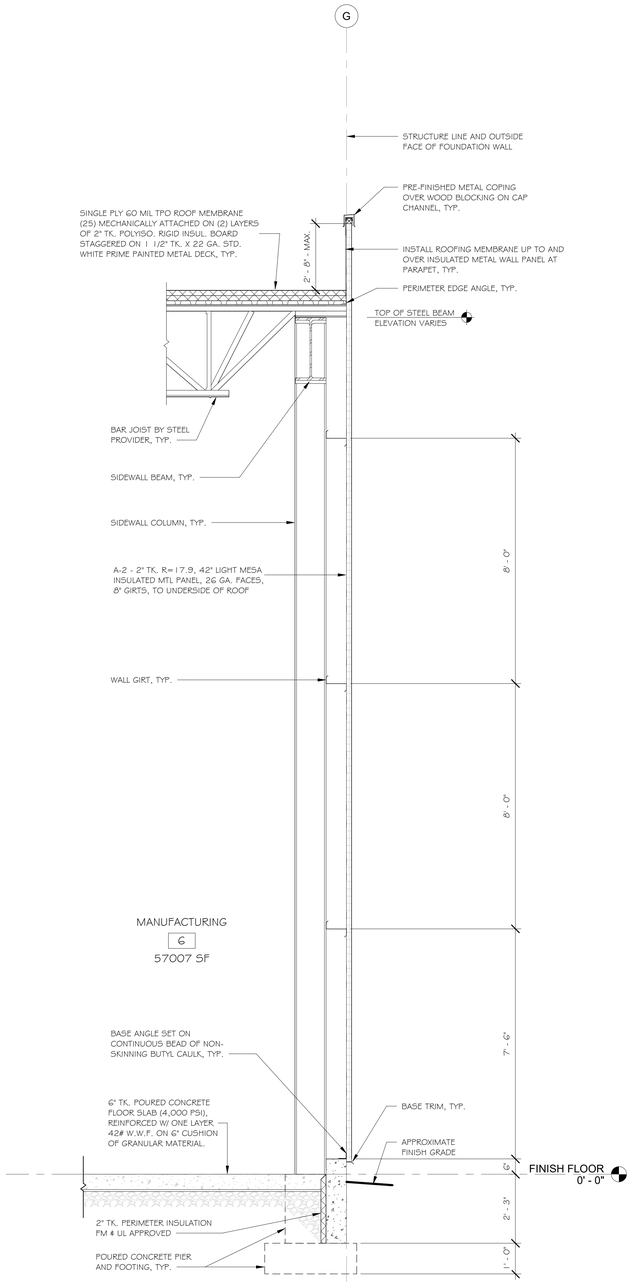
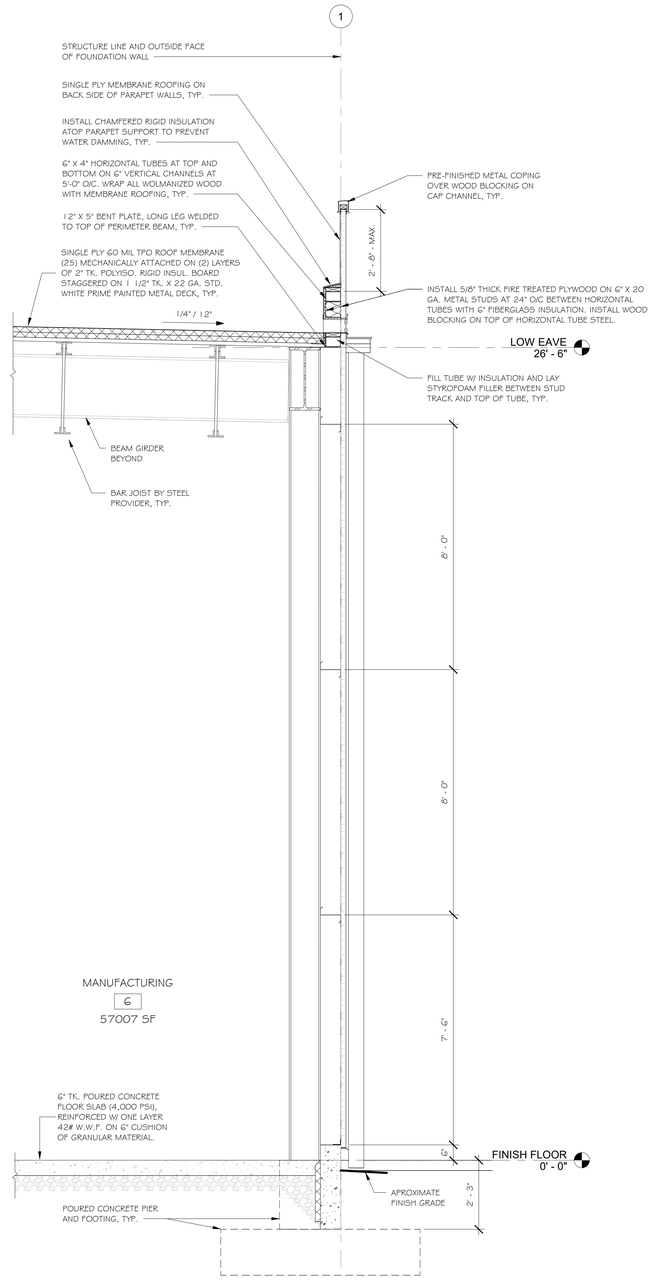


2 EAST WALL SECTION
1/2" = 1'-0"



1 NORTH WALL SECTION
1/2" = 1'-0"

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WALL SECTIONS

A-4.1

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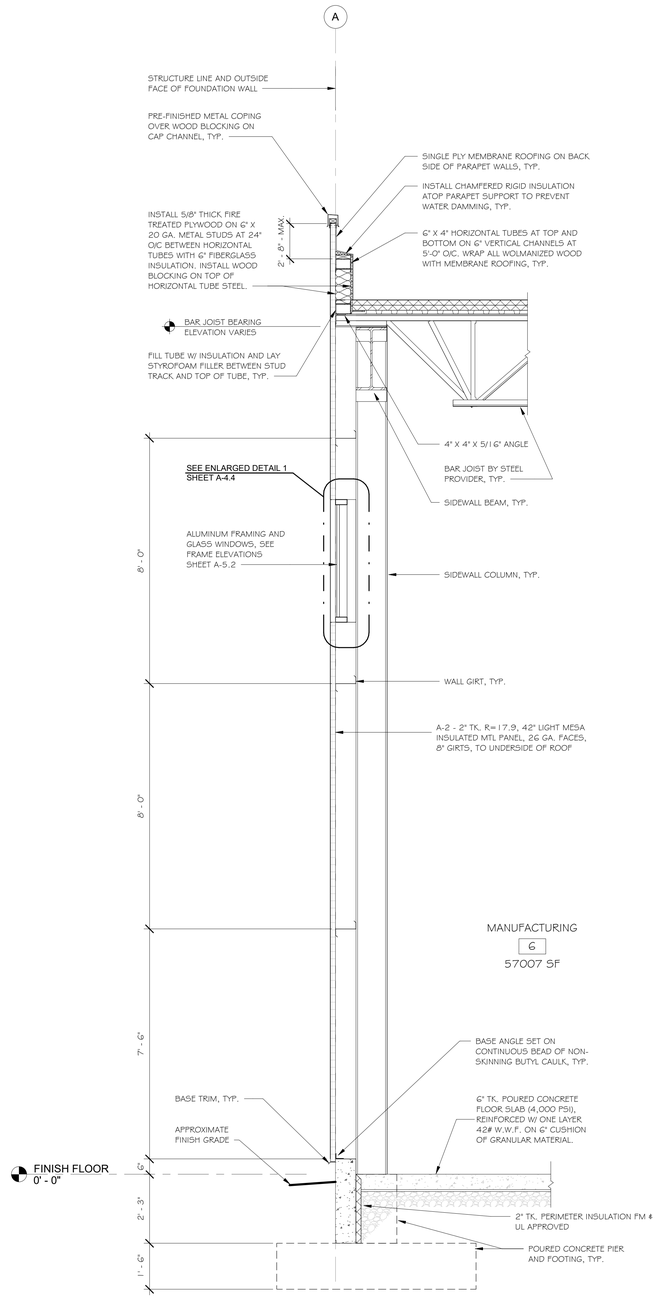
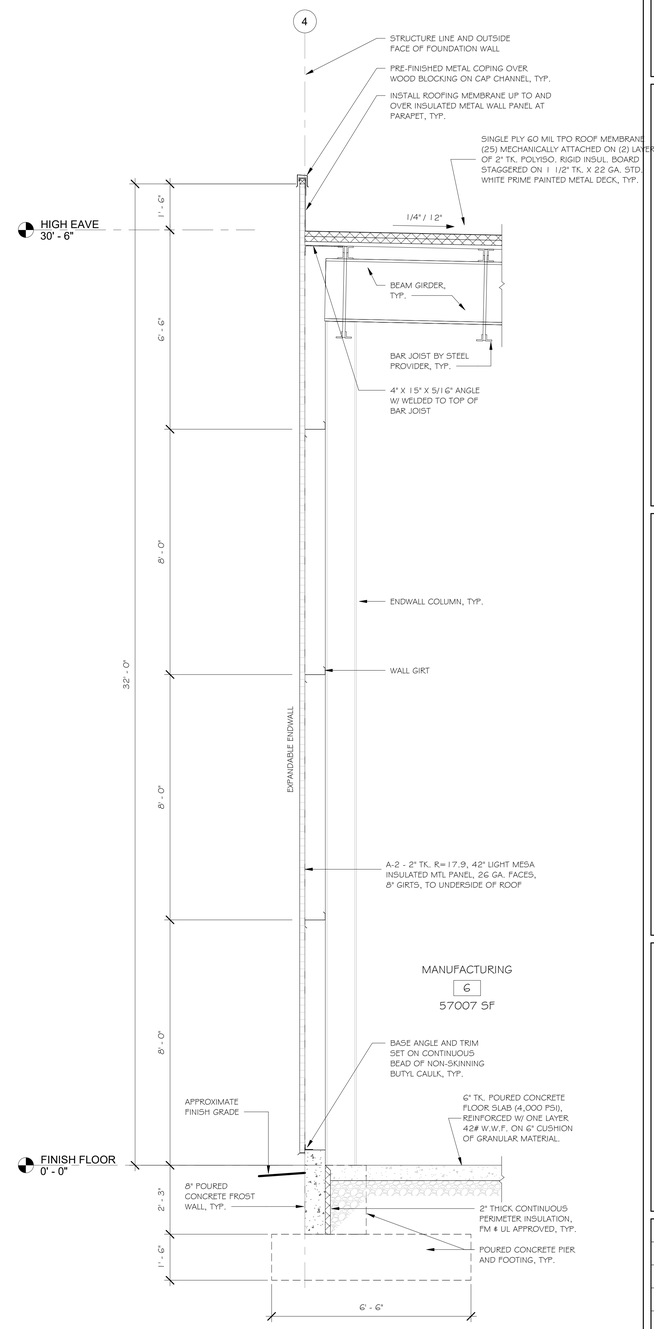


2 WEST WALL SECTION
1/2" = 1'-0"



1 SOUTH WALL SECTION
1/2" = 1'-0"

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WALL SECTIONS

A-4.2

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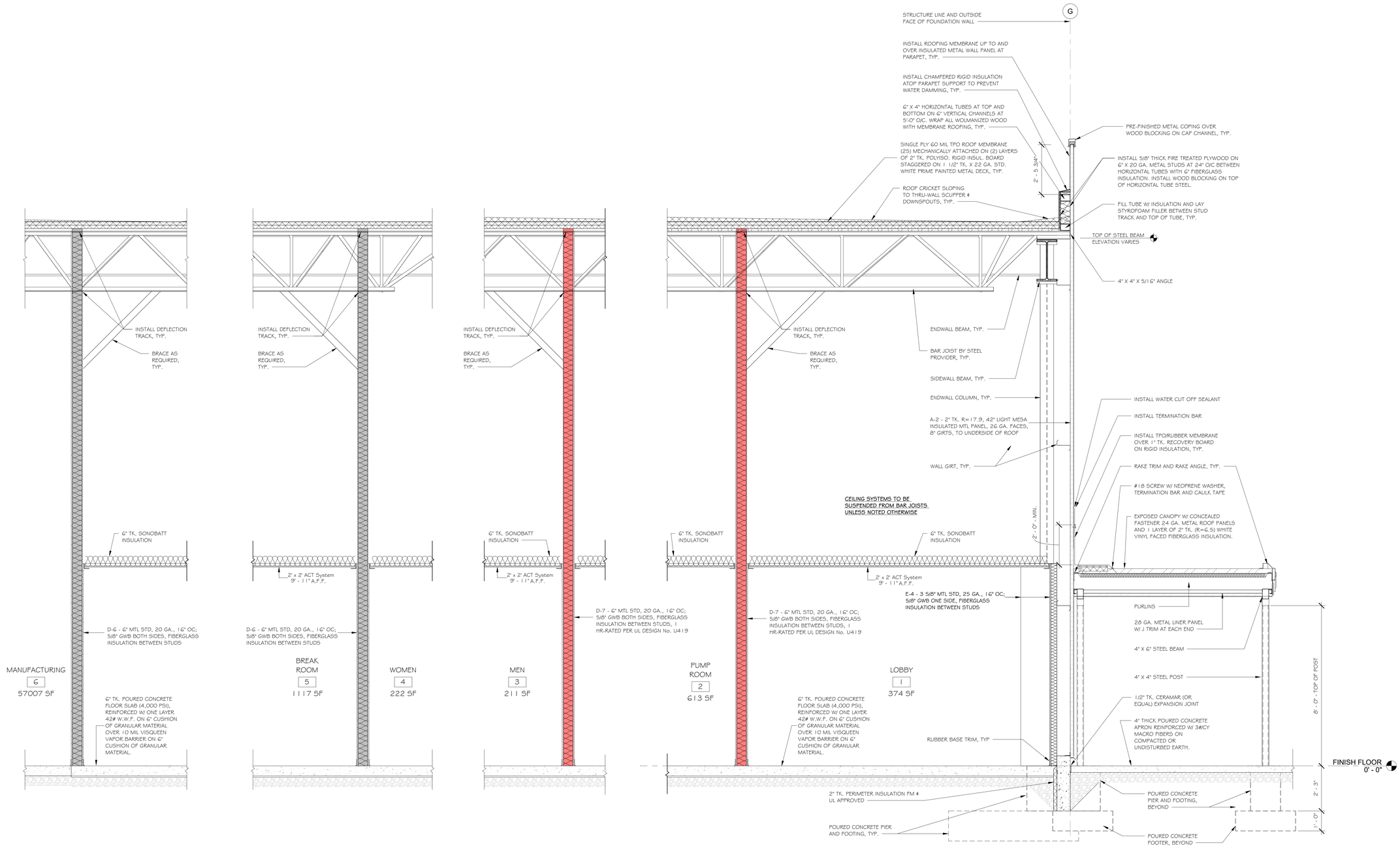

1 LOBBY WALL SECTION
1/2" = 1'-0"

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WALL SECTIONS

A-4.3

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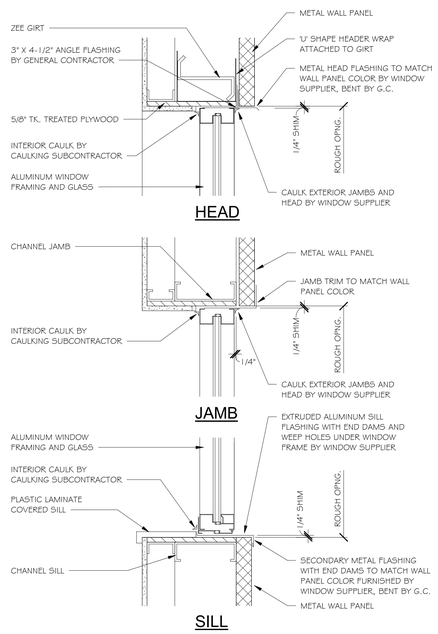
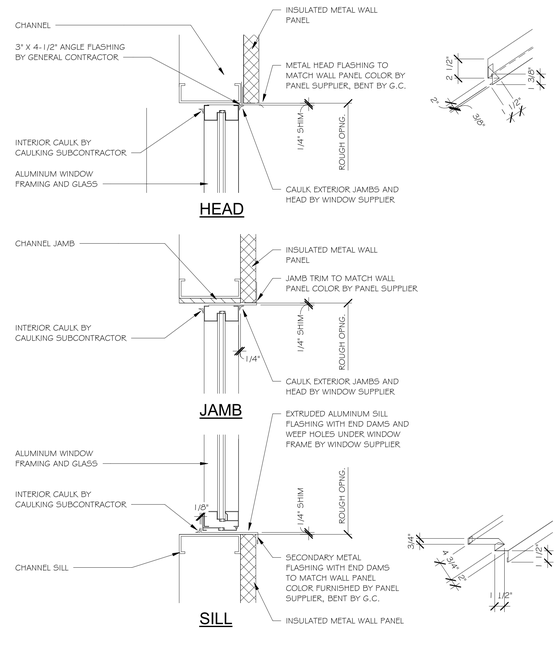


2 WINDOW FLASHING DETAIL - BREAK ROOM
1 1/2" = 1'-0"



1 WINDOW FLASHING DETAIL - INSULATED METAL WALL PANEL
1 1/2" = 1'-0"

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WINDOW SECTION DETAILS

A-4.4

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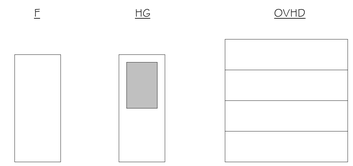
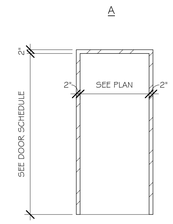
DOOR SCHEDULE

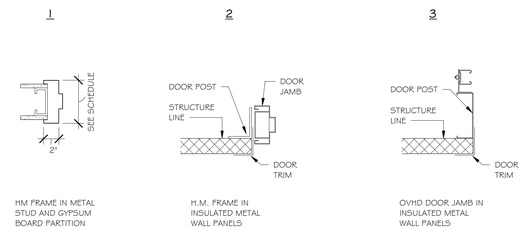
	DOOR						FRAME				HARDWARE				
MARK	# OF DOORS	WIDTH	HEIGHT	ELEV.	MATERIAL	GLAZING	ELEV.	DETAIL	MATERIAL	DEPTH	THRESHOLD	LOCK	CLOSER	WEATHER STRIPPING	COMMENTS
1A	2	3' - 0"	7' - 0"	HG	HM	YES	A	2	HM	5 3/4"	YES	LOCK	YES	YES	
1B	2	3' - 0"	7' - 0"	HG	HM	YES	A	1	HM	8 1/4"	-	PASS	YES	-	
2A	1	3' - 0"	7' - 0"	F	HM	-	A	1	HM	8 1/4"	-	PASS	YES	-	1-HR RATED DOOR AND CLOSER
2B	2	3' - 0"	7' - 0"	F	HM	-	A	1	HM	5 3/4"	-	LOCK	YES	YES	
3	1	3' - 0"	7' - 0"	F	HM	-	A	1	HM	5 7/8"	-	PUSH/PULL	YES	-	
4	1	3' - 0"	7' - 0"	F	HM	-	A	1	HM	5 7/8"	-	PUSH/PULL	YES	-	
5A	1	3' - 0"	7' - 0"	HG	HM	YES	A	1	HM	8 1/4"	-	PUSH/PULL	YES	-	
5B	1	3' - 0"	7' - 0"	HG	HM	YES	A	1	HM	8 1/4"	-	PUSH/PULL	YES	-	
6A	1	3' - 0"	7' - 0"	F	HM	-	A	2	HM	5 3/4"	YES	LOCK	YES	YES	
6B	1	3' - 0"	7' - 0"	F	HM	-	A	2	HM	5 3/4"	YES	LOCK	YES	YES	
6C	1	3' - 0"	7' - 0"	F	HM	-	A	2	HM	5 3/4"	YES	LOCK	YES	YES	
6D	1	12' - 0"	14' - 0"	OVHD	STL	-	-	3	STL	8"	SEE DTL 4	BY DR. MANUF.	ELEC	YES	
6E	1	3' - 0"	7' - 0"	HG	HM	YES	A	2	HM	5 3/4"	YES	LOCK	YES	YES	
6F	1	9' - 0"	10' - 0"	OVHD	STL	-	-	3	STL	8"	-	BY DR. MANUF.	MANUAL	YES	
6G	1	9' - 0"	10' - 0"	OVHD	STL	-	-	3	STL	8"	-	BY DR. MANUF.	MANUAL	YES	
6H	1	9' - 0"	10' - 0"	OVHD	STL	-	-	3	STL	8"	-	BY DR. MANUF.	MANUAL	YES	
6J	1	3' - 0"	7' - 0"	F	HM	-	A	2	HM	5 3/4"	YES	LOCK	YES	YES	



1 DOOR ELEVATIONS
1/4" = 1'-0"

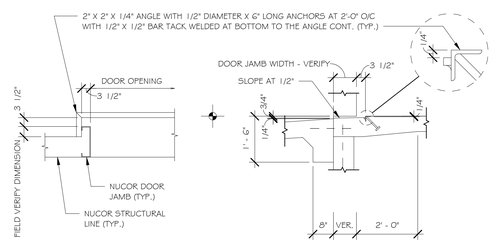


2 FRAME ELEVATIONS
3/8" = 1'-0"



4

NOTE
FIELD VERIFY W/ DOOR SUPPLIER DIMENSION OF SLAB RECESS PAST FACE OF DOOR JAMB



3 FRAME DETAILS
1 1/2" = 1'-0"

ROOM FINISH SCHEDULE

ROOM #	NAME	AREA	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	CEILING HEIGHT	COMMENTS
1	LOBBY	374 SF	EXP. CONC.	RUB	DW	ACT	9' - 11"	
2	PUMP ROOM	613 SF	EXP. CONC.	RUB	DW / IMWP	DW	9' - 11"	1-HR RATED WALLS AND CEILING
3	MEN	211 SF	EXP. CONC.	RUB	DW	ACT	9' - 11"	
4	WOMEN	222 SF	EXP. CONC.	RUB	DW	ACT	9' - 11"	
5	BREAK ROOM	1117 SF	EXP. CONC.	RUB	DW	ACT	9' - 11"	
6	MANUFACTURING	57007 SF	EXP. CONC.	RUB	DW / IMWP	EXP. INSUL.	VARIES	RUBBER BASE AT EXTERIOR WALLS OF BREAK AREA

ALL INTERIOR FINISHES MUST COMPLY WITH O.B.C. CHAPTER 8.

ACT - 5/8" THICK x 2' x 2' SUSPENDED CEILING TILE, ARMSTRONG FINE FISSURED 1728 SQUARE EDGE, OR EQUAL, (CLASS "A") SET IN 15/16" PRELUDE EXPOSED WHITE TEE GRID W/ 6" SONOBATT INSULATION ABOVE.

DW - 5/8" THICK GYPSUM DRYWALL; MOISTURE RESISTANT IN WET LOCATIONS

EXP. CONC. - EXPOSED CONCRETE

EXP. INSUL. - EXPOSED INSULATION AND STRUCTURAL

IMWP - INSULATED METAL WALL PANEL, AND EXPOSED STRUCTURE.

RUB - 4" HIGH COVE RUBBER BASE W/ FIELD CUT CORNERS

PAINTING NOTES

1. ONE COAT PRIMER AND TWO COATS EGGSHELL LATEX, SHERWIN-WILLIAMS 'PROMAR 200' (OR EQUAL) ON ALL FINISHED DRYWALL. (SUBMITTALS ARE REQUIRED).
2. ONE COAT PRIMER AND ONE COAT ENAMEL ON ALL OVERHEAD DOOR JAMBS, HEADS AND SILL ANGLES, BUMPER POSTS, PIPE HANDRAILS, DOCK LEVELER EDGE ANGLES AND OTHER EXPOSED MISCELLANEOUS METALS.
3. ONE COAT PRIMER AND ONE COAT INDUSTRIAL GRADE ACRYLIC LATEX ON ALL HOLLOW METAL DOORS AND FRAMES.
4. ALL EXPOSED STRUCTURAL STEEL TO RECEIVE ONE PRIME COAT SHOP APPLIED.
5. EXPOSED SERVICE PIPING, DUCTS AND CONDUIT TO BE UNPAINTED. COLOR CODING OF MECHANICAL, ELECTRICAL AND SPRINKLER SYSTEM NOT INCLUDED.
6. PARKING LOT LINES TO RECEIVE ONE COAT 'WHITE PAINT' 4" WIDE AS PER LAYOUT ON SITE PLAN (INCLUDING DIRECTIONAL ARROWS WHERE SHOWN) BY ASPHALT SUBCONTRACTOR.
7. ALL FINISH COATS OF PAINT TO PROVIDE ADEQUATE COVERAGE.

CAULKING NOTES

1. POLYURETHANE CAULKING TO BE A THREE-PART POLYURETHANE SEALANT, AND SHALL PROVIDE A ONE (1) YEAR WARRANTY, AS MANUFACTURED BY TREMCO, SONNEBORN, PECORA, MASTER MECHANICS, OR EQUAL. COLOR SHALL MATCH ADJOINING SURFACES.
2. LATEX CAULKING TO BE A ONE PART LATEX MATERIAL, AND SHALL PROVIDE A ONE (1) YEAR WARRANTY, AS MANUFACTURED BY TREMCO, SONNEBORN, PECORA, MASTER MECHANICS, OR EQUAL. COLOR SHALL MATCH ADJOINING SURFACES.
3. THE CAULKING SUBCONTRACTOR SHALL SEAL THE FOLLOWING:
   3.1. INTERIOR OF ALUMINUM STOREFRONTS AND WINDOWS (LATEX)
   3.2. COUNTER TOP TO WALL JOINT (SILICONE)
4. THE PLUMBING SUBCONTRACTOR SHALL SEAL THE PERIMETER OF ALL PLUMBING FIXTURES (SILICONE)
5. THE GLASS AND GLAZING SUBCONTRACTOR SHALL SEAL EXTERIOR ALUMINUM STOREFRONTS AND WINDOWS. (POLYURETHANE)
6. THE DRYWALL SUBCONTRACTOR SHALL SEAL THE DRYWALL CONTROL JOINTS. (LATEX)
7. EACH SUBCONTRACTOR SHALL FIRE-CAULK THEIR RESPECTIVE PENETRATIONS THROUGH FIRE RATED CONSTRUCTION.

DOOR NOTES

1. AT THE BOTTOM OF EXTERIOR H.M. DOORS PROVIDE A CONCEALED DOUBLE SEALING SWEEP MADE OF SYNTHETIC MATERIAL, MODEL NO. PS074 AS MANUFACTURED BY FAS-SEAL (OR EQUAL). WEATHERSTRIP TO BE RECESSED IN THE BOTTOM CHANNEL OF THE DOOR.
2. ALL EXTERIOR H.M. DOORS SHALL INCLUDE MORTISE LOCKS AND LEVER HANDLES. CYLINDER LOCK AND KEYING BY HARDWARE SUPPLIER.
3. ALL INTERIOR H.M. DOORS ARE TO INCLUDE WALL STOPS OR FLOOR STOPS WHERE REQUIRED.
4. PROVIDE ADA APPROVED HEAVY DUTY PANIC HARDWARE.

HARDWARE NOTES

HARDWARE FOR ALL EGRESS DOORS SHALL MAINTAIN THE DOORS READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. DRAW BOLTS, HOOKS AND OTHER SIMILAR DEVICES SHALL BE PROHIBITED ON ALL EGRESS DOORS. THE USE OF MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS IS PROHIBITED. REFER TO SECTION 1003.3.1.8 LOCKS AND LATCHES OF THE OBC.

ALL DOORS TO BE FURNISHED W/ ADAAG APPROVED HARDWARE W/ LEVER TYPE HANDLES AND HANDICAPPED TYPE CLOSERS.

ALL LOCKS TO BE ON A MASTER-KEYED SYSTEM APPROVED BY THE OWNER.

THE MAXIMUM FORCE REQUIRED FOR PUSHING AND/OR PULLING OPEN AN INTERIOR DOOR EQUIPPED WITH AN AUTOMATIC DOOR CLOSER SHALL BE 5 LBF PER SECTION A4.13.11 OF THE ADAAG.

ALL HARDWARE TO BE SCHLAGE OR SARGENT GRADE 1 HEAVY DUTY

GLAZING NOTE

GLASS IN EXTERIOR DOORS AND INTERIOR DOORS SHALL COMPLY W/ HUMAN IMPACT LOADS SECTION 2406.1 OF THE OHIO BUILDING CODE AND PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16 CFR PART 1201, SAFETY STANDARD FOR ARCHITECTURAL GLAZING.

SIGN NOTE

PROVIDE APPROVED HANDICAP ACCESSIBLE 'MEN' AND 'WOMEN' TOILET ROOM SIGNS LOCATED ON WALLS ADJACENT TO THE LATCH SIDE OF THE DOOR . MOUNTING HEIGHT SHALL BE 60 INCHES ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN.

TOILET ACCESSORY SCHEDULE

Type	Notes
3	
18" x 36" Mirror	SS FRAME
18" x 36" Mirror	SS FRAME
ADA Grab Bars	(1) 3'-6", (1) 3'-0", (1) 1'-6"
Paper Towel Dispenser	
Paper Towel Dispenser	
Soap Dispenser	
Soap Dispenser	
Toilet Paper Holder	
Toilet Paper Holder	
Toilet Paper Holder	
4	
18" x 36" Mirror	SS FRAME
18" x 36" Mirror	SS FRAME
18" x 36" Mirror	SS FRAME
ADA Grab Bars	(1) 3'-6", (1) 3'-0", (1) 1'-6"
Paper Towel Dispenser	
Paper Towel Dispenser	
Sanitary Napkin Dispenser	
Sanitary Napkin Disposal	
Sanitary Napkin Disposal	
Sanitary Napkin Disposal	
Sanitary Napkin Disposal	
Sanitary Napkin Disposal	
Soap Dispenser	
Soap Dispenser	
Toilet Paper Holder	
Toilet Paper Holder	
Toilet Paper Holder	
Toilet Paper Holder	
Toilet Paper Holder	

TOILET ACCESSORIES NOTES

1. MOUNT BOTTOM OF MIRROR SURFACES 3'-4" ABOVE FINISH FLOOR.
2. HORIZONTAL HANDICAPPED GRAB BARS, TO BE 3'-6" LONG ON SIDE WALL HELD 12" FROM THE CORNER, AND 3'-0" LONG ON BACK WALL HELD 6" FROM CORNER. CENTERLINE OF BARS TO BE 34" ABOVE FINISH FLOOR. - INCLUDE AN ADDITIONAL 1'-6" VERTICAL BAR AT SIDEWALL - SEE ACCESSIBILITY MOUNTING HEIGHTS AND DETAILS.

BLOCKING NOTES

METAL BLOCKING
PROVIDE 6" x 16 GA. METAL BLOCKING ATTACHED TO FACE OF METAL STUD WALLS WITH (3) #10 LATH HEAD SCREWS AT EACH STUD. INSTALL METAL BLOCKING FOR ATTACHMENT OF BASE CABINETS (ONE HORIZONTAL ROW), COUNTER SUPPORT BRACKETS, TOILET ACCESSORIES (NOT INCLUDING GRAB BARS & TOILET PAPER HOLDERS) & DOOR STOPS AS REQUIRED.

WOOD BLOCKING
PROVIDE FIRE RETARDENT WOOD BLOCKING FOR INSTALLATION & SUPPORT OF WALL CABINETS (TWO HORIZONTAL ROWS), TOILET PARTITIONS, TOILET PAPER HOLDERS, GRAB BARS, HANDRAILS & SHELVING AS REQUIRED.

CONTROL JOINTS FOR DRYWALL

IN DRYWALL, INSTALL UNIMAST (OR EQUAL) CONTROL JOIN NO. 093 JOINT SPACINGS TO BE: PARTITIONS, 30 FT. MAXIMUM IN EITHER DIRECTION, INTERIOER CEILINGS (WITH PERIMETER RELIEF) 50 FT. MAXIMUM IN EITHER DIRECTION, INTERIOR CEILINGS (WITHOUT PERIMETER RELIEF) 30FT. IN EITHER DIRECTION, & EXTERIOR CEILINGS, 30 FT. MAXIMUM IN EITHER DIRECTION.

METAL STUD NOTE

METAL STUD FRAMING, ANCHORAGE, BRACING, BRIDGING, STUD GUAGE, ETC. TO BE ENGINEERED BY THE METAL STUD AND DRYWALL CONTRACTOR AND SUBMITTED TO THE GENERAL CONTRACTOR PRIOR TO INSTALLATION.

Revisions

#	Date	Description

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NOT FOR CONSTRUCTION

New Building for
ADVANCED ENGINEERING
Warren County

FERGUSON CONSTRUCTION
www.ferguson-construction.com

Sidney, Ohio
400 Canal Street
Sidney, OH 45365-0726
Phone: (937) 498-2381

Dayton, Ohio
825 S. Ludlow St.
Dayton, OH 45402
Phone: (937) 274-1173

Columbus, Ohio
3595 Johnny Appleseed Ct.
Columbus, OH 43231
Phone: (614) 876-8496

Indianapolis, Indiana
7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number	E-43030
Date	06/17/25
Drawn By	TRF
Checked By	JWM

DOOR AND FINSH SCHEDULE & DETAILS

A-5.1

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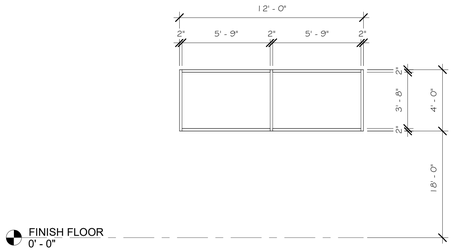

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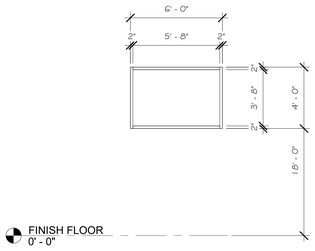

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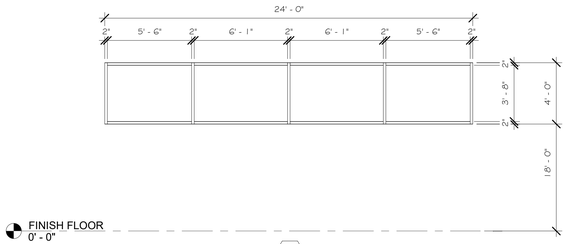

C

EXTERIOR

ALL ALUMINUM FRAMING (A-D) TO BE BRONZE ANODIZED ALUMINUM, KAWNEER OR EQUAL. ALL EXTERIOR GLAZING TO BE 1" THICK LOW-E BRONZE TINTED INSULATED GLASS, SOLARBAN 60 OR EQUAL.

STOREFRONT ELEVATIONS

Revisions

#	Date	Description

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NOT FOR CONSTRUCTION

New Building for
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7157 W. 200 N.
Greenfield, IN 46140
Phone: (317) 477-3615

Job Number	E-43030
Date	06/17/25
Drawn By	TRF
Checked By	JWM

WINDOW ELEVATIONS

A-5.2

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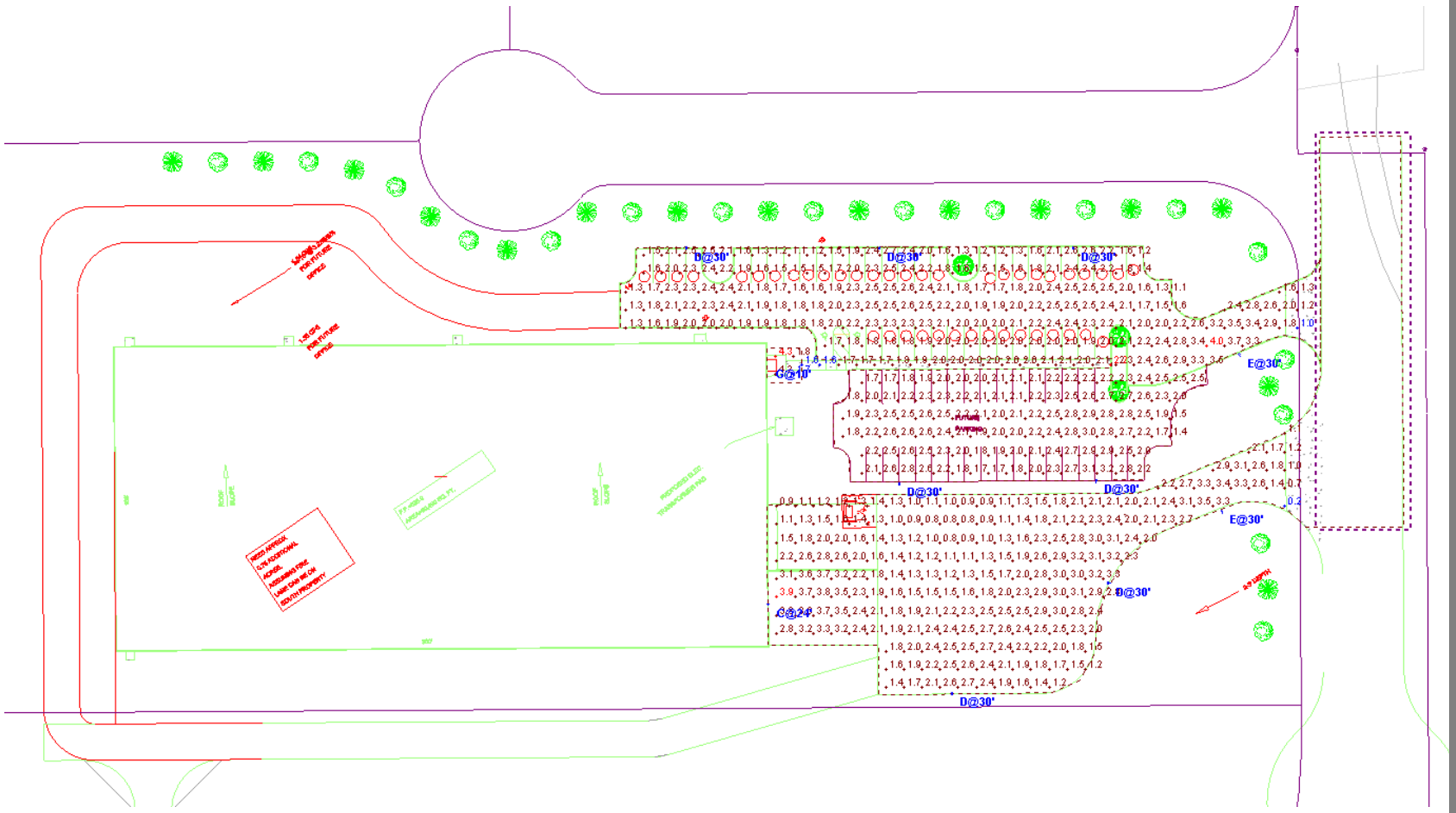

View #1

Advanced Engineering - New Building

Designer
Bryan Schneider
Date
06/13/2025
Scale
Not to Scale
Drawing No.

Summary

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	C@24'	1	Industrial Lighting Products Inc	SAS-18L-U-40-T4	Skyline Small, 18,000 Lumens, 4000K, Type 4 Optic	1	19422	0.9	132.6
	D@30'	7	Industrial Lighting Products Inc	SAS-18L-U-40-T4	Skyline Small, 18,000 Lumens, 4000K, Type 4 Optic	1	19422	0.9	132.6
	E@30'	2	Industrial Lighting Products Inc	SAS-12L-U-40-T2	Skyline Small, 12,000 Lumens, 4000K, Type 2 Optic	1	13607	0.9	88.4
	G@10'	1	GREEN CREATIVE LTD	led downlight	SLFT6/80CCTS/DIM010UNV	1	1584	0.9	15.47

Note

1. Dimensions: Provided
2. Mounting Height: 24, 30, 10
3. Calc Zone: 0
4. Reflectances:

Calculations provided are estimates only.

ILP

Advanced Engineering - New Building

Designer
Bryan Schneider
Date
06/13/2025
Scale
Not to Scale
Drawing No.

Summary

Final Approval, Final Development Plan Review Advanced Drive, new warehouse building

City of Springboro
320 West Central Avenue
Springboro, OH 45066
Phone: (937) 748-4343
Fax: (937) 748-0815
www.ci.springboro.oh.us

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS
CITY OF SPRINGBORO PLANNING COMMISSION

☑ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☑ Owner
☐ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: Westheimer Real Estate

Address: 110 Clarence F Warner Drive
Monroe OH 45050

Telephone No. (513) 561-9378 / 513-535-4562-cell

Fax No. ( )

Email Address: Jwestheimer@westheimerRe.com

PROPERTY OWNER NAME (IF OTHER): Springboro Advance LLC

Address: 110 Clarence F Warner Drive
Monroe OH 45050

Telephone No. (513) 561-9378

Property Address or General Location: Advance Drive, Springboro OH 45066

Parcel Number(s): 0419176006 Zoning District: ~~350 IndustrialWarehouse~~ PUD

Proposed Use: New build, office warehouse building.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

(Signature of Applicant and/or Agent)

~~5/22/25~~ 6/18/25 Revised
(Date)

John R Westheimer
Printed Name

Proposed Building for:

10,000 s.f. Speculative Building

Advanced Drive **Springboro, Ohio 45066**

ARCHITECT:

K|B|A
K B A Incorporated ARCHITECTS

(P) 513-752-7800
(F) 513-752-7833
29 High Street
Milford, OH 45150

CONTRACTOR:

CINCINNATI COMMERCIAL CONTRACTING
Your Choice for Quality
4779 Red Bank Expressway Cincinnati, Ohio 45227
phone (513) 561-6633 fax (513) 561-3554

Cincinnati Commercial Contracting
4779 Red Bank Expressway
Cincinnati, OH 45227
(P) 513-561-6633

GENERAL NOTES

THE MOST RECENT EDITION OF AIA DOCUMENT A201: "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" IS INCLUDED AS A PART OF THE CONTRACT DOCUMENTS BY REFERENCE. COPIES ARE AVAILABLE FROM THE AMERICAN INSTITUTE OF ARCHITECTS (1-800-242-3837). PARTICIPATION IN THE WORK OF THIS PROJECT IS CONSIDERED ACKNOWLEDGEMENT OF THE PARTICIPANTS UNDERSTANDING OF, AND AGREEMENT WITH, ALL REQUIREMENTS OF THE CONTRACT FOR CONSTRUCTION.

1. ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF STUDS, COLUMN CENTERLINE, OR FACE OF EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
2. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS AND SHALL REPORT ANY CONFLICTS TO THE GENERAL CONTRACTOR IMMEDIATELY
3. FIRE EXTINGUISHERS SHALL BE PROVIDED UPON CONSULTATION WITH THE LOCAL FIRE DEPARTMENT AS TO NUMBER, TYPE, AND LOCATION.
4. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ARCHITECT IS RESPONSIBLE FOR HIS OR HER OWN SAFETY, BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS AT THE SITE.
5. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES SEQUENCES, OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR.
6. ALL EGRESS DOORS SHALL ALWAYS BE OPENABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR A KEY.
7. A MINIMUM OF 44" AISLES SHALL BE MAINTAINED THROUGHOUT.
8. LOW HANGING SIGNS, LIGHTS, AND SIMILAR ITEMS SHALL NOT BE INSTALLED IN LINES OF EGRESS.
9. THERMAL AND SOUND INSULATING, MATERIALS, INCLUDING VAPOR BARRIERS, SHALL HAVE A FLAME SPREAD INDEX NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX NOT MORE THAN 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84.

VICINITY MAP

NORTH

BUILDING & CODE INFORMATION

PROJECT DESCRIPTION:
NEW 10,000 S.F. SPECULATIVE SHELL BUILDING. BUILDING TO BE PRE-ENGINEERED METAL STRUCTURE WITH A CMU ENTRY FEATURE AND WAINSCOT. BUILDING IS LOCATED IN SPRINGBORO, OHIO

APPLIGABLE CODES
2024 OHIO BUILDING CODE
2024 OHIO EXISTING BUILDING CODE
2024 OHIO MECHANICAL CODE
2024 OHIO PLUMBING CODE
2023 NEC
2019 ASHRAE 90.1
ICC A117.1 2017

OEBC 301.3.1 - PRESCRIPTIVE COMPLIANCE METHOD-ALTERATIONS, ADDITIONS AND CHANGES OF OCCUPANCY COMPLYING WITH SECTIONS 302 THROUGH 309 AND CHAPTER 5 OF THIS CODE ARE TO BE CONSIDERED IN COMPLIANCE WITH THE PROVISIONS OF THIS CODE.

OEBC 502.1 - ADDITIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE FOR NEW CONSTRUCTION. ALTERATIONS TO THE EXISTING BUILDING OR STRUCTURE SHALL BE MADE TO ENSURE THAT THE EXISTING BUILDING OR STRUCTURE TOGETHER WITH THE ADDITION ARE NOT LESS COMPLYING WITH THE PROVISIONS OF THE BUILDING CODE THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ADDITION.

CHAPT. 3 USE AND OCCUPANCY CLASSIFICATION
B / S-1 / F-1 NON-SEPARATED MIXED USE

NOTE: BUILDING WILL NOT BE OCCUPIED UNDER THIS PERMIT. OCCUPANCY WILL OCCUR UPON LEASING/SALE OF BUILDING AND TENANT FINISH DRAWINGS ARE SUBMITTED FOR REVIEW/APPROVAL

CHAPT. 4 SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY
NO SPECIAL USE AND OCCUPANCY

CHAPT. 5 GENERAL BUILDING HEIGHT AND AREAS
(B/S-1/F-1 - NON-SPRINKLERED
- NUMBER OF STORIES ALLOWED (2).....ACTUAL - 1 STORY
- HEIGHT OF BUILDING ALLOWED (55 FT.)....ACTUAL HEIGHT...25'-6" +/-FT
- AREA OF BUILDING: TOTAL AREA.....10,000 SF (15,500 SF ALLOWED PER TABLE 506.2)

CHAPT.6 TYPES OF CONSTRUCTION - 2B

CHAPT.7 FIRE AND SMOKE PROTECTION FEATURES
THERE ARE NO FIRE RATED CONSTRUCTION ASSEMBLIES IN THIS BUILDING

CHAPT. 8 INTERIOR FINISHES
SEE CHART THIS SHEET

CHAPT.9 FIRE PROTECTION SYSTEMS
- 906 FIRE EXTINGUISHERS SHALL BE INSTALLED AND LOCATED UPON CONSULTATION WITH THE FIRE MARSHALL
- 907 FIRE ALARM / DETECTION SYSTEMS - FIRE ALARM SYSTEM NOT REQUIRED.

CHAPT. 10 MEANS OF EGRESS
NOTE: BUILDING WILL NOT BE OCCUPIED UNDER THIS PERMIT. OCCUPANCY WILL OCCUR UPON LEASING/SALE OF BUILDING AND TENANT FINISH DRAWINGS ARE SUBMITTED FOR REVIEW/APPROVAL

EXITS- 3 PROVIDED

EGRESS ILLUMINATION- SEE FLOOR PLAN FOR EXIT SIGNS AND EGRESS LIGHTS

CHAPT. 11 ACCESSIBILITY
ALL AREAS OF THE BUILDING SHALL BE FULLY ACCESSIBLE.
AN ACCESSIBLE ROUTE IS PROVIDED TO ACCESS THE BUILDING

CHAPT. 12 INTERIOR ENVIRONMENTS
REFER THE MECHANICAL DRAWINGS FOR INTERIOR ENVIRONMENT CONDITIONING

CHAPT. 13 ENERGY EFFICIENCY
ENERGY REPORT IS PROVIDED FOR THE ADDITION

CHAPT. 16 STRUCTURAL DESIGN
REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION

CHAPT. 24 GLASS AND GLAZING
TEMPERED GLAZING SHALL BE INSTALLED AT LOCATION NOTED ON ELEVATIONS

CHAPT. 29 PLUMBING SYSTEMS

NOTE: BUILDING WILL NOT BE OCCUPIED UNDER THIS PERMIT. OCCUPANCY WILL OCCUR UPON LEASING/SALE OF BUILDING AND TENANT FINISH DRAWINGS ARE SUBMITTED FOR REVIEW/APPROVAL

FINISH REQUIREMENTS - NON-SPRINKLERED

	WALL & CEILING			FLOOR	
USE	Vertical exits and exit passageways	Exit access corridors and other exitways	Rooms and enclosed spaces	Vertical exits, exit passageways, exit access corridors and other exitways	Rooms and enclosed spaces
B	A	A	B	CLASS II	CLASS II
F-1	B	C	C	CLASS II	CLASS II
S-1	B	B	C	CLASS II	CLASS II

10. DO NOT SCALE THESE DRAWINGS. REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT.

SHEET INDEX

		05.22.25 / PERMIT ISSUE	06.04.25 / FINAL PRICING SET	06.12.25 / ZONING COMMETNS	
A0	COVER SHEET	●	●	●	
CIVIL					
C-1	TITLE SHEET & GENERAL NOTES	●	●	●	
C-1.1	SITE CONSTRUCTION DETAILS	●	●	●	
C-2	EXISTING CONDITIONS & DEMO PLAN	●	●	●	
C-3	SITE DIMENSION PLAN	●	●	●	
C-3.1	UTILITY SERVICE PLAN	●	●	●	
C-4	GRADING PLAN				
C-5	STORMWATER POLLUTION PREVENTION PLAN	●	●	●	
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S311	FOUNDATION DETAILS		●		
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M	UNDER SEPARATE PERMIT				
ELECTRICAL					
E	UNDER SEPARATE PERMIT				
PLUMBING					
P	UNDER SEPARATE PERMIT				

LEGEND

- SECTION DETAIL # / SHEET # (A#.#)
- DETAIL # / SHEET # (A#.#)
- WALL TYPE — DESIGNATION COORDINATES WITH WALL TYPE DETAIL
- ROOM NAME — DESIGNATION COORDINATES WITH ROOM FINISH SCHEDULE
- DOOR MARK — DESIGNATION COORDINATES WITH DOOR SCHEDULE
- EQUIPMENT — DESIGNATION COORDINATE WITH EQUIPMENT TYPE
- KEY NOTE — DESIGNATION COORDINATES WITH KEY NOTE LEGEND
- ELEVATION MARK — DESIGNATION COORDINATE WITH VERTICAL HEIGHTS

ABBREVIATIONS

ABV ABOVE
ACT ACOUSTICAL CEILING TILE
AFF ABOVE FINISHED FLOOR
ALT ALTERNATE
APPX APPROXIMATE
AUTO AUTOMATIC
BEL BELOW
BLK BLOCK
B.O. BOTTOM OF
CHAM CHAMFER
CIRC CIRCUMFERENCE
CLG CEILING
CLR CLEAR
CMU CONCRETE MASONRY UNIT
COL COLUMN
COMB COMBINATION
CONT CONTINUOUS
CPT CARPET
CTR CENTER
D DEPTH
DEP DEPRESSED
DET DETAIL
DIAG DIAGONAL
DIA DIAMETER
DIM DIMENSION
DIST DISTANCE
DIV DIVISION
DN DOWN
DWG DRAWING
EA EACH
ELEC ELECTRIC
EQ EQUAL
EQPT EQUIPMENT
EX EXISTING
FRP FIBERGLASS REINFORCED PANEL
GYP GYPSUM
H HEIGHT
HCW HOLLOW CORE WOOD
HDWR HARDWARE
HM HOLLOW METAL
HORZ HORIZONTAL
HR HOUR
HT HEIGHT
ID INSIDE DIAMETER
L LENGTH
LBL LABEL
LGM LIGHT GAUGE METAL
MAX MAXIMUM
MECH MECHANICAL
MED MEDIUM
MFR MANUFACTURER
MIN MINIMUM
MIR MIRROR
MISC MISCELLANEOUS
MM MILLIMETER
MO MASONRY OPENING
MTL MATERIAL
NAF NO APPLIED FINISH
NOM NOMINAL
NTS NOT TO SCALE
OC ON CENTER
OD OUTSIDE DIAMETER
PAR PARALLEL
PEB PRE-ENGINEERED BUILDING
PEMB PRE-ENGINEERED METAL BUILDING
PERI PERIMETER
PT POINT
RAD RADIUS
REF REFERENCE
REM REMOVE
RET RETURN
REV REVISION
SC SEALED CONCRETE
SCH SCHEDULE
SCW SOLID CORE WOOD
SECT SECTION
SF SQUARE FOOT
SHT SHEET
SIM SIMIALAR
SPEC SPECIFICATION
SPECS SPECIFICATIONS
SPL SPECIAL
SQ SQUARE
STD STANDARD
STRUCT STRUCTURE
SV SHEET VINYL
SYM SYMMETRICAL
SYS SYSTEM
T TEMPERED
T&B TOP AND BOTTOM
T&G TONGUE AND GROOVE
TEMP TEMPORARY
THK THICK(NESS)
T.O. TOP OF
TOL TOLERANCE
TYP TYPICAL
VCP VINYL FACED CEILING PADS
VERT VERTICAL
VT VINYL TILE
W WIDTH
WC WALL COVERING
WD WOOD
WG WOOD AND GLASS
WO WITHOUT

[redacted]

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SHEET CONTENTS:
COVER SHEET

Westheimer REAL ESTATE

Proposed: 10,000 s.f. Speculative Building
Advanced Drive
Springboro, Ohio 45066

REV.	DATE		CK'D
1	06.12.25	Springboro Comments	

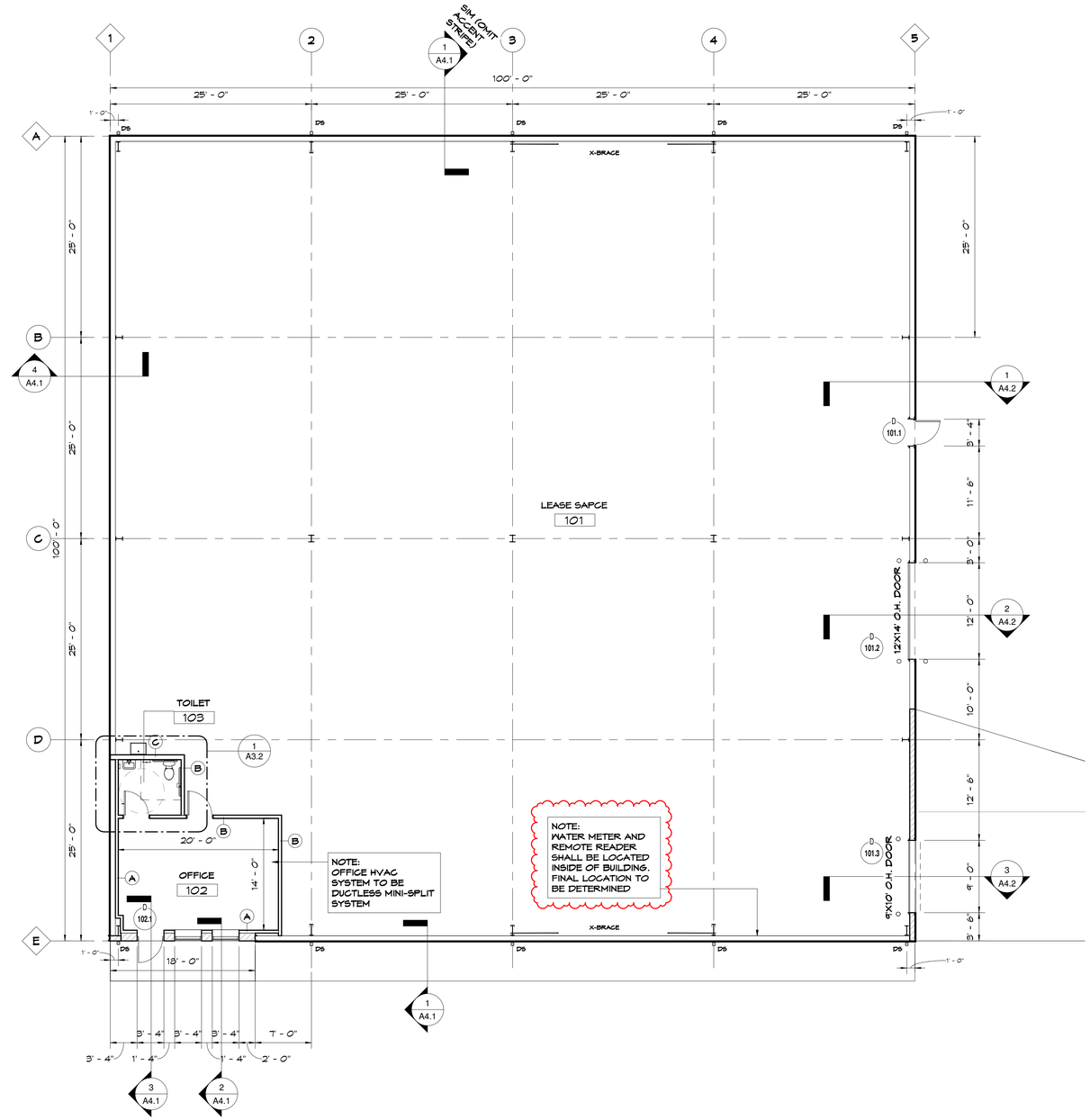
Drawn By: WNS Checked By: WNS

STATE OF OHIO WILLIAM NORMAN SCHALK 10478 REGISTERED ARCHITECT
WILLIAM NORMAN SCHALK
IDENTIFICATION NUMBER ARC 9310478
EXPIRATION DATE 12/31/25

Date: 05.22.25 Job No: 25.011

A0

[redacted]



NORTH

FIRST FLOOR

SCALE: 1/8" = 1'-0"

0' 4' 8' 16' 32'

[redacted]

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SHEET CONTENTS:
FLOOR PLAN

Westheimer
REAL ESTATE

Proposed: 10,000 s.f. Speculative Building

Advanced Drive
Springboro, Ohio 45066

REV.	DATE		CK'D
1	06.12.25	Springboro Comments	

Drawn By: WNS Checked By: WNS

STATE OF OHIO
WILLIAM NORMAN SCHALK
10478
REGISTERED

WILLIAM NORMAN SCHALK
IDENTIFICATION NUMBER ARC 3010478
EXPIRATION DATE 12/31/25

Date: 05.22.25 Job No: 25.011

A1.1

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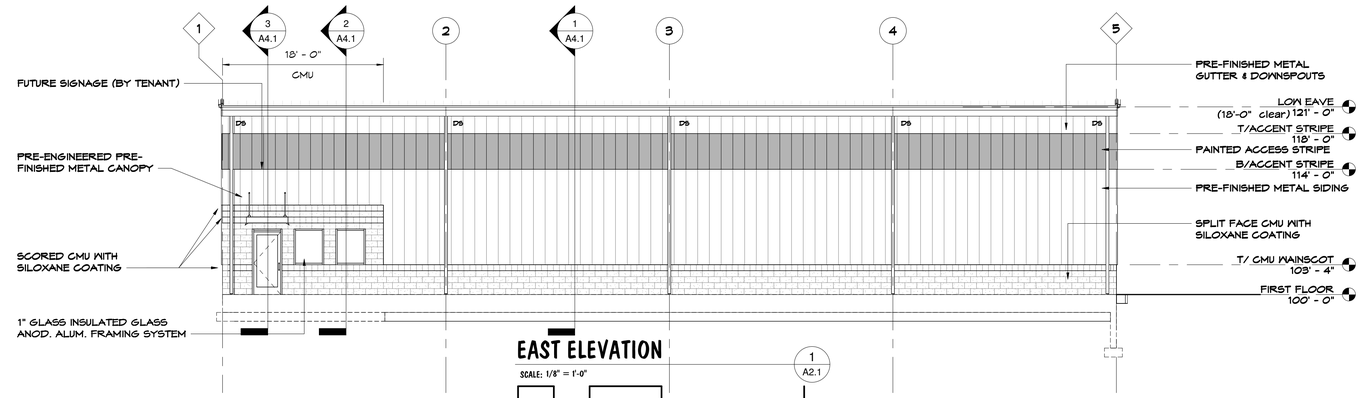
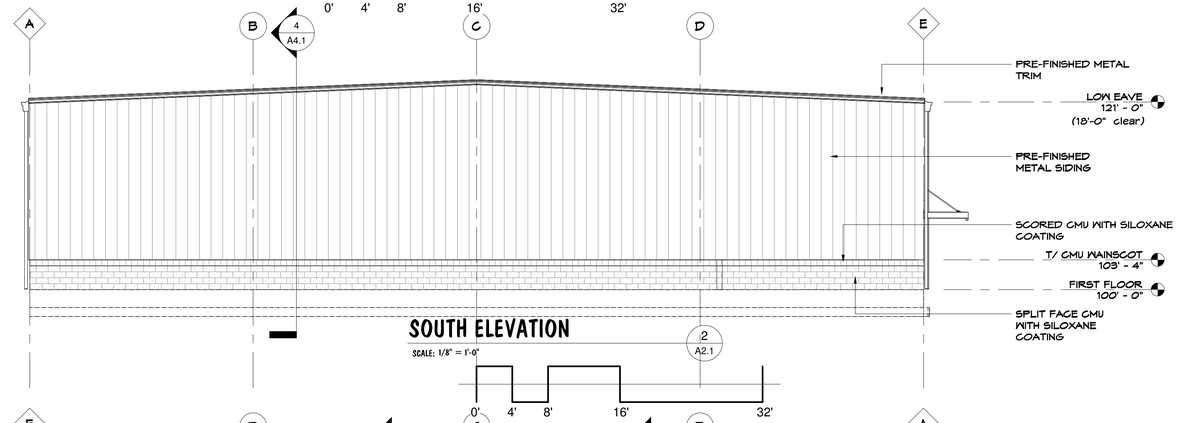


EAST ELEVATION

SCALE: 1/8" = 1'-0"

1 A2.1

0' 4' 8' 16' 32'

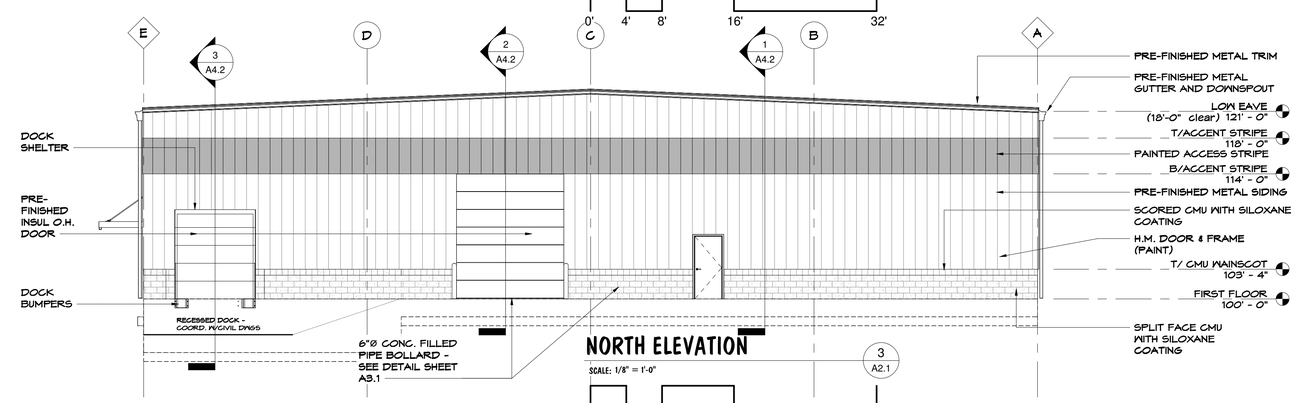


SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

2 A2.1

0' 4' 8' 16' 32'

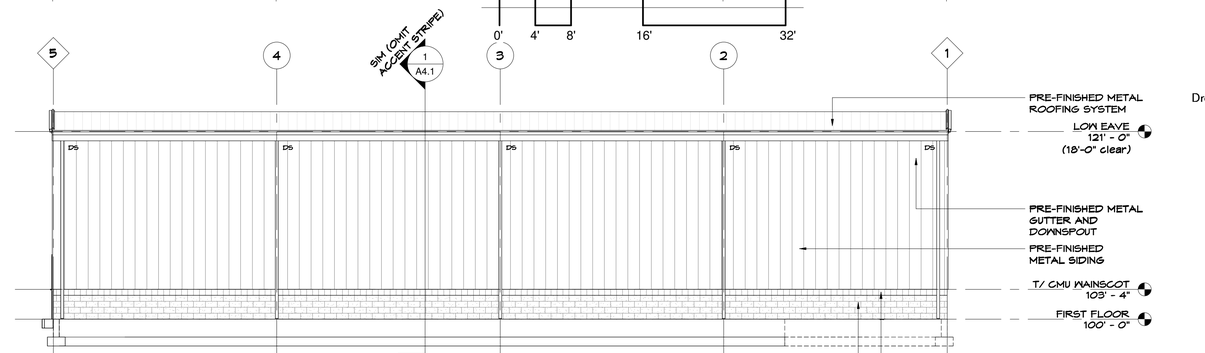


NORTH ELEVATION

SCALE: 1/8" = 1'-0"

3 A2.1

0' 4' 8' 16' 32'



WEST ELEVATION

SCALE: 1/8" = 1'-0"

4 A2.1

0' 4' 8' 16' 32'

[redacted]

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SHEET CONTENTS:
ELEVATIONS

Westheimer
REAL ESTATE

Proposed: 10,000 s.f. Speculative Building

Advanced Drive
Springboro, Ohio 45066

REV.	DATE		CK'D
1	06.12.25	Springboro Comments	

Drawn By: WNS Checked By: WNS

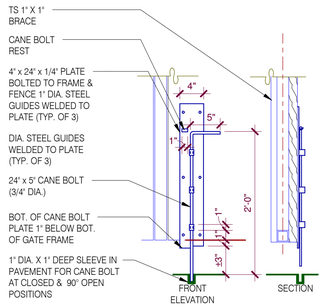
STATE OF OHIO
WILLIAM NORMAN SCHALK
10478
REGISTERED
ARCHITECT

WILLIAM NORMAN SCHALK
IDENTIFICATION NUMBER ARC 9310478
EXPIRATION DATE 12/31/25

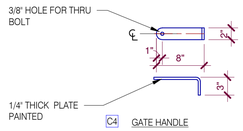
Date: 05.22.25 Job No: 25.011

A2.1

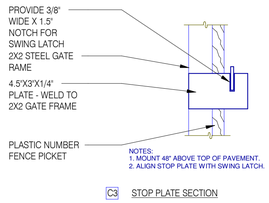
[redacted]



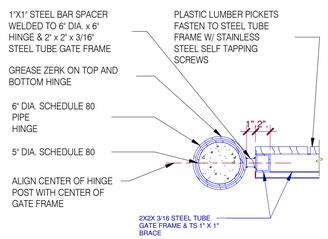
C5 CANE BOLT (1 PER GATE)



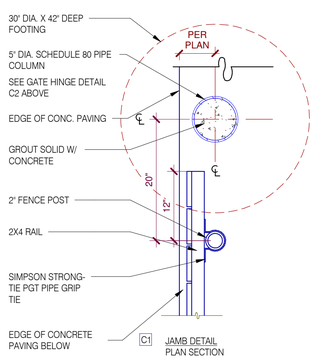
C4 GATE HANDLE



C3 STOP PLATE SECTION



C2 GATE HINGE DETAIL
PLAN SECTION

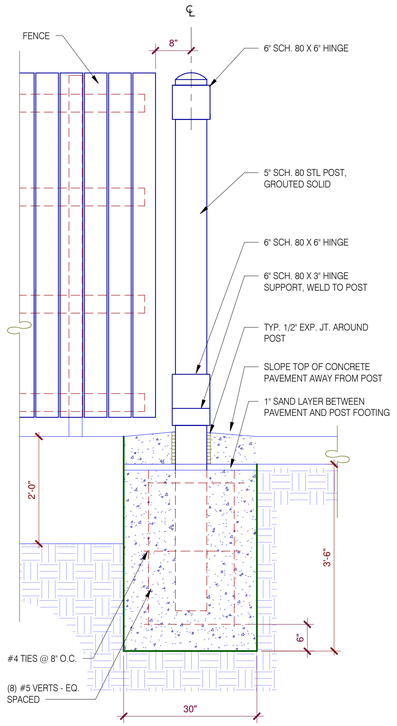


C1 JAMB DETAIL
PLAN SECTION

GATE DETAILS

SCALE: 1" = 1'-0"

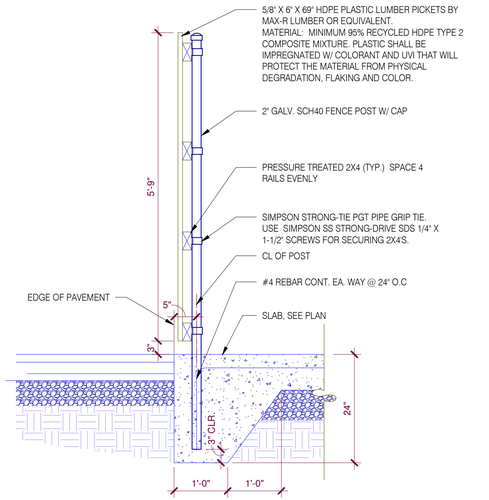
5 AD1



DUMPSTER GATE SECTION

SCALE: 3/4" = 1'-0"

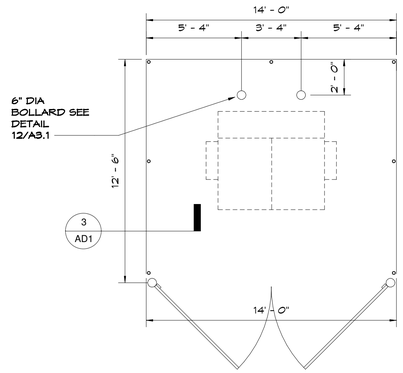
4 AD1



DUMPSTER SECTION

SCALE: 3/4" = 1'-0"

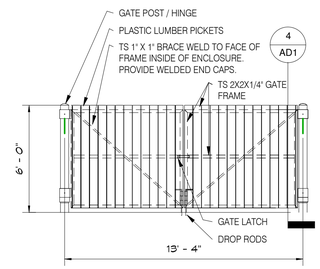
3 AD1



DUMPSTER ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"

1 AD1



GATE HARDWARE: ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.

GATE STOP: MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.

GATE NOTES: (4) EQUAL WIDE x 6-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/ T.S. 1 X1 1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

DUMPSTER GATE ELEVATION

SCALE: 1/4" = 1'-0"

2 AD1

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SHEET CONTENTS:
DUMPSTER ENCLOSURE

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Springboro, Ohio 45066

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1	06.12.25	Springboro Comments	

Drawn By: WNS Checked By: WNS

STATE OF OHIO
WILLIAM NORMAN SCHALK
10478
REGISTERED ARCHITECT

WILLIAM NORMAN SCHALK
IDENTIFICATION NUMBER ARC 9010478
EXPIRATION DATE 12/31/25

Date: 05.22.25 Job No: 25.011

AD1

WEST ELEVATION

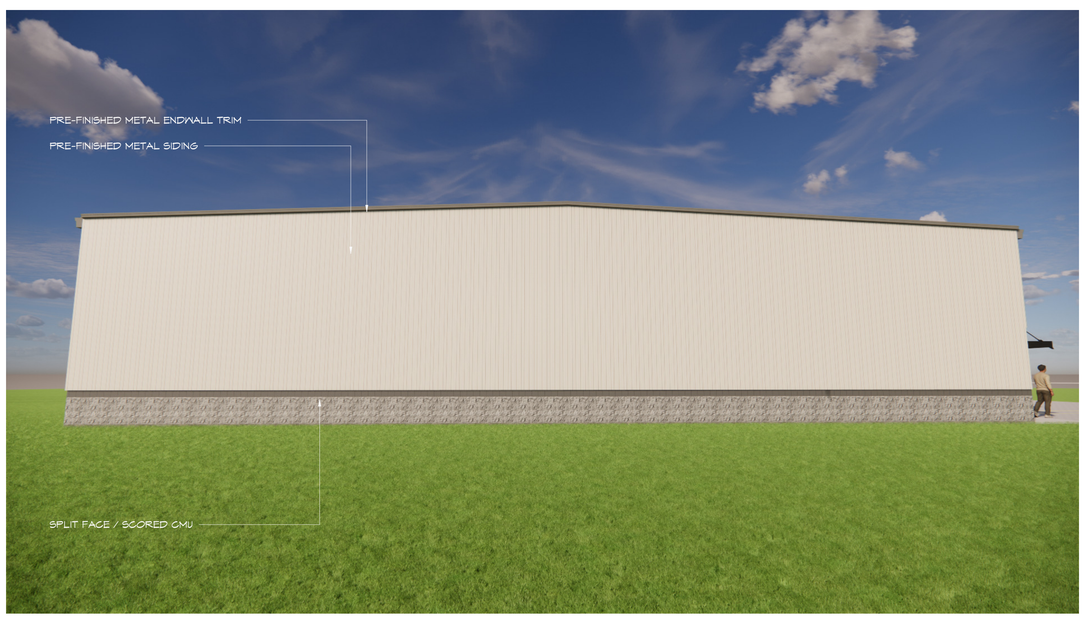
SCALE: 12" = 1'-0"

3 RND1

EAST ELEVATION

SCALE: 12" = 1'-0"

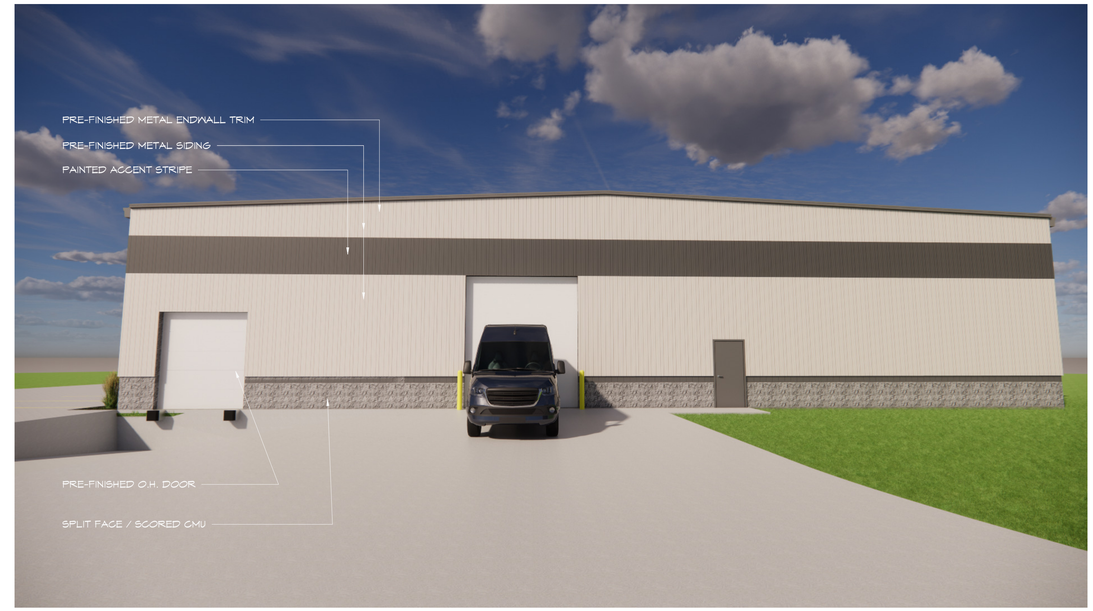
1 RND1



SOUTH ELEVATION

SCALE: 12" = 1'-0"

4 RND1



NORTH ELEVATION

SCALE: 12" = 1'-0"

2 RND1

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SHEET CONTENTS:
RENDERINGS

Westheimer
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Proposed:
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Springboro, Ohio 45066

REV.	DATE		CK'D
1	06.12.25	Springboro Comments	

Drawn By: WNS Checked By: WNS

STATE OF OHIO
WILLIAM NORMAN SOHALK
10478
REGISTERED
ARCHITECT

WILLIAM NORMAN SOHALK
IDENTIFICATION NUMBER ARC 9310478
EXPIRATION DATE 12/31/25

Date: 05.22.25 Job No: 25.011

RND1

PLANS FOR THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING FOR:

10k SPEC BUILDING

ADVANCED DR., CITY OF SPRINGBORO, WARREN COUNTY, OHIO
APRIL, 2025

GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF SPRINGBORO SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ADVANCED DR., RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM THE CITY OF SPRINGBORO.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE (HTTP://WWW.AGRI.OHIO.GOV/EAB/).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT OHIO811.ORG, 8-1-1 OR 1-800-362-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONELL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING. TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

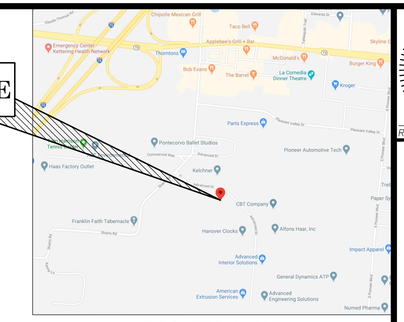
USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET).

DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.



LOCATION MAP

DEVELOPER:

CINCINNATI COMMERCIAL CONTRACTING, INC.
4779 RED BANK EXPRESSWAY
CINCINNATI OH 45227
JOHN WESTHEIMER

CIVIL ENGINEERING:

EVANS ENGINEERING
4240 AIRPORT RD., SUITE 211
CINCINNATI, OHIO 45226
(513)-321-2168
JONATHAN R. EVANS, P.E.

SURVEYING:

BINZ SURVEYING, LLC
6547 BROOKS RD,
HARRISON, OH 45030
(513)-202-0525
DANNY BINZ, P.S.

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C-1 TITLE SHEET & GENERAL NOTES
C-1.1 SITE CONSTRUCTION DETAILS
C-2 EXISTING CONDITIONS & DEMO PLAN
C-3 SITE DIMENSION PLAN
C-4 UTILITY SERVICE PLAN
C-5 GRADING PLAN
C-6 STORMWATER POLLUTION PREVENTION PLAN

STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

CB-2-2A, 2-2B, 2-2C (7-16-2021) CATCH BASINS NOs 2-2A, B & C
CB-2-3, 2-4 (7-16-2021) CATCH BASINS NO's 2-3 & 2-4
CB-2-5, 2-6 (7-16-2021) CATCH BASINS NO's 2-5 & 2-6
CB 3 (7-16-2021) CATCH BASIN NO. 3
CB 3A (7-16-2021) CATCH BASIN NO. 3A
MH 3 (7-16-2021) MANHOLE NO. 3
BP-7.1 (7-17-2020) NEW CURB RAMPS

ST-001 (5-1-2019) ROADWAY STANDARDS
ST-002 (11-1-2019) RETROFIT CURB RAMPS AND CURB & GUTTER
ST-003 (8-13-2019) SANITARY AND STORM SEWER STANDARDS

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
5. INSTALL STORMWATER MANAGEMENT SYSTEMS.
6. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
7. SITE CONSTRUCTION.
8. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
9. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

DEPARTMENT/ UTILITY TABLE:

CITY OF SPRINGBORO WATER & SEWER
320 W CENTRAL AVENUE
SPRINGBORO, OH 45066
(937)-748-9721

CITY OF SPRINGBORO ZONING
320 WEST CENTRAL AVENUE
SPRINGBORO, OH 45066
(937)-748-9791

CITY OF SPRINGBORO ENGINEER
320 W CENTRAL AVENUE
SPRINGBORO, OH 45066
CHAD DIXON
(937)-748-6184

DUKE ENERGY GAS
BEN CHASTEEN
513-312-7338

DUKE ENERGY ELECTRIC
BRETT KING
513-535-2655

STATE OF OHIO
JONATHAN R. EVANS
E-65653
REGISTERED
PROFESSIONAL ENGINEER
6/17/2025
REGISTERED ENGINEER No. 65653

REVISIONS

DATE	BY	NO. & DESCRIPTION

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168

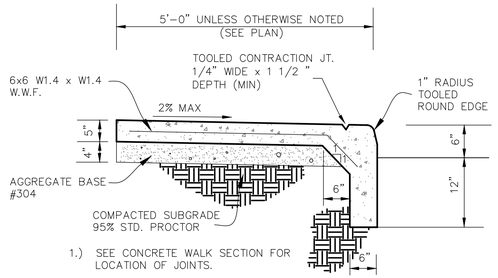
10K SPEC BUILDING
TITLE SHEET & GENERAL NOTES
ADVANCED DR.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=40'	N/A

JOB. NO.	20-140
DATE	Jun. 17, 2025

SHEET NO.

C-1



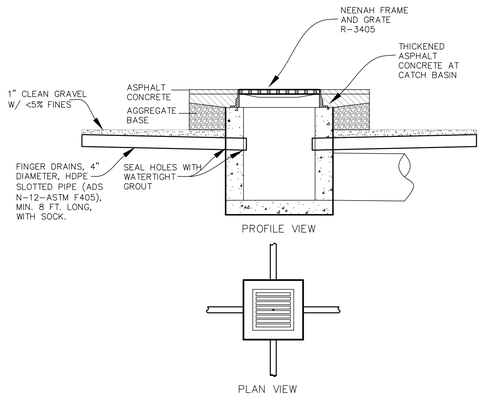
1.) SEE CONCRETE WALK SECTION FOR LOCATION OF JOINTS.

2.) FULL DEPTH SEPARATORS ARE NOT PERMITTED EXCEPT AT EXP. JTS.

3.) CONCRETE SHALL BE 4000 PSI A.E.

INTEGRAL WALK AND CURB

NOT TO SCALE



NOTES:

1. PIPE TO BE HDPE SLOTTED-ADS N-12, ASTM F405 (OR EQUAL)

2. SLOPE PIPE AND TRENCH BOTTOM FOR POSITIVE DRAINAGE TO INLET-2% RECOMMENDED.

3. WRAP EACH SLOTTED PIPE IN FILTER SOCK.

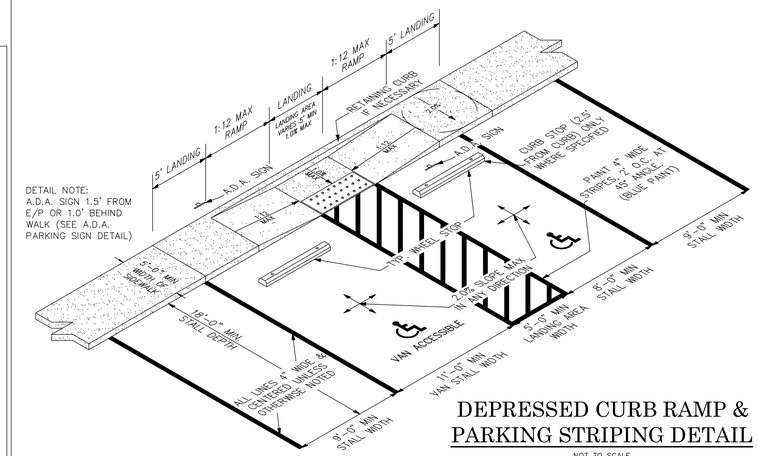
4. FRAME AND GRATE SHALL BE NEENAH R-3405. (HEAVY DUTY FRAME AND GRATE)

5. FINGER DRAIN TO BE OMITTED WHEN THERE IS A CONFLICT BETWEEN INLET/OUTLET PIPE ELEVATIONS AND FINGER DRAIN.

6. HOLE FOR FINGER DRAIN SHALL BE SEALED WITH WATERTIGHT GROUT.

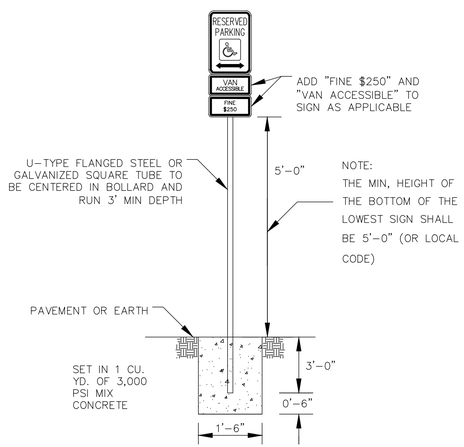
DETAIL AT CATCH BASIN IN PAVEMENT

NOT TO SCALE



DEPRESSED CURB RAMP & PARKING STRIPING DETAIL

NOT TO SCALE

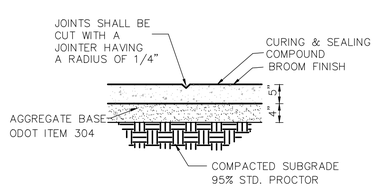


NOTES:

1. A.D.A. SIGN TYPE: A. 18"x12" B. 9"x12"
2. "FINE" AND "VAN ACCESSIBLE" SIGN TO BE INSTALLED BASED ON LOCAL CODE.
3. ALL SIGNS SHALL COMPLY WITH U.S. ADMINISTRATIONS "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," LOCAL CODES AND AS SPECIFIED, MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

ADA PARKING SIGN DETAIL

NOT TO SCALE



NOTE:

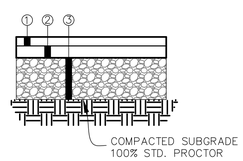
1.) CONTROL JOINTS 5' O.C. MAX.

2.) EXPANSION JOINTS 30' O.C. MAX.

3.) CONCRETE SHALL BE 4000 PSI AE

CONCRETE WALK DETAIL

NOT TO SCALE



①-1 1/2" ODOT 448, TYPE 1, MED. BITUMINOUS SURFACE COURSE

②-2 1/2" ODOT 448, TYPE 1, MED. BITUMINOUS LEVELING COURSE

③-6" COMPACTED AGGREGATE BASE-#304 (2 LIFTS)

ADDITIONAL PAVING NOTES:

AFTER BITUMINOUS PAVEMENT HAS BEEN REPLACED, SAWCUT OR ROUTE JOINT BETWEEN EXISTING AND NEW PAVEMENT AND FILL WITH HOT POURED RUBBER JOINT SEALER PRODUCT. HOT POURED RUBBER JOINT SEALER SHALL BE ONE OF THE FOLLOWING OR AN APPROVED EQUAL:

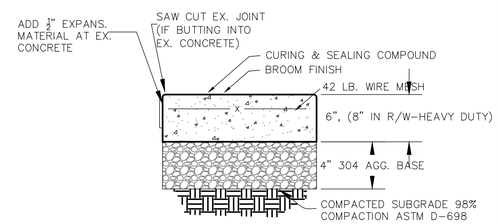
1) ROADSAVER 221; CRAFCO INC.
2) PRODUCT #9005 OR #9030; KOCH MATERIAL COMPANY
3) SEALTIGHT HI-SPEC; W.R. MEADOWS, INC.

SPECIAL PAVING NOTE:

1. CONFIRM PAVING DETAIL SPECS WITH THE GEOTECH ENGINEER.

MEDIUM DUTY ASPHALT PAVING

NOT TO SCALE



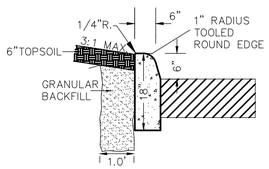
1.) CONTROL JOINTS 10' O.C. MAX (EACH DIRECTION).

2.) PRE-FORMED EXPANSION JOINTS 30' O.C. MAX. & WHERE ABUTS CONCRETE

3.) CONCRETE SHALL BE 5% AE 4,000-PS

CONCRETE PAVING DETAIL

NOT TO SCALE



18" STRAIGHT CURB

NOT TO SCALE

OHIO811 Before You Dig

STATE OF OHIO
JONATHAN R. EVANS
E-65653
REGISTERED
PROFESSIONAL ENGINEER
6/17/2025
REGISTERED ENGINEER No. 65653

REVISIONS		
DATE	BY	NO. & DESCRIPTION

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168

10K SPEC BUILDING

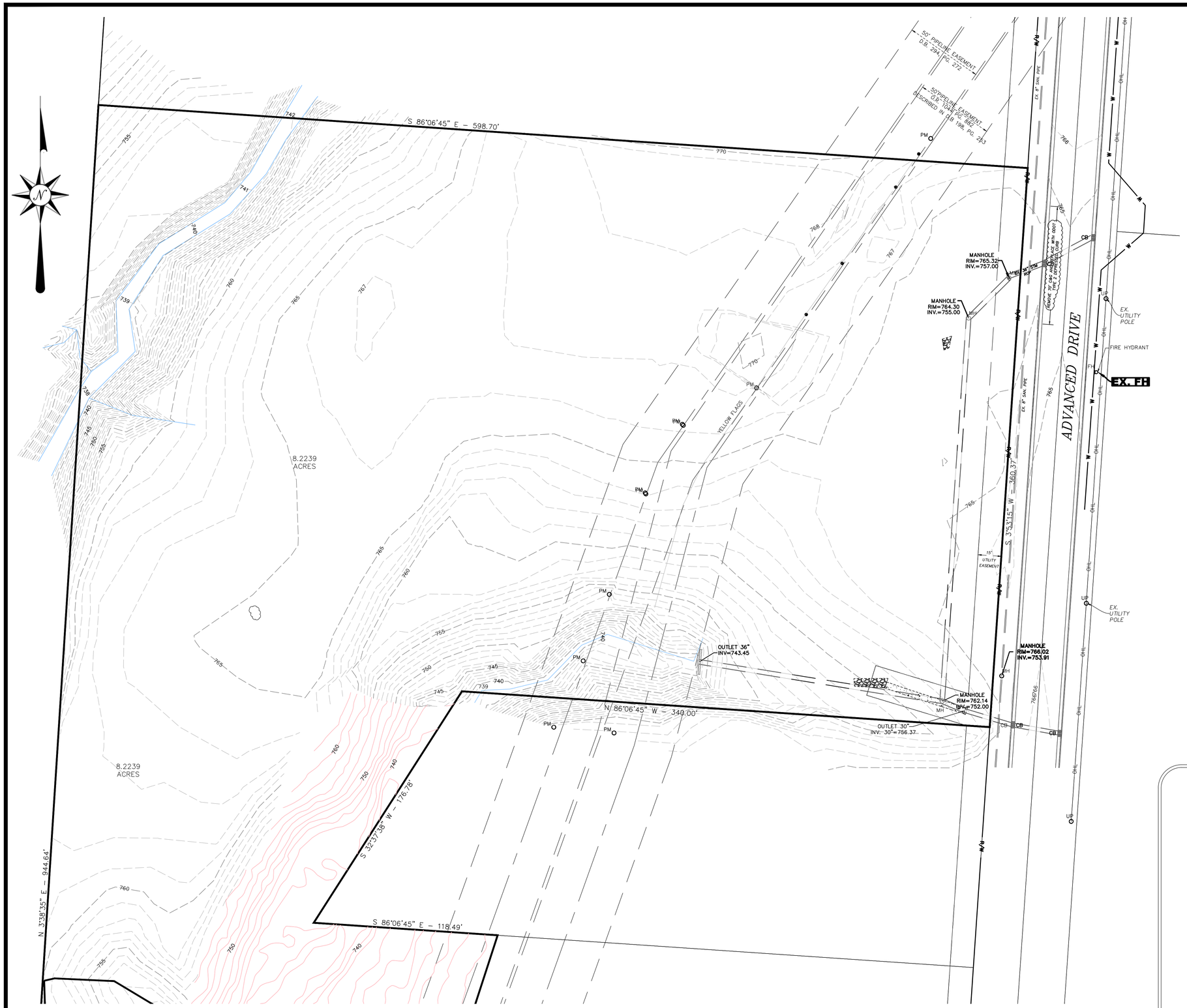
SITE CONSTRUCTION DETAILS

ADVANCED DR.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	N/A	N/A
JOB. NO.	20-140	
DATE	Jun. 17, 2025	

SHEET NO.

C-1.1



NOTES:

1. CURRENT ZONING FOR THE PROPERTY IS "PUD". ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE CITY OF SPRINGBORO ZONING DEPARTMENT.

2. USE WILL BE COMMERCIAL AND IS UNDERSTOOD TO BE COMPATIBLE WITH CURRENT ZONING.

3. PER FLOOD INSURANCE RATE MAP NUMBER 39165C0017E EFFECTIVE 12/17/2010, THE SUBJECT PROPERTY IS A NON–PRINTED MAP, LOCATED IN ZONE "X". ZONE "X" IS AN AREA OF MINIMAL FLOOD HAZARD.

4. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REQUIREMENTS. ALL REMEDIATION WORK SHALL BE PROVIDED BY A PROPERLY LICENSED ABATEMENT CONTRACTOR. ALL DEBRIS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OWNER.

5. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEERING FIRM IF ANY UTILITIES OR UNDERGROUND FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR DIFFER IN LOCATION, HORIZONTAL OR VERTICAL.

6. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN–KIND.

7. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER FENCE DURING AND AFTER DEMOLITION. ANY OPEN EXCAVATION SHALL BE PROPERLY BARRICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.

8. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.

9. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.

10. THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF–SITE FROM THE PROPERTY.

11. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

Utility Notes

THE LOCATION OF UTILITES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

FROM OBSERVED ABOVE GROUND APPURTENANCES ONLY AS SHOWN HEREON, GAS, ELECTRIC, STORM SEWER, TELEPHONE, AND WATER LINES AND/OR SERVICE IS AVAILABLE FOR THE SUBJECT PROPERTY WITHIN THE PUBLIC RIGHT OF WAY OR EASEMENTS AS SHOWN.

Legend of Symbols & Abbreviations

	LIGHT POLE		SIGN	DS	DOWNSPOUT
FH	FIRE HYDRANT	GV	GAS VALVE	GM	GAS METER
	HEATING, VENTILATION AIR CONDITIONING UNIT	CO	CLEANOUT	UP	GUY WIRE UTILITY POLE
	CONCRETE	CB	CATCH BASIN	UP	OVERHEAD UTILITY
CM	COMMUNICATION MANHOLE		OLD WIRE FENCE		
MH	MANHOLE			WM	WATER METER
SV	SPRINKLER VALVE		HANDICAP PARKING SPACE		
WV	WATER VALVE		GUARDRAIL		PARKING STOPPERS
UP	UTILITY POLE				
	WATER FAUCET	EB	ELECTRIC BOX	EM	ELECTRIC METER
	UNDERGROUND UTILITY		BALLARD		ENTRANCE DOOR
		PM	PIPELINE MARKER		

STATE OF OHIO
JONATHAN R. EVANS
E-65653
REGISTERED
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6/17/2025
REGISTERED ENGINEER No. 65653

REVISIONS		
DATE	BY	NO. & DESCRIPTION

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168

10K SPEC BUILDING

EXISTING CONDITIONS & DEMO PLAN

ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=30'	N/A

JOB. NO.	20–140
DATE	Jun. 17, 2025

SHEET NO.

C–2

OHIO811 Before You Dig

LEGEND-PROP. FEATURES

- MEDIUM DUTY ASPHALT PAVEMENT
- NEW PORTLAND CEMENT CONCRETE PAVEMENT–HEAVY DUTY
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK
- NEW LIGHT POLE

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF–CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5–7% AIR ENTRAINED.
7. PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.

PARKING TABLE:

PROPOSED PARKING=	8
ADA ACCESSIBLE =	1
TOTAL PARKING	9 SPACES (MIN. 9'X18')

STATE OF OHIO
JONATHAN R. EVANS E-65653 REGISTERED
PROFESSIONAL ENGINEER
6/17/2025
REGISTERED ENGINEER No. 65653

REVISIONS

DATE	BY	NO. & DESCRIPTION

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168

10K SPEC BUILDING

SITE DIMENSION PLAN

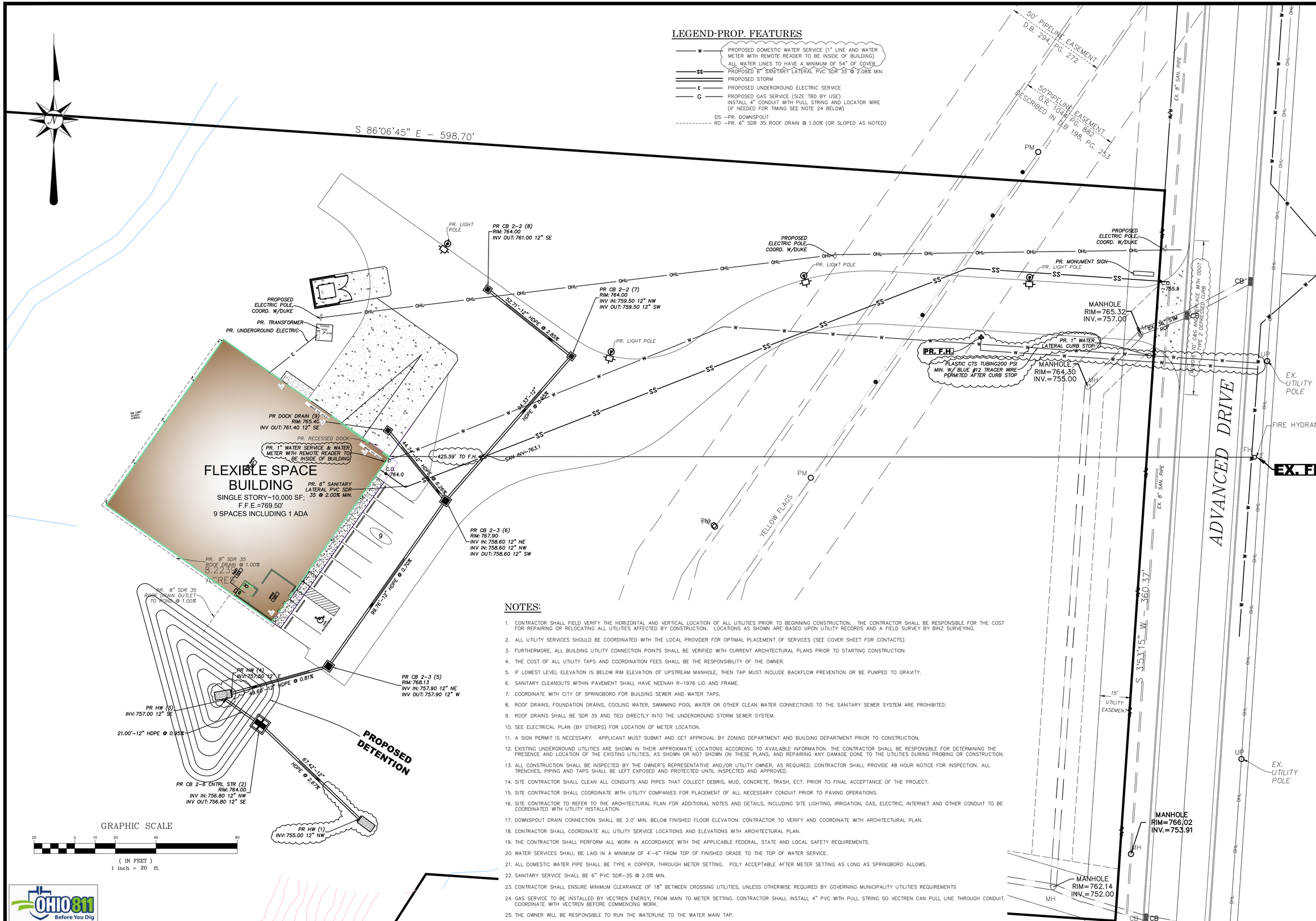
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A

JOB. NO.	20–140
DATE	Jun. 17, 2025

SHEET NO.

C–3



NOTES:

1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY BINZ SURVEYING.
2. ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).
3. FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL PLANS PRIOR TO STARTING CONSTRUCTION.
4. THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
6. SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE NEENAH R–1976 LID AND FRAME.
7. COORDINATE WITH CITY OF SPRINGBORO FOR BUILDING SEWER AND WATER TAPS.
8. ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. ROOF DRAINS SHALL BE SDR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
10. SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER LOCATION.
11. A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES, AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
13. ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR UTILITY OWNER, AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL TRENCHES, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
14. SITE CONTRACTOR SHALL CLEAN ALL CONDUITS AND PIPES THAT COLLECT DEBRIS, MUD, CONCRETE, TRASH, ECT. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
15. SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
16. SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS, INCLUDING SITE LIGHTING, IRRIGATION, GAS, ELECTRIC, INTERNET AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
17. DOWNSPOUT DRAIN CONNECTION SHALL BE 2.0' MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
18. CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
19. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
20. WATER SERVICES SHALL BE LAID IN A MINIMUM OF 4'–6" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER SERVICE.
21. ALL DOMESTIC WATER PIPE SHALL BE TYPE K COPPER, THROUGH METER SETTING. POLY ACCEPTABLE AFTER METER SETTING AS LONG AS SPRINGBORO ALLOWS.
22. SANITARY SERVICE SHALL BE 6" PVC SDR–35 @ 2.0% MIN.
23. CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE REQUIRED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS
24. GAS SERVICE TO BE INSTALLED BY VECTREN ENERGY, FROM MAIN TO METER SETTING. CONTRACTOR SHALL INSTALL 4" PVC WITH PULL STRING SO VECTREN CAN PULL LINE THROUGH CONDUIT. COORDINATE WITH VECTREN BEFORE COMMENCING WORK.
25. THE OWNER WILL BE RESPONSIBLE TO RUN THE WATERLINE TO THE WATER MAIN TAP.

STATE OF OHIO
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CINCINNATI, OHIO 45226
(513) 321-2168

IOK SPEC BUILDING

UTILITY SERVICE PLAN

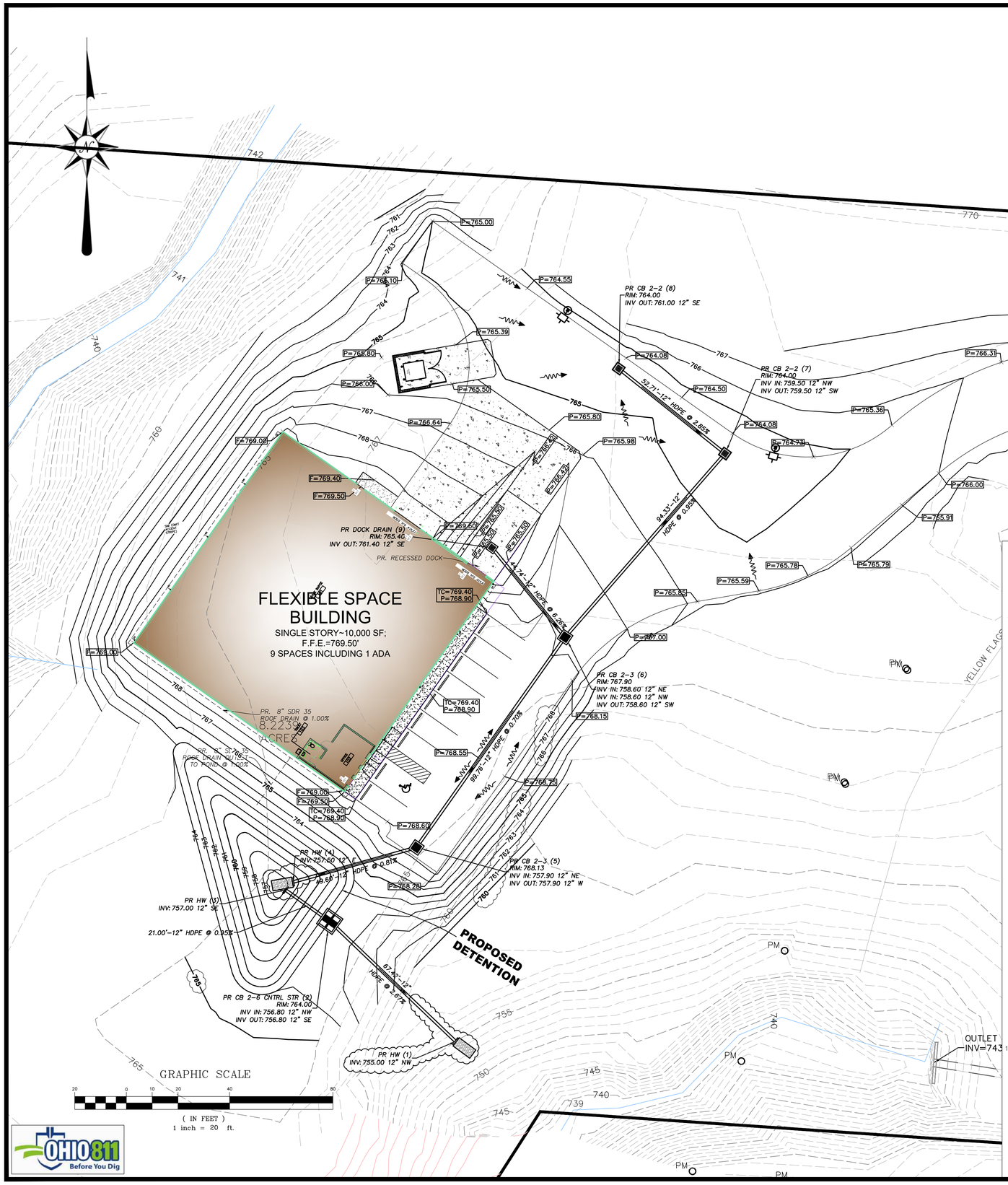
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

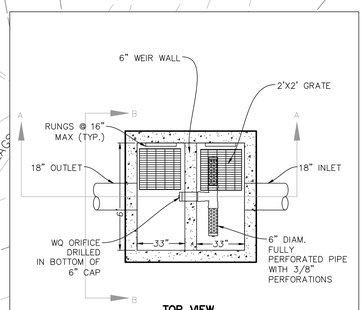
SCALE:	HORIZ.	VERT.
	1"=20'	N/A

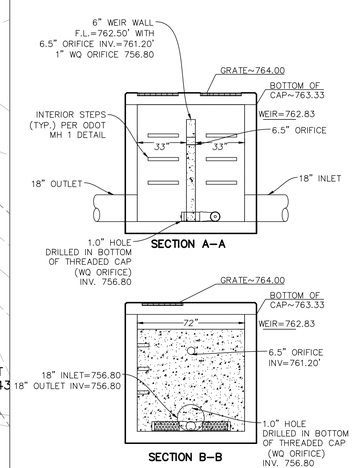
JOB. NO.	20–140
DATE	Jun. 17, 2025

SHEET NO.

C–4







DETENTION CONTROL STRUCTURE
STRUCTURE NO. (2)
MODIFIED ODOT CB 2-6
SCALE: 1" = 4'

A. MAINTENANCE PLANS FOR THE STORM WATER MANAGEMENT PRACTICES

1.The Owner agrees to maintain in perpetuity the storm water management practices in accordance with approved Maintenance Plans listed in #2 below and in a manner that will permit the storm water management practices to perform the purposes for which they were designed and constructed, and in accordance with the standards by which they were designed and constructed, all as shown and described in the approved Comprehensive Storm Water Management Plan. This includes all pipes and channels built to convey storm water to the storm water management practices, as well as structures, improvements, and vegetation provided to control the quantity and quality of the storm water.

2.The Owner shall provide a Maintenance Plan for each storm water management practice. The Maintenance Plans shall include a schedule for monthly and annual maintenance. The Owner shall maintain, update, and store the maintenance records for the storm water management practices. The specific Maintenance Plans for each storm water management practice are as follows:

(a) Stormwater Pond Maintenance. To be completed MONTHLY.
- (1) Remove floating debris.
- (2) Remove woody vegetative growth from pond area including embankments.
- (3) Remove trash and/or accumulated sediment.
- (4) Remove obstructions in orifices and/or outlets.

(b) Stormwater Pond Maintenance. To be completed ANNUALLY.
- (1) Repair erosion to outfall or spillway.
- (2) Repair and/or replace damaged structures, such as catch basins, risers, pipes, and headwalls.
- (3) Repair animal burrows and/or other leaks in the dam structures.
- (4) Remove debris from overflow spillway and grates.
- (5) Mow embankments and remove woody vegetation on embankments.
- (6) Inspect and remove invasive plants.
- (7) Dredge pond on a 3-7 year cycle or as necessary to retain design capacity.

3.The Owner shall perform all maintenance in accordance with the above Maintenance Plan and shall complete all repairs identified through regular inspections.,

GRADING LEGEND

TC=TOP OF CURB ELEVATION
P=FINISHED GRADE (PAVEMENT)
F =FINISHED GRADE
TW=TOP OF WALL
BW=BOTTOM OF WALL

B/C=EXISTING BACK OF CURB GRADE
B/W=EXISTING BACK OF WALL GRADE
EX.=EXISTING GRADE

CONTOUR LEGEND:

EX. CONTOURS
PR. CONTOURS (MAJOR)
PR. CONTOURS (MINOR)

SPECIAL NOTES:

CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER BEFORE COMMENCING EARTHMOVING ACTIVITIES.

TOPSOIL ~6" SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO SEEDING.

CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.

STATE OF OHIO
JONATHAN R. EVANS
E-65653
REGISTERED
PROFESSIONAL ENGINEER
6/17/2025
REGISTERED ENGINEER No. 65653

REVISIONS

DATE	BY	NO. & DESCRIPTION

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168

10K SPEC BUILDING
GRADING PLAN
ADVANCED DR.,
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A

JOB. NO.	20-140
DATE	Jun. 17, 2025

SHEET NO.

C-5

EROSION AND SEDIMENT CONTROL NOTES:

PRE–CONSTRUCTION:

1. THE CONTRACTOR SHALL NOTIFY THE WARREN COUNTY ENGINEER AT LEAST FIVE (5) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND, UNLESS WAIVED BY THE LOCAL AUTHORITY, WILL BE REQUIRED TO HOLD A PRE–CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES FROM THE LOCAL AUTHORITY.

2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:
   A. THE REQUIRED PRE–CONSTRUCTION MEETING
   B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
   C. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE
   D. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES
   E. PRIOR TO FINAL ACCEPTANCE

3. A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.

5. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.

6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION ARE IMPLEMENTED UNLESS IMMEDIATE ACTION IS NECESSARY. IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL SEDIMENT AND EROSION CONTROL INSPECTIONS AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVES UPON REQUEST.

SAFETY:

8. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.

9. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST FORTY TWO (42) INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN EIGHT (8) FEET, HAVE MESH OPENINGS NO GREATER THAN TWO (2) INCHES IN WIDTH AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.

10. STORM DRAIN INLETS IN NON–SUMP AREAS SHALL HAVE TEMPORARY ASPHALT PADS CONSTRUCTED AT THE TIME OF BASE PAVING TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.

11. STOCKPILE SLOPES SHALL NOT BE STEEPER THAN 2:1.

STABILIZED CONSTRUCTION ENTRANCE:

12. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPER OR SCRAPER. DEBRIS SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS.

13. CONSTRUCTION ENTRANCES SHOULD NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES. VEHICLES THAT ENTER AND LEAVE THE SITE SHALL BE RESTRICTED FROM MUDDY AREAS OR CLEANED BEFORE LEAVING SITE.

SEDIMENT TRAPS AND BASINS:

14. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN TWENTY (20) FEET OR AND EXISTING OR PROPOSED FOUNDATION OR TRAFFIC AREA. NO STRUCTURE MAY BE CONSTRUCTED WITHIN TWENTY (20) FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.

15. SEDIMENT TRAPS AND BASINS MUST HAVE STABLE INFLOW AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.

16. SEDIMENT BASINS/TRAPS SHALL NOT BE GREATER THAN FOUR (4) FEET IN DEPTH.

17. SEDIMENT MUST BE CLEANED, AND THE TRAP/BASIN RESTORED TO ITS ORIGINAL DIMENSIONS, WHEN ACCUMULATION REACHES A HEIGHT HALF–WAY UP TO THE TOP OF THE DESIGNED HOLDING AREA.

18. SEDIMENT REMOVED FROM TRAPS AND BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

19. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.

20. SEDIMENT BASINS MUST BE REMOVED WITHIN THIRTY SIX (36) MONTHS AFTER THEIR CONSTRUCTION.

21. OHIO DAM SAFETY LAWS APPLY TO BASINS LARGER THAN FIFTEEN (15) ACRE–FEET (24,000 CY) AS MEASURED TO THE TOP OF THE HOLDING AREA.

TEMPORARY & PERMANENT STABILIZATION:

22. ALL CRITICAL SLOPES (3:1 OR STEEPER) SHALL BE STABILIZED WITH SOD OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ACHIEVING FINAL GRADE.

23. ALL AREAS NOT DRAINING TO A FUNCTIONING SEDIMENT BASIN MUST BE FINAL GRADED AND STABILIZED WITH SOD OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

24. ALL AREAS WITHIN FIFTY (50) FEET OF A STREAM MUST BE STABILIZED WITHIN TWO (2) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

25. ALL AREAS THAT ARE TO REMAIN IDLE, INCLUDING STOCK PILES, FOR FOURTEEN (14) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOD.

26. WHEN THE PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.

27. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP–RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OR ACHIEVING FINAL GRADE.

28. TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

30. FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM PONDING FOR MORE THAN TWENTY FOUR (24) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER (I.E. RETENTION PONDS) DO NOT HAVE TO MEET THIS REQUIREMENT.

31. ALL WASTE AND BORROW AREAS OFF–SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.

OTHER:

32. NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. THE CONTRACTOR MUST IMPLEMENT ALL NECESSARY CONTROL MEASURES TO PREVENT THE DISCHARGE OF POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATER.

33. SEDIMENT MUST BE CLEANED FROM SILT FENCES AND MULCH BERMS WHEN ACCUMULATION REACHES A HEIGHT OF HALF–WAY UP TO THE TOP OF THE FENCE/BERM.

34. SEDIMENT REMOVED FROM SILT FENCES AND MULCH BERMS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

35. ALL SLOPES STEEPER THAN 3:1 REQUIRED GRADE TREATMENT, EITHER STAIR–STEP GRADING, GROOVING, FURROWING, OR TRACKING IF THEY ARE TO BE STABILIZED WITH VEGETATION.

36. AREAS WITH GRADES LESS STEEP THAN 3:1 SHOULD HAVE THE SOIL SURFACE LIGHTLY ROUGHENED AND LOOSE TO A DEPTH OF TWO (2) TO FOUR (4) INCHES PRIOR TO SEEDING.

37. CONSTRUCTION AND DEMOLITION DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE STATUTES.

ADDITIONAL STORMWATER POLLUTION PREVENTION NOTES:

UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.

THE DEVELOPER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. OHC000004–"AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)."

CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.

SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. SEDIMENT BASINS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS RESTABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.

SOIL STOCKPILED MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING TO PREVENT SOIL LOSS.

SILT FENCES AND "INLET FILTERS" ARE TO BE CONTINUOUSLY MAINTAINED BY THE DEVELOPER AND/OR CONTRACTOR UNTIL ALL DANGER OF EROSION/SEDIMENTATION OCCURRING HAS BEEN ELIMINATED.

ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659, AND PER TABLE LISTED ON THIS SHEET "STABILIZATION."

EXCAVATION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.

THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF–SITE.

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

THE DEVELOPER AND/OR CONTRACTOR SHALL PERFORM REGULAR STREET SWEEPING TO MINIMIZE SEDIMENTS TO THE PROPOSED STORM SEWER SYSTEM.

UPON REQUEST OF THE OHIO EPA, OR LOCAL JURISDICTION, THE CONTRACTOR SHALL PROVIDE ALL NPDES PERMIT REPORTS AND A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR SHALL ALLOW THE OHIO EPA, OR LOCAL JURISDICTION, TO ENTER THE SITE TO INSPECT AND MONITOR ALL EROSION CONTROL MEASURES.

DUMPSTERS AND PORT–O–LETS ARE NOT TO BE CLOSER THAN 20' FROM THE PROPERTY LINES.

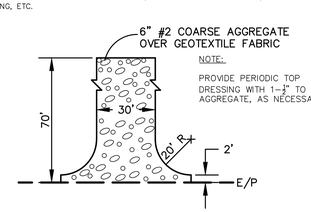
SPECIAL NOTES:

1. DURING CONSTRUCTION, THE PROPERTY MUST HAVE A MINIMUM TWENTY (20) FOOT WIDE CONSTRUCTION ENTRANCE MAINTAINED OF STONE MATERIAL.

2. AT THE CONSTRUCTION ENTRANCE TO THE PROPERTY, THERE MUST BE A WATER SOURCE AND TIRES OF CONSTRUCTION VEHICLES MUST BE RINSED TO MINIMIZE ANY DIRT WHICH WOULD MIGRATE FROM THE PROPERTY.

3. DURING CONSTRUCTION, DEBRIS MUST BE REMOVED AS APPROPRIATE, BUT AT LEAST WEEKLY.

4. DURING CONSTRUCTION, EROSION CONTROL MUST BE MAINTAINED ON THE PROPERTY INCLUDING PERIMETER CONTROL, E.G. STRAW BALE BARRIERS, EROSION FENCING, ETC.



NOTE:

PROVIDE PERIODIC TOP DRESSING WITH 1–1" TO 3–1" AGGREGATE, AS NECESSARY.

STABILIZED CONSTRUCTION ENTRANCE

(ONLY IF NECESSARY)
NO SCALE

TEMPORARY AND PERMANENT SEEDING:

1.1 SEEDBED PREPARATION

A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) ON ACID SOIL (ph=5.5 OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.

B. FERTILIZER (IN LIEU OF A SOILS TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12–15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10–10–10 OR 12–12–12 ANALYSIS OR EQUIVALENT.

1.2 SEEDING

1. TEMPORARY SEEDING MIXTURE

SEEDING PERIOD	TYPE	RATE (1000 SF)
SPRING AND SUMMER	1. OATS	3 LBS
	2. PEREN. RYEGRASS	1 LBS
	3. TALL FESCUE	1 LBS
FALL	1. PEREN. RYEGRASS	1 LBS
	2. RYE	3 LBS
	3. WHEAT	3 LBS
	4. TALL FESCUE	1 LBS

2. PERMANENT SEEDING MIXTURE

SEEDING PERIOD	TYPE	RATE (1000 SF)
SPRING, SUMMER, AND FALL	1. CREEPING RED FESCUE	0.5 LBS
	DOMESTIC RYEGRASS	0.25 LBS
	KENTUCKY BLUEGRASS	0.25 LBS
	2. TALL FESCUE	1 LBS
	3. DWARF FESCUE	1 LBS

2–1 SEEDING FOR STEEP BANKS OR CUTS

SPRING, SUMMER, AND FALL	1. TALL FESCUE	1 LBS
	2. CROWNVETCH	0.25 LBS
	TALL FESCUE	0.50 LBS
	3. FLATPEA	0.50 LBS
	TALL FESCUE	0.50 LBS

2–2 SEEDING FOR WATERWAYS AND ROAD DITCHES

SPRING, SUMMER AND FALL	1. TALL FESCUE	1 LBS

B. APPLY THE SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SEEDBED. SEED WHEAT OR RYE NO DEEPER THAN ONE (1) INCH. SEED RYEGRASS NO DEEPER THAN ONE QUARTER (¼) OF AND INCH.

TEMPORARY AND PERMANENT SEEDING(CONT.)

C. WHEN FEASIBLE, EXCEPT WHERE A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHEREVER POSSIBLE.

D. OTHER SEEDING SPECIES MAY BE SUBSTITUTED FOR THESE MIXTURES.

E. THESE SEEDING RATES NEED TO BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAWN.

2. DORMANT SEEDING

A. TEMPORARY SEEDING–AFTER NOVEMBER 1, USE MULCH ONLY.

B. PERMANENT SEEDING– SEEDINGS SHOULD NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20. THE FOLLOWING METHODS MAY BE USED TO MAKE A "DORMANT SEEDING";

1. FROM OCT. 1 THROUGH NOV. 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOV. 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.

2. FROM NOV. 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, AND MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.

3. MULCHING

A. MULCH SHALL CONSIST OF SMALL GRAIN STRAW (PREFERABLY WHEAT OR RYE) AND SHALL BE APPLIED AT THE RATE OF TWO TONS PER ACRE OR 100 POUNDS PER 1000 SF.

B. SPREAD THE MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED.

C. MULCH ANCHORING METHODS:
1. MECHANICAL– USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH INTO THE SOIL.
2. ASPHALT EMULSION–APPLY AT THE RATE OF 160 GALLONS PER ACRE INTO THE MULCH AS IT IS BEING APPLIED.
3. MULCH NETTING–USE ACCORDING TO THE MANUF. RECOMMENDATIONS.

4. IRRIGATION

SUPPLY NEW SEEDLINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FIRMLY ESTABLISHED.

STABILIZATION:

DISTURBED AREAS MUST BE STABILIZED AS FOLLOWS:

PERMANENT STABILIZATION

Area requiring permanent stabilization	Time frame to apply erosion controls
Any area that will lie dormant for one year or more	Within seven days of the most recent disturbance
Any area within 50 feet of surface water of the state and at final grade	Within two days of reaching final grade
All other areas at final grade	Within seven days of reaching final grade within that area

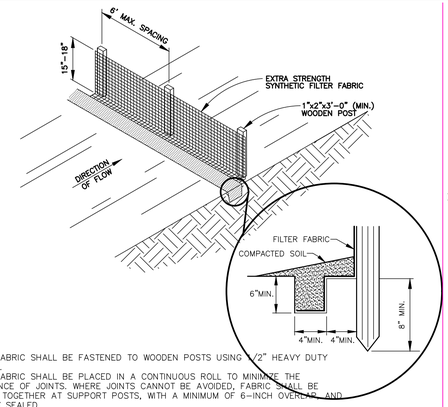
TEMPORARY STABILIZATION

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbed areas within 50 feet of surface water of the state and not at final grade	Within two days of the most recent disturbance if the area will lie dormant for more than 14 days
For all construction activities, any disturbed areas that will be dormant for more than 14 days but less than one year, and not within 50 feet of surface water of the state	Within seven days of the most recent disturbance within the area
Disturbed areas that will be idle over winter	Prior to the onset of winter weather

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. INSTALL STORMWATER MANAGEMENT SYSTEMS. INLET FILTERS SHALL BE INSTALLED CONCURRENTLY WITH THE CONSTRUCTION OF THE STRUCTURE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE, AND UPSTREAM AREAS HAVE BEEN STABILIZED.
5. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
6. GRADING OF ROADS, STREETS, OR PARKING AREAS, ETC.
7. INSTALLATION OF ALL UTILITIES.
8. SITE CONSTRUCTION.
9. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
10. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

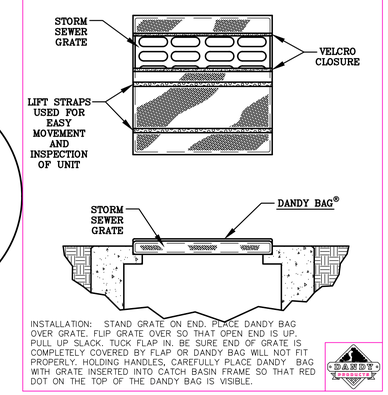


NOTES:

FILTER FABRIC SHALL BE FASTENED TO WOODEN POSTS USING ½" HEAVY DUTY STAPLES.
FILTER FABRIC SHALL BE PLACED IN A CONTINUOUS ROLL TO MINIMIZE THE OCCURANCE OF JOINTS. WHERE JOINTS CANNOT BE AVOIDED, FABRIC SHALL BE SPLICED TOGETHER AT SUPPORT POSTS, WITH A MINIMUM OF 6–INCH OVERLAP, AND SECURLY SEALED.

SILT FENCE (SF) DETAIL

NO SCALE



INSTALLATION: STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

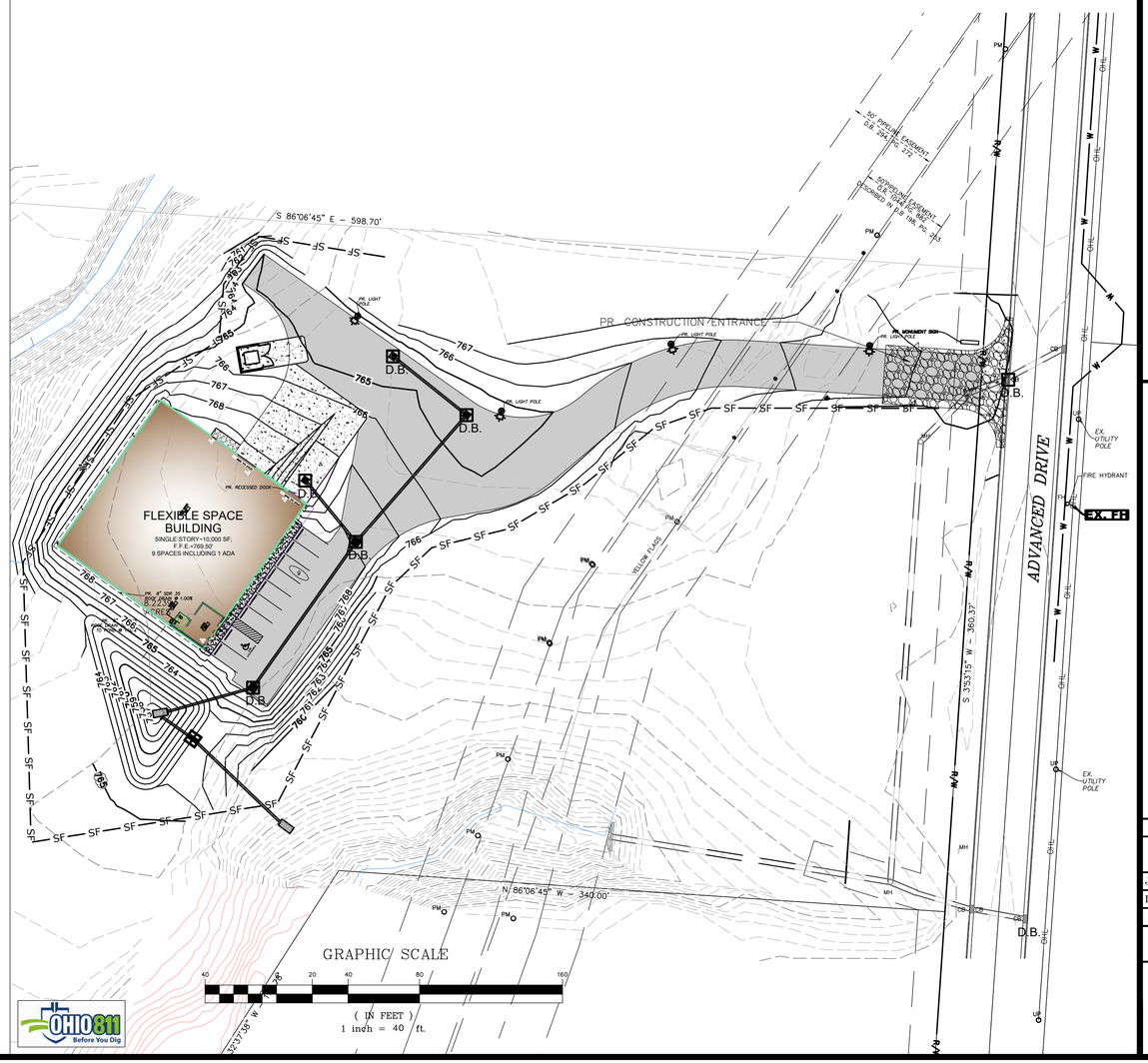
DETAIL OF INLET SEDIMENT CONTROL DEVICE DANDY BAG (DB)

EROSION CONTROL LEGEND

SF — SILT FENCE

D.B. — DANDY BAG OR APPROVED EQUAL INLET PROTECTION FILTER

CONSTRUCTION ENTRANCE



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STATE OF OHIO
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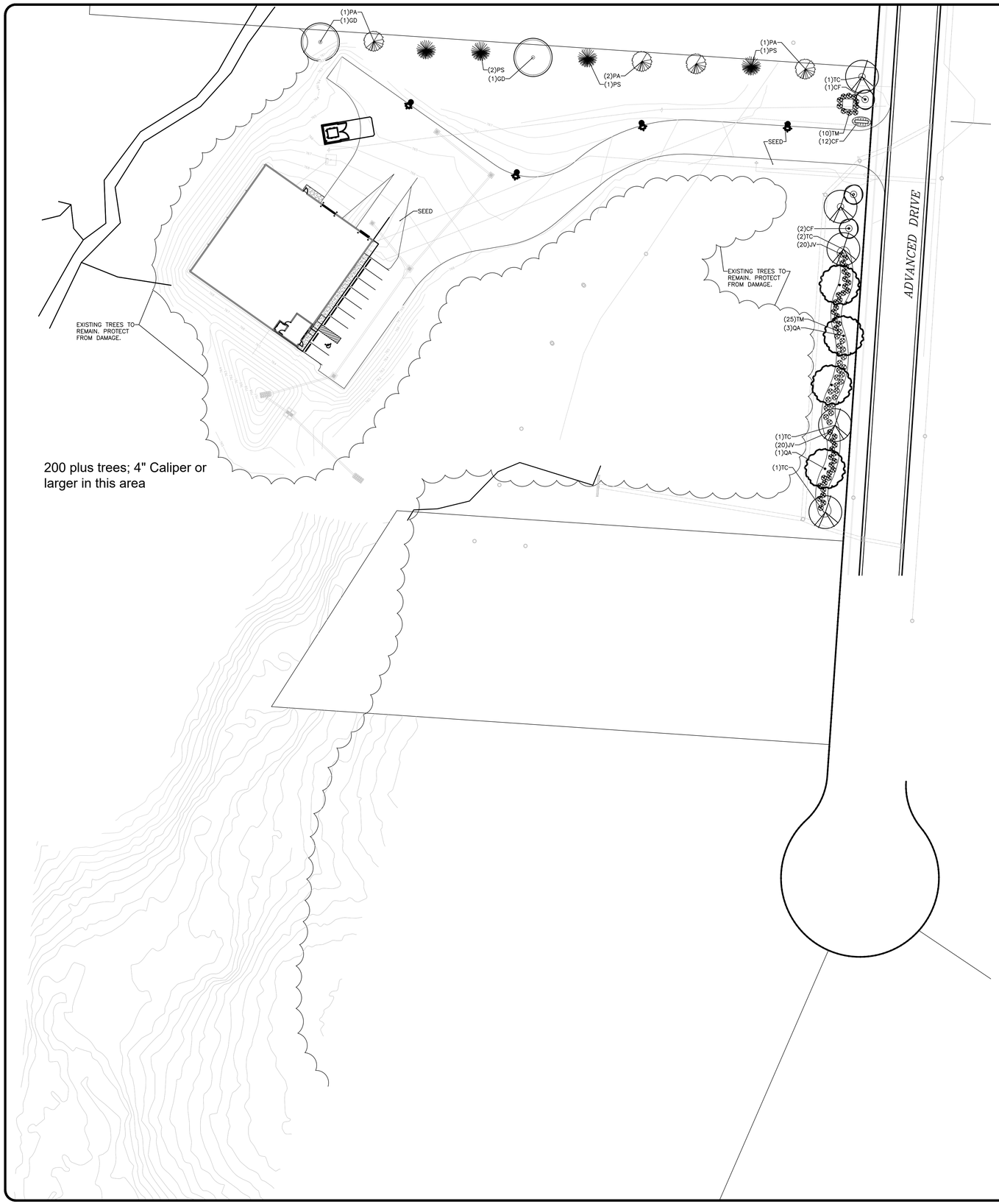
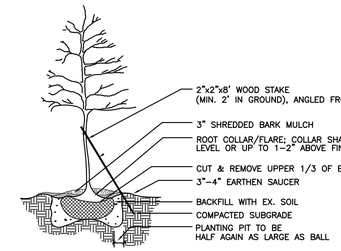
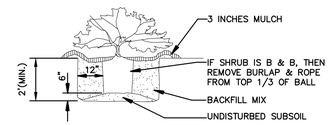


200 plus trees; 4" Caliper or larger in this area



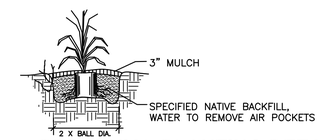
TYPICAL TREE PLANTING DETAIL

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



PERENNIAL PLANTING DETAIL

NOT TO SCALE

GENERAL LANDSCAPE NOTES:

1. ALL PLANTING BEDS TO BE TILLED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PLANTING BEDS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL AND TILL WITH LOOSED SUBGRADE. GRADE PLANTING BEDS TO A SMOOTH, UNIFORM GRADE.
2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.
5. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AND EDGED, SEE DETAILS.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN UNTIL THE WORK IS ACCEPTED BY THE OWNER, OR OWNER REPRESENTATIVE.
11. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
12. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
13. WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE INCHES. APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING.
14. ALL DECIDUOUS TREES SHALL BE STAKED OR OTHERWISE SUPPORTED AS APPROPRIATE TO GROW STRAIGHT.
15. ALL TREES SHALL BE MULCHED AROUND THE BASE OF THE TRUNK WITH A MINIMUM DIAMETER OF THREE FEET OF MULCH.

SEEDING

(1) ALL DISTURBED AREAS SHOULD BE FINE GRADED AND SEEDED IMMEDIATELY AFTER CONSTRUCTION. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURE'S WRITTEN RECOMMENDED RATE.
(2) TILL AREAS TO BE SEEDED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER.
(3) RAKE SEED LIGHTLY INTO TOP OF TOPSOIL, ROLL LIGHTLY, AND WATER.
(4) PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 WITH EROSION CONTROL FIBER MESH.
(5) PROTECT SEEDED AREAS WITH STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO A DEPTH OF 1" OVER SEEDED AREAS.

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	REMARKS
CANOPY/ORNAMENTAL TREES						
CF	3	Cornus florida 'Cloud 9'	Cloud 9 Flowering Dogwood	1.5" cal.	B&B	
GD	2	Gymnocladus dioicus	Kentucky Coffee Tree	2.5" cal.	B&B	Straight Central Leader
PA	4	Picea abies	Norway Spruce	6' ht.	B&B	
PS	4	Pinus strobus	Eastern White Pine	6' ht.	B&B	
QA	4	Quercus alba	White Oak	2.5" cal.	B&B	Straight Central Leader
TC	5	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2.5" cal.	B&B	Straight Central Leader
SHRUBS/PERENNIALS						
JV	40	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper		#3 cont.	
NF	12	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint		#1 cont.	
TM	35	Taxus x media 'Densformis'	Densformis Yew		#3 cont.	

LANDSCAPE REQUIREMENTS		
	REQUIRED	PROVIDED
LANDSCAPING ADJACENT TO ROADS	322 LF OF FRONTAGE (360' LF OF ROAD - 38' DRIVE) 1 TREE PER 40 LF OF ROADWAY = 9 TREES REQUIRED 1 ORNAMENTAL TREE PER 100 LF = 3 ORNAMENTAL TREES REQUIRED 1 SHRUBS PER 5 LF = 65 SHRUBS REQUIRED	9 TREES ORNAMENTAL TREES 3 65 SHRUBS
BUFFER	10-FT. WIDE BUFFER AND 1 TREE PER 40 FT. NORTH PROPERTY LINE, 600LF = 15 TREES SOUTH PROPERTY LINE, 340 LF = 9 TREES	NORTH PROPERTY LINE = 11 PROPOSED TREES AND EXISTING TREES TO REMAIN SOUTH PROPERTY LINE = EXISTING TREES TO REMAIN
SITE LANDSCAPING	1 TREE PER 3,000 SF OF LOT AREA = 108 TREES REQUIRED	OVER 230,000 SF OF EXISTING WOODED AREA TO REMAIN

GRAPHIC SCALE IN FEET

40 20 0 40 80 120

1 INCH = 40 FEET

UNDERGROUND UTILITIES
TWO WORKING DAYS
BEFORE YOU DIG
CALL 1-800-362-2764 (TOLL FREE)
OHIO UTILITIES PROTECTION SERVICE

REVISION NUMBER:	DATE:	REMARKS:

2K LA
2K Landscape Architecture
3234 Harvest Avenue
Cincinnati, Ohio 45213
513.228.8372
www.2KLandscapeArchitecture.com

10K SPEC BUILDING
LANDSCAPE PLAN

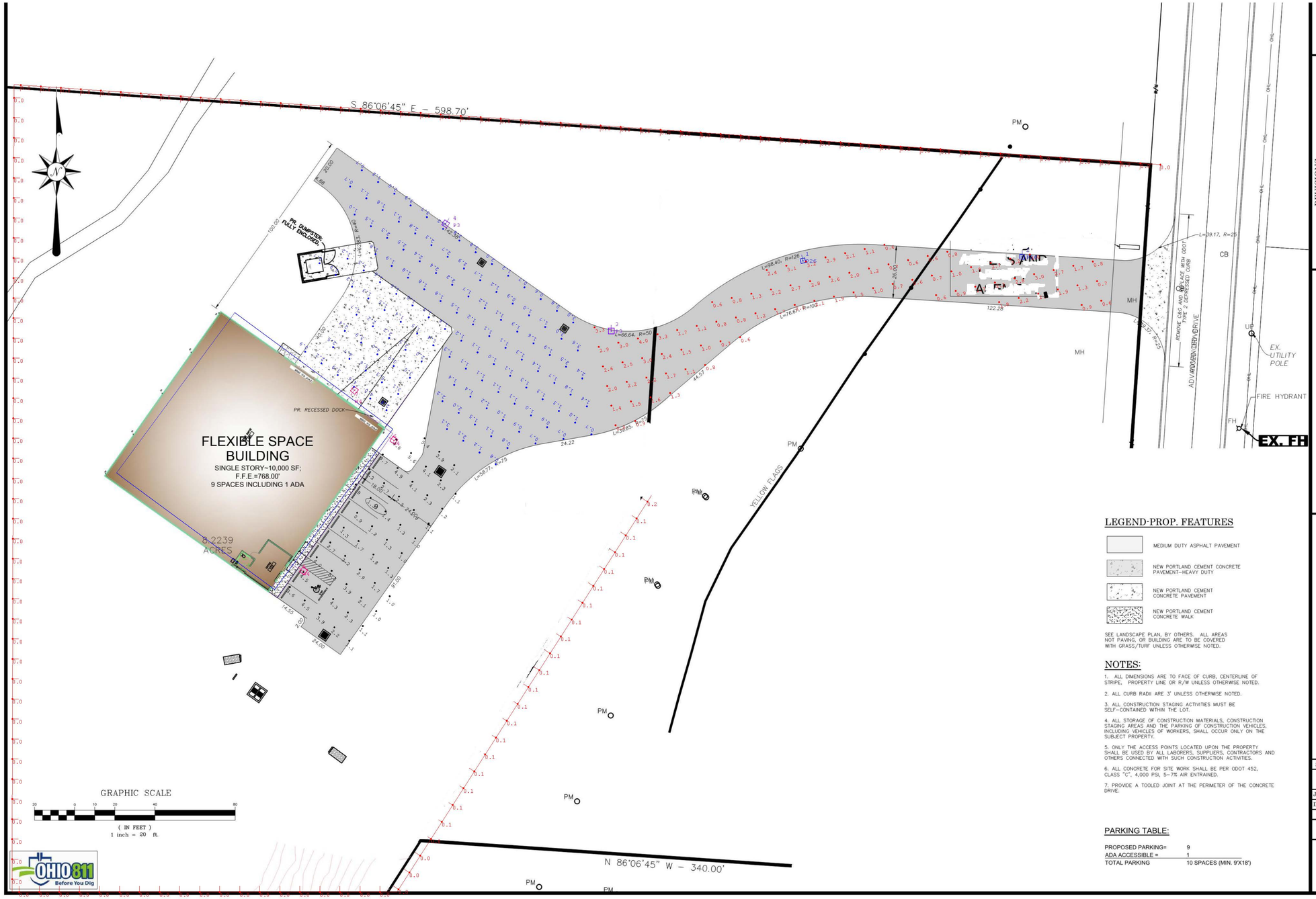
ADVANCED DRIVE
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

OWNER:

PROJECT NO.: 2025-16

DATE: JUNE 17, 2025
DRAWN BY: KTC
CHECKED BY: KTC
SCALE: 1"=40'

SHEET:
L-1



LEGEND-PROP. FEATURES

- MEDIUM DUTY ASPHALT PAVEMENT
- NEW PORTLAND CEMENT CONCRETE PAVEMENT–HEAVY DUTY
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF–CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5–7% AIR ENTRAINED.
7. PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.

PARKING TABLE:

PROPOSED PARKING=	9
ADA ACCESSIBLE =	1
TOTAL PARKING	10 SPACES (MIN. 9'X18')

REVISIONS		
DATE	BY	NO. & DESCRIPTION

10K SPEC BUILDING

ADVANCED DR.

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
		N/A
JOB NO.	20–140	
DATE	May. 19, 2025	

SHEET NO.

Lighting Design Disclaimer

This Lighting Analysis, exhibit, layout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by "YOUR COMPANY" represents an anticipated prediction of lighting system performance based upon design parameters and information provided by others. Actual results may vary from the anticipated results shown in the Lighting Design because actual conditions and parameters and other information be field verified to reduce variation. "YOUR COMPANY" neither warranties, either implicit or explicit, the accuracy of the information provided by others. Actual performance may differ from the Lighting Design because actual measured results may vary from the anticipated results shown in the Lighting Design. "YOUR COMPANY" neither warranties, either implied or stated, not represents the component to those illustrated by the Lighting Design. Lighting Design listed as compliant with any applicable regulatory code requirements with the exception of those specifically identified in the Lighting Design documents. "YOUR COMPANY" The Lighting Design documents, in whole or in part, is advisory documents for informational purposes and is not intended for construction nor as being part of or preparation for construction documentation package.

Scale: as noted

Date:6/13/2025

Filename: LEBANON PREFORMANCE ADVANCE DR revised.AGI

Drawn By: TONY BROWN

Job Name:
ADVANCE DR
LOT 6

Lighting Layout
Version revision 613

Prepared For:
PERFORMANCE
ELECTRIC

Filename: C:\Users\Tony Brown\OneDrive - cooperelectricalsales.com\Desktop\CES ONEDRIVE\AGI PROJECTS 2025\lebanon performance\LEBANON PREFORMANCE ADVANCE DR revised.AGI

cooper ELECTRICAL SALES

Scale: 1 inch= 24 Ft.

Final Approval, Site Plan Review 95 Commercial Way, PS One, Haas Factory new building

City of Springboro
320 West Central Avenue
Springboro, OH 45066
Phone: (937) 748-4343
Fax: (937) 748-0815
www.ci.springboro.oh.us

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS
CITY OF SPRINGBORO PLANNING COMMISSION

☒ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☒ Owner
☐ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: PS ONE LLC

Address: 1029 Central Ave
Middletown, Ohio 45044

Telephone No. (513) 727-8888

Fax No. (513) 727-9940

Email Address paul@pspropertiesinc.com

PROPERTY OWNER NAME (IF OTHER): _____

Address: _____

Telephone No. (_____) _____

Property Address or General Location: 95 Commercial Way, Springboro, OH 45066

Parcel Number(s): 0425226021 Zoning District: ED- Employment Center District

Proposed Use: Commercial use for HAAS Factory

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

Paul Sivak
(Signature of Applicant and/or Agent)

04/08/2025
(Date)

Paul Sivak
Printed Name

SITE DEVELOPMENT PLANS FOR:

HAAS FACTORY OUTLET

95 COMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

DEVELOPMENT / DESIGN TEAM

OWNER / DEVELOPER
PS Properties
Contact: Paul Sivak
Phone: 513.727.8888
Email: paul@psproperties.com

CIVIL ENGINEER / CONSULTANT
Burkhardt Engineering
Contact: Jonathan Burkhardt
Phone: 937.388.0060
Email: jdburkhardt@burkhardtinc.com

PROJECT SUMMARY

Project will include the demolition and removal of utilities, vegetation, pavement, etc. as necessary to construct the HAAS Factory Outlet and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

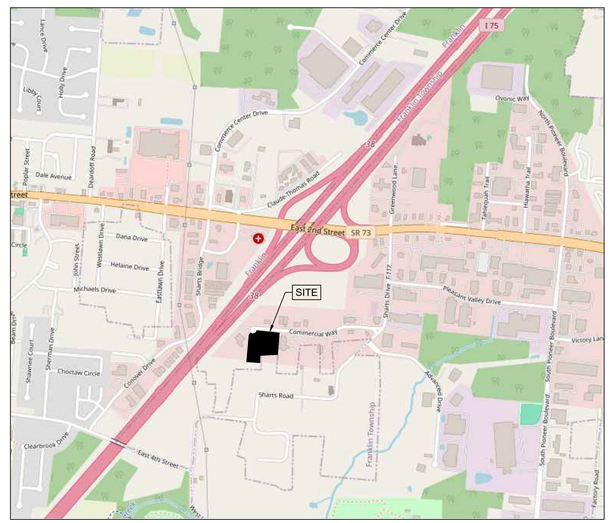
PROPERTY INFORMATION

Address: 95 Commercial Way, Springboro, Ohio 45066
Legal Description: Lot #1 of Springboro Commerical Park Section Four of the City of Springboro.
Area: 2.9876 acres
Zoning: ED - Employment Center District
Flood Zone Designation: FIRM # 39165C0017E, effective date: December 17, 2010
Zone "X" : Areas determined to be outside the 0.2% annual chance floodplain.

SHEET INDEX

C-0.0 : Title Sheet
C-0.1 : General Notes
C-1.0 : Existing Conditions
C-1.1 : Demolition Plan
C-2.0 : Site Plan
C-3.0 : Grading & Erosion Control Plan
C-4.0 : Utility Plan
C-5.0 : Details
L1 : Landscape Plan
S1 : Lighting Plan

Note: Architectural, Structural, Mechanical, Electrical and Plumbing Plans in separate set.



VICINITY MAP
Not to Scale

CIVIL ISSUE LOG	
Description	Date
Issued for Permit Review	03.21.2024
Revised per City Comments	06.20.2025

Item	Description	Date
1	REVISED PER CITY COMMENTS	06.20.2025

SITE DEVELOPMENT PLANS FOR:
HAAS FACTORY OUTLET
95 COMMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

BURKHARDT
ENGINEERS • SURVEYORS
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-0060 | BURKHARDTINC.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: AFD	Proj: 25.115
Draw: AFD	Dwg:
Check: SRF	Tab:
Scale: SEE SHEET	
Date: 03.28.2024	
Sheet: TITLE SHEET	
Sheet No.: C-0.0	

811
Know what's below.
Call before you dig.

W:\Civil 3D Projects\25.115 - PS Properties - 95 Commercial Way_CAD\CIVIL\Sheets\GENERAL.dwg 6/9/2025 4:08 PM Andrew Doerfler

GENERAL CONSTRUCTION NOTES

1. Site/Civil Specifications: All plans, construction, materials, workmanship, and methods shall be in accordance with the current "Rules and Regulations" of City of Springboro and the Ohio Department of Transportation Construction and Material Specifications, current edition. When in conflict, the City requirements shall prevail.
2. Prior to the start of construction, the Contractor shall be responsible for ensuring that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and reviewed all plans and other documents approved by all the permitting authorities. The Contractor shall post all bonds, pay all fees, and provide proof of insurance as required to obtain permits.
3. All sediment and erosion control measures, as shown on Sheet C-3.0, shall be in place prior to the start of any demolition, clearing and grubbing, or construction operations. Erosion control measures shall conform to all Local, State, and Federal regulations and requirements.
4. North arrow, existing topography, and property lines based on field survey of the subject property prepared by Burkhardt Engineering in February 2025. An ALTA/NSPS Land Title Survey was not performed, survey may not depict any or all easements impacting the subject property. A boundary survey was not completed on the property.
5. Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor shall contact "811", 72 hours before commencement of work and verify all utility locations.
6. The Contractor shall provide and maintain traffic control devices for protection of vehicles and pedestrians consisting of drums, barriers, signs, lights, fences and uniformed traffic officers as required by Local and State Authorities.
7. The Contractor shall protect all iron pins, monuments and property corners during construction. Any Contractor disturbed pins, monuments, etc. shall be reset by a Professional Land Surveyor (Registered with the State) at the expense of the Contractor.
8. Any disturbance incurred to any adjacent properties or public right-of-way during demolition and construction shall be restored to its original condition or better, in accordance with and to the satisfaction of Local and State Authorities.
9. The Contractor shall abide by all OSHA, Federal, State, and Local regulations when operating cranes, booms, hoists, etc. in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact the local Utility Provider to make arrangements for proper safeguards.
10. All material schedules shown on the plans are for general information only. The Contractor shall prepare their material schedules based upon their plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.
11. The Contractor shall review all plans prior to construction and immediately report any conflicts and/or discrepancies to the engineer-of-record.
12. All work within public rights-of-way shall be in accordance with the City of Springboro and the Ohio Department of Transportation rules, specifications, and regulations.

GENERAL DEMOLITION NOTES

1. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
2. All items noted to be removed shall be done as part of the contract for general construction.
3. Remove and dispose of any materials requiring removal from the work area in an approved off-site landfill.
4. The Contractor shall secure all permits for demolition and disposal of demolition material to be removed from the site. The Contractor shall post all bonds and pay all permit fees as required.
5. The Contractor shall cut and plug, or arrange for the appropriate utility company to cut and plug service piping at the property line or at the main (as required). All services may not be shown on this plan.
6. For all items noted to be removed, remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, slabs, gravel fills, tree roots, pipes, wires, unsuitable materials, etc.
7. The Contractor shall sawcut existing pavement to provide a clean edge between existing pavement to remain and existing pavement to be removed.
8. Limits of removal and sawcut lines shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
9. Backfill excavations resulting from demolition work to meet the requirements for fill outlined in the Geotechnical / Soils Report if available.

GENERAL SITE NOTES

1. Building dimensions shown on the Civil Engineering Plans are for reference purposes only. The Contractor shall use the Architectural and Structural Plans for exact building dimensions.
2. All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
3. All dimensions to the building are referenced to the outside face of the foundation wall.
4. All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
5. All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
6. All ADA accessible routes shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
7. Contractor shall sawcut existing pavement to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
8. All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be tool finished and spaced as follows:
   Curbing: 10'-0" (max) spacing.
   Sidewalks: 5'-0" (max) spacing.
   Vehicular Traffic Areas: 24 x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.

GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
    Ramps - 1:12 (8.3%) max.
    Routes - 1:20 (5.0%) max.
    Parking - 1:50 (2.0%) max.
    Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
14. The Contractor shall establish permanent lawn vegetation (grass) in all areas disturbed by construction (including rights-of-way and adjacent properties), unless otherwise specified on landscape plans. Seed mixture, application rate, mulch, fertilization, and watering shall be appropriate for the local climate and soil conditions, to ensure a healthy stand of lawn. Provide Owner with alternate pricing for hydroseed.
15. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
16. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
17. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.
18. The Contractor shall provide geotextile weed mat under all landscape mulch/stone and rip-rap.
19. If field tiles are encountered, notify Engineer, field tiles will likely need to be replaced and connected to storm sewer system.
20. Proposed spot elevations are provided in a truncated form to save space, add 700' to each spot elevation to convert the elevation to NAVD88 datum.

GENERAL UTILITY NOTES:

1. All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
2. Contractor to coordinate with the local utility companies for all locations and connections. A preconstruction meeting with the various utility companies may be required prior to the start of any construction activity.
3. The Contractor shall visit the site and verify the location, elevation, and condition of all existing utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where existing and proposed utility lines cross, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact the Engineer in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
4. The Contractor shall ensure that all utility companies and local standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective utility company. The Contractor shall coordinate work to be performed by the various utility companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
5. This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
6. All valve boxes and curb boxes shall be adjusted to the final grades and located in grassed areas unless indicated otherwise on the plans.
7. The Contractor shall provide traffic bearing concrete collars and lids for all cleanouts, manholes, inlets, valves, etc. which are located in paved areas.
8. All existing pavement within the rights-of-way where utility piping is to be installed shall be saw cut and replaced or directionally bored in accordance with Local and/or State requirements. Existing pavement shall be repaired as necessary.
9. All utility lines and trenches shall be installed, bedded and backfilled according to manufacturer's specifications and to the satisfaction of Local and State Authorities.
10. Sanitary sewer laterals shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed, Contractor shall center one joint of pipe at crossing.
11. Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.
12. The Contractor shall prepare and submit shop drawings of all site utility structures and materials to engineer-of-record for review, prior to ordering materials or construction.

SANITARY SEWER NOTES:

Contractor to provide 6" (min.) sanitary sewer service line from building to public sewer main. Install tap, manholes, cleanouts and other appurtenances as required by the local utility provider. Coordinate building connection with plumbing plans.

All sanitary sewer pipe shall be P.V.C. SDR 35, ASTM D-3034 with joints conforming to ASTM 3212. All pipe shall be installed in accordance with the manufacturer's recommended procedures and shall maintain a minimum slope of 2.00%.

Sanitary sewer clean-outs shall be installed at all sewer pipe bends, angles, and junctions, unless a manhole is indicated. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars. Cleanout spacing should not exceed 100'. Per detail / Sheet C-4.0.

Contractor to confirm sanitary inverts shown on this plan (as they exit the building) match what is provided on the Plumbing Plans, notify engineers of any conflicts.

Sanitary sewer service connection, permit and construction to be coordinated with the City of Springboro.

WATER NOTES:

Contractor to provide domestic water service from public water main to building. Install tap, valves, meter, backflow preventer, and other appurtenances as required by the local utility provider. Coordinate building connection with Plumbing Plans.

Contractor to provide 1" domestic water service line from public water main to building. Install tap, meter, backflow preventer, and other appurtenances as required by the City of Springboro. Coordinate building connection with Plumbing Plans.

Domestic water service lines shall be Type "K" Copper, or approved equivalent, installed per manufacturer's recommended procedures. Lines shall be installed with a minimum cover of 42" or below frost line, whichever is greater.

Water service connection, meter, permit and construction to be coordinated with the City of Springboro.

STORM SEWER NOTES:

All storm sewer shall be reinforced concrete pipe (RCP, ASTM C76 - Class IV, minimum) or high-density polyethylene pipe (ADS N-12 WT, watertight, or equivalent), unless otherwise noted on plans. All pipe shall be installed according to manufacturer's specifications. All storm sewer pipe and joints to be watertight, including the downspout collection system.

Contractor to provide downspout splash blocks at all downspout locations per detail on Sheet C-4.0. See architectural plans for downspout locations.

All catch basins installed in sump areas to have finger drains as detailed on Sheet C-4.0

Contractor to provide steps, as required by ODOT and OSHA, in all catch basins and manholes.

Storm sewer connection, permit and construction to be coordinated with the City of Springboro.

GAS NOTES:

Coordinate gas service lines, meter, and connections with Plumbing and Mechanical Plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

ELECTRIC NOTES:

Coordinate electric service lines, transformer, meter, and connections with Electrical Plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

Coordinate site lighting, signage wiring, conduit locations, connections, etc. with electrical plans. Notify Engineers of any potential conflicts.

TELECOM NOTES:

Coordinate telecommunication service lines and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

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Item	Description	Date
1	REVISED PER CITY COMMENTS	06.20.2025

SITE DEVELOPMENT PLANS FOR:
HAAS FACTORY OUTLET
95 COMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

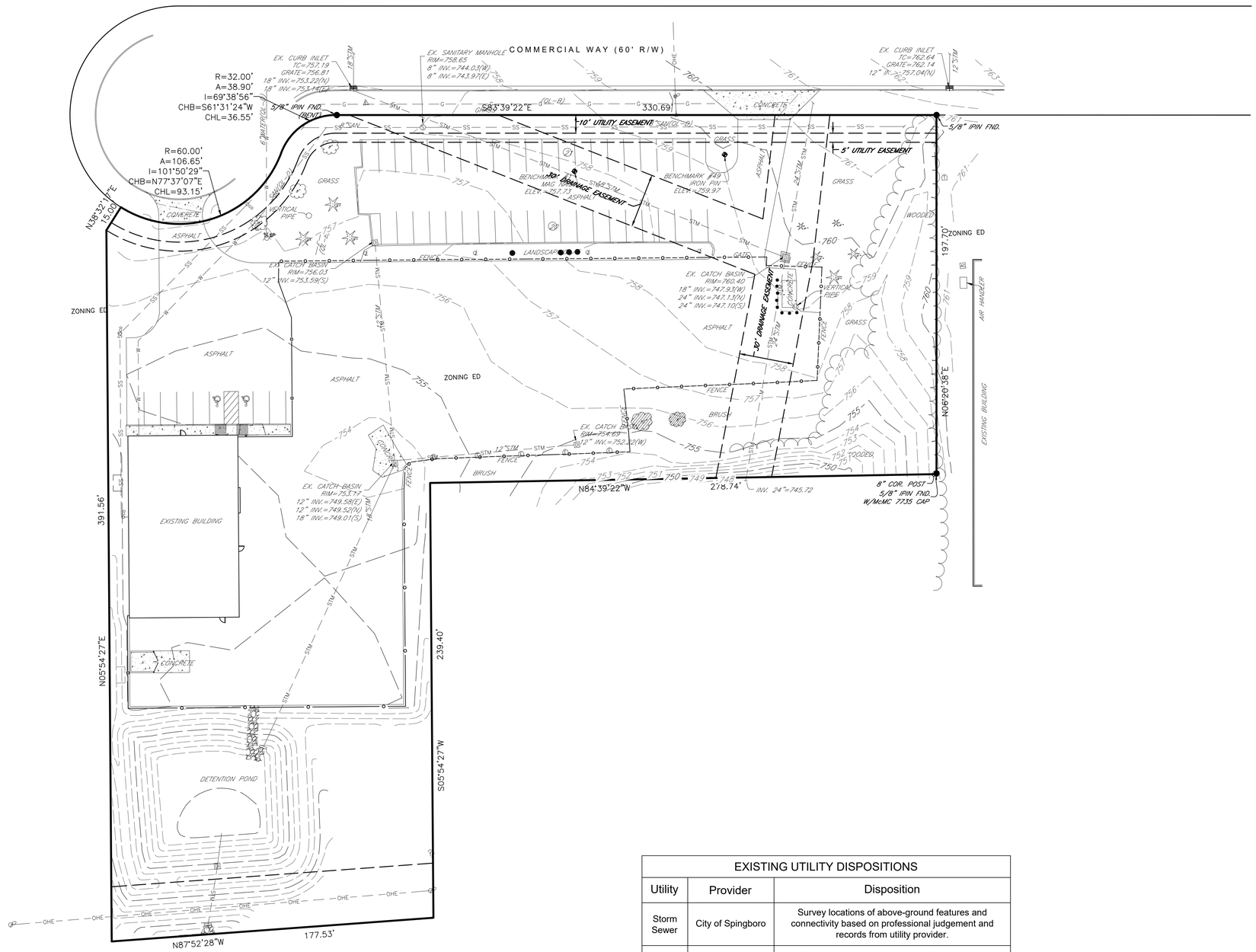
BURKHARDT ENGINEERS ▾ SURVEYORS
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-0060 | BURKHARDTINC.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: AFD	Proj: 25.115
Draw: AFD	Dwg:
Check: SRF	Tab:
Scale: SEE SHEET	

Date: 03.28.2024

Sheet: GENERAL NOTES

Sheet No.: C-0.1



GRAPHIC SCALE

20 0 10 20

1 inch = 20 ft.

EXISTING UTILITY DISPOSITIONS		
Utility	Provider	Disposition
Storm Sewer	City of Spingboro	Survey locations of above-ground features and connectivity based on professional judgement and records from utility provider.
Water	City of Springboro	Survey location of above-ground features and connectivity based on record drawings from utility provider and Owner. Existing service locations unknown.
Sanitary Sewer	City of Springboro	Survey locations of above-ground features and connectivity based on professional judgement and records from utility provider. Existing service locations unknown.
Gas	CenterPoint Energy	Survey locations of above-ground features. No records from utility provider. Existing service locations unknown.
Electric	Duke Energy	Survey locations of above-ground features. No records from utility provider. Existing main and service locations unknown.
Telecom	Unknown	Survey locations of above-ground features. No records from utility provider. Existing main and service locations unknown.

ASCE SUBSURFACE UTILITY DEPICTION (ASCE 38-22)

QL-A : Precise horizontal and vertical location of utility by the actual exposure and subsequent measurement of subsurface utility.

QL-B : Information obtained through the application of appropriate surface geophysical methods to determine the existence and approximate horizontal position of subsurface utility. (811 or Utility Location Service)

QL-C : Information obtained by surveying and plotting visible above-ground utility features and using professional judgement.

QL-D : Information derived from existing records or oral recollections.

*Utilities depicted are QL-C unless noted otherwise.

EXISTING LEGEND

- ELECTRIC CABINET
- POWER POLE
- GUY ANCHOR
- LIGHT POLE
- FIBER OPTIC MARKER
- SANITARY CLEANOUT
- SANITARY MANHOLE
- CURB INLET - ONE GRATE
- CATCH BASIN - SQUARE
- STORM MANHOLE
- FIRE HYDRANT
- WATER MAIN VALVE
- BOLLARD
- TREE W/ SIZE
- EVERGREEN TREE
- SS — EX. SANITARY SEWER
- STM — EX. STORM SEWER
- W — EX. WATER MAIN
- OHE — EX. OVERHEAD ELECTRIC
- G — EX. GAS MAIN

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Item	Description	Date
1	REVISED PER CITY COMMENTS	06.20.2025

SITE DEVELOPMENT PLANS FOR:

HAAS FACTORY OUTLET

95 COMMMERCIAL WAY

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

BURKHARDT
ENGINEERS ▾ SURVEYORS
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-9060 | BURKHARDTINC.COM
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Design: AFD	Proj: 25.115
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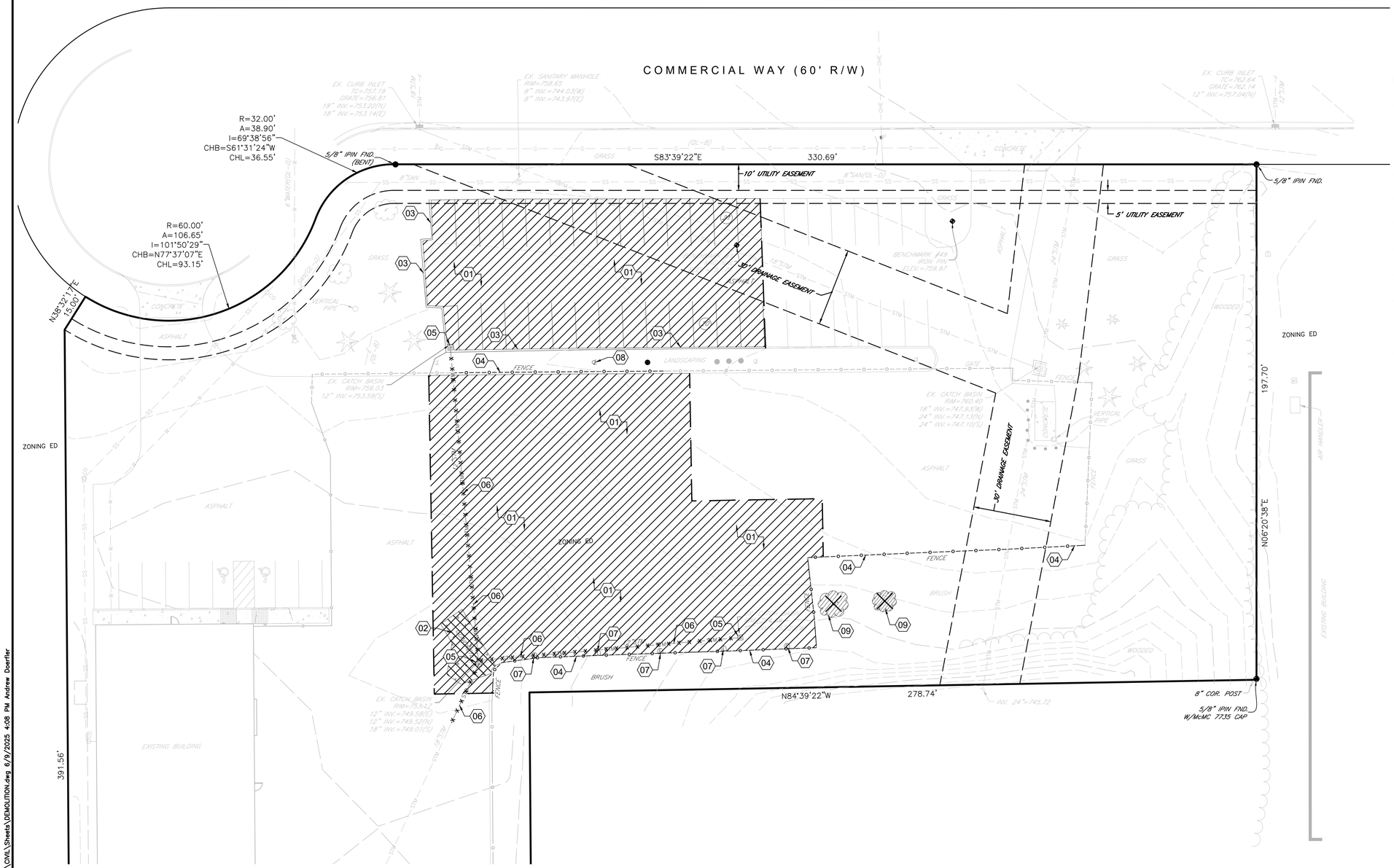
Scale: SEE SHEET	
Date: 03.28.2024	
Sheet: EXISTING CONDITIONS	
Sheet No.: C-1.0	



GRAPHIC SCALE

20 0 10 20

1 inch = 20 ft.

DEMOLITION KEYNOTES

01 EX. ASPHALT PAVEMENT - TO BE REMOVED
- SAWCUT FOR CLEAN EDGE.
- PAVEMENT REMOVAL SHOWN AS AN APPROXIMATION. ACTUAL ASPHALT REMOVAL MAY VARY BASED ON SITE CONDITIONS AND EXCAVATION AREA REQUIRED FOR PROP. BUILDING INSTALLATION.

02 EX. CONCRETE PAVEMENT - TO BE REMOVED

03 EX. CONCRETE CURB - TO BE REMOVED

04 EX. FENCE - TO BE REMOVED

05 EX. STORM STRUCTURE - TO BE REMOVED

06 EX. STORM PIPE - TO BE REMOVED

07 EX. ELECTRIC BOX - TO BE REMOVED

08 EX. LIGHT POLE - TO BE REMOVED

09 EX. TREE TO BE REMOVED

DEMO LEGEND

- EX. ASPHALT PAVEMENT - TO BE REMOVED
- EX. CONCRETE - TO BE REMOVED
- EX. TREE - TO BE REMOVED
- EX. UTILITY - TO BE REMOVED
- SAWCUT EX. PAVEMENT

811 Know what's below. Call before you dig.

Item	Description	Date
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SITE DEVELOPMENT PLANS FOR:

HAAS FACTORY OUTLET

95 COMMERCIAL WAY

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

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Design: AFD	Proj: 25.115
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Check: SRF	Tab:
Scale: SEE SHEET	
Date: 03.28.2024	
Sheet: DEMOLITION PLAN	
Sheet No.: C-1.1	

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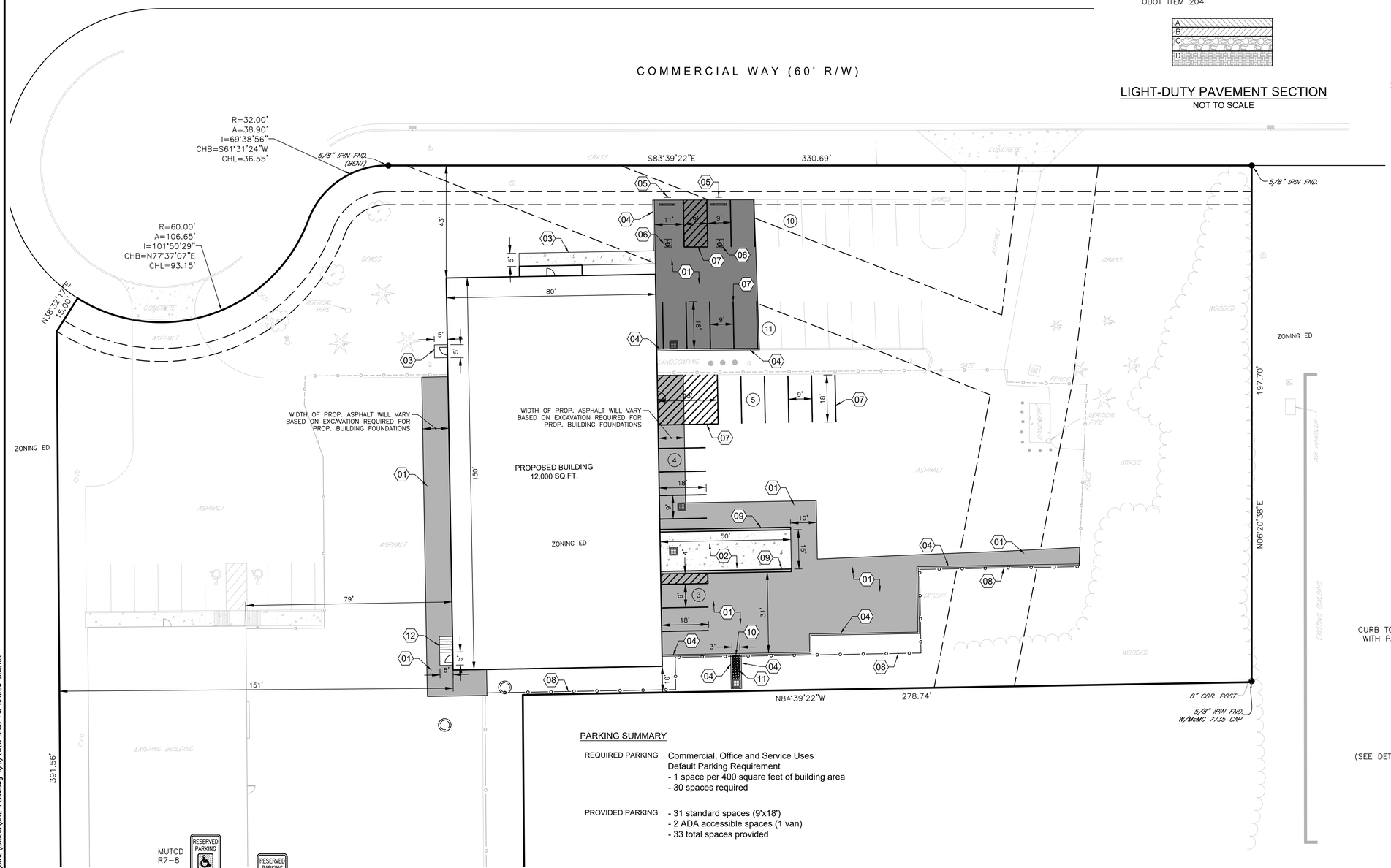


KEY
A – 1.5" SURFACE COURSE ASPHALT CONCRETE
ODOT ITEM 448 – TYPE 1, PG64–22
B – 1.5" INTERMEDIATE COURSE ASPHALT CONCRETE
ODOT ITEM 448 – TYPE 2, PG64–22
C – 8" AGGREGATE BASE
ODOT ITEM 304
D – COMPACTED SUBGRADE
ODOT ITEM 204

LIGHT-DUTY PAVEMENT SECTION
NOT TO SCALE

GRAPHIC SCALE
20 0 10 20
1 inch = 20 ft.

SITE KEYNOTES

(01) ASPHALT PAVEMENT
- CONTRACTOR TO MATCH EX. ASPHALT PAVEMENT SECTION ON-SITE OR OWNER APPROVED SECTION.
- PROP. ASPHALT MAY VARY BASED ON AREA REQUIRED FOR EXCAVATION FOR PROP. BUILDING.

(02) CONCRETE PAVEMENT
- PER DETAIL / SHEET C-2.0

(03) CONCRETE SIDEWALK
- PER DETAIL / SHEET C-2.0

(04) CONCRETE BARRIER CURB
- PER DETAIL / SHEET C-2.0

(05) ADA PARKING SIGNAGE
- PER DETAIL / SHEET C-2.0

(06) ADA PARKING SYMBOL
- PER DETAIL / SHEET C-2.0

(07) PARKING STRIPE / HATCH
- 4" WIDE PAINTED STRIPES.
- HATCHING TO BE AT 45 DEGREE AND 2'-0" O.C.
- STRIPING ON CONCRETE PAVEMENT TO BE PAINTED WHITE.

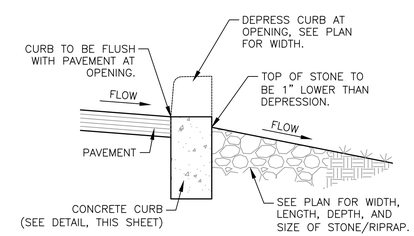
(08) PROP. FENCE
- MATCH EXISTING FENCE MATERIAL
- SEE ARCHITECTURAL PLANS FOR DETAILS

(09) PROP. RETAINING WALL @ TRUCK DOCK
- RETAINING WALLS TO BE DESIGNED BY OTHERS.

(10) PROP. CURB OPENING FOR DRAINAGE
- PER DETAIL / SHEET C-2.0

(11) PROP. RIP-RAP
- ODOT TYPE C RIP-RAP
- 3'W x 12" DEEP

(12) PROP. CONCRETE STAIRS
- SEE ARCHITECTURAL PLANS FOR DETAILS

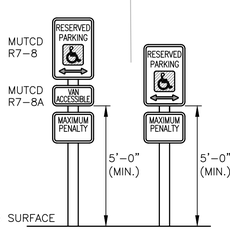


CURB OPENING FOR DRAINAGE DETAIL
NOT TO SCALE

PARKING SUMMARY

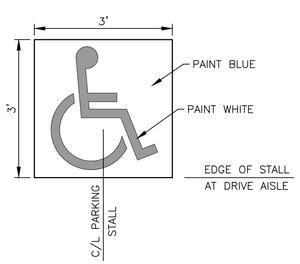
REQUIRED PARKING — Commercial, Office and Service Uses
Default Parking Requirement
- 1 space per 400 square feet of building area
- 30 spaces required

PROVIDED PARKING
- 31 standard spaces (9'x18')
- 2 ADA accessible spaces (1 van)
- 33 total spaces provided

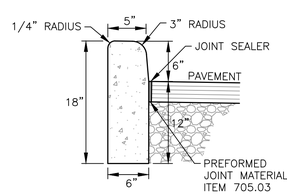


NOTES:
1. MAXIMUM PENALTY SHALL BE STATED PER LOCAL AUTHORITY.
2. SIGNS TO BE MOUNTED ON FACE OF BUILDING IF POSSIBLE.
3. IF POST MOUNTED, POST SHALL BE PAINTED TO MATCH BUILDING.

HANDICAP PARKING SIGNAGE
NOT TO SCALE

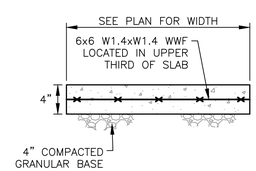


ADA PARKING SYMBOL
NOT TO SCALE



NOTES:
1. ODOT TYPE 6 CURB
2. PROVIDE A SMOOTH AND EVEN FINISH PLUS ROUNDED EDGING TO ALL EXPOSED SURFACES.

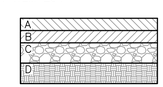
BARRIER CURB DETAIL
NOT TO SCALE



NOTES:
1. SIDEWALK TO BE CONSTRUCTED USING 3500 PSI CONCRETE.
2. SIDEWALK TO HAVE TOOLED CONTROL JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.
3. PROVIDE THICKENED EDGE / TURN DOWN WHERE SIDEWALK MEETS ASPHALT PAVEMENT.
4. PROVIDE EXPANSION JOINT MATERIAL WHERE SIDEWALK ABUTS BUILDING.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

KEY
A – 2" SURFACE COURSE ASPHALT CONCRETE
ODOT ITEM 448 – TYPE 1, PG64–22
B – 2" INTERMEDIATE COURSE ASPHALT CONCRETE
ODOT ITEM 448 – TYPE 2, PG64–22
C – 12" AGGREGATE BASE
ODOT ITEM 304
D – COMPACTED SUBGRADE
ODOT ITEM 204



HEAVY-DUTY PAVEMENT SECTION
NOT TO SCALE

SITE & PAVEMENT LEGEND

- (4) NUMBER OF PARKING SPACES
- ADA PARKING SYMBOL SEE DETAIL / SHEET C-5.0
- CONCRETE WHEEL STOP SEE DETAIL / SHEET C-5.0
- PROP. CONCRETE PAVEMENT / SIDEWALK
- PROP. GRAVEL
- PROP. HEAVY-DUTY ASPHALT PAVEMENT
- PROP. LIGHT-DUTY ASPHALT PAVEMENT

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Item	Description	Date
1	REVISED PER CITY COMMENTS	06.20.2025

SITE DEVELOPMENT PLANS FOR:
HAAS FACTORY OUTLET
95 COMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

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Design: AFD	Proj: 25.115
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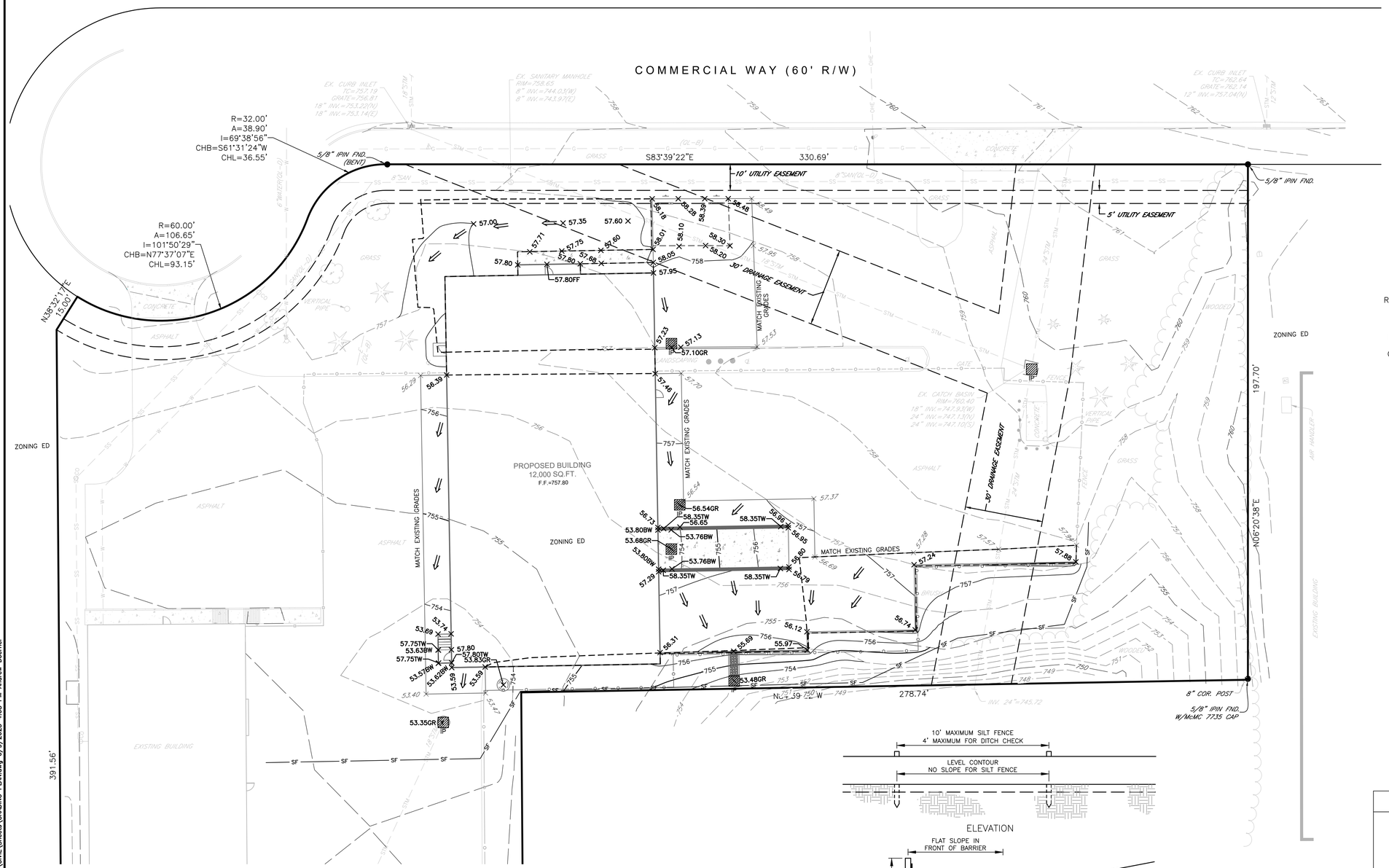
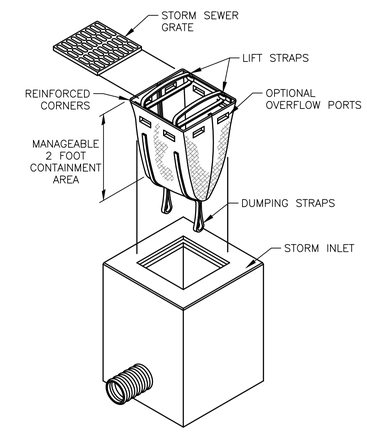
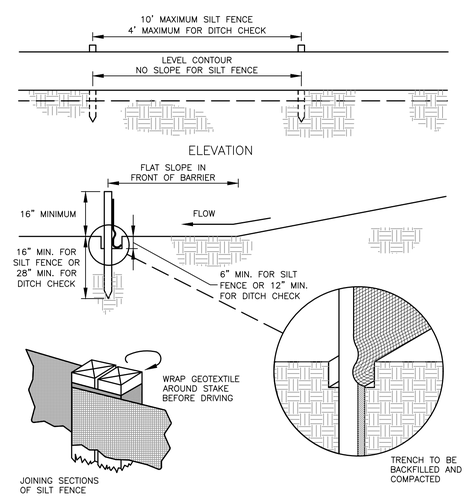
Date: 03.28.2024	
Sheet: SITE PLAN	
Sheet No.: C-2.0	





DANDY SACK™ DETAIL

NOT TO SCALE



SILT FENCE CHECK DETAIL

NOT TO SCALE

STORM WATER NOTE:

PER THESE IMPROVEMENTS, THE PROPOSED IMPROVEMENTS TO THE PROPERTY DOES NOT INCREASE THE AMOUNT OF IMPERVIOUS AREA ON THE SITE BY A SIGNIFICANT AMOUNT. THEREFORE, THERE IS NEGLIGIBLE INCREASE IN STORM WATER RUNOFF DUE TO THE PROPOSED IMPROVEMENTS AND NO ADDITIONAL STORM WATER DETENTION IS REQUIRED.

IMPERVIOUS AREA CALCULATIONS

IMPERVIOUS AREA ADDED = 2,645 SQ.FT.
IMPERVIOUS AREA REMOVED = 2,450 SQ.FT.
NET IMPERVIOUS AREA = 195 SQ.FT. INCREASE

GRADING LEGEND

	INLET PROTECTION
× 100.00FF	PROP. FINISH FLOOR ELEVATION
× 100.00BW	PROP. BOTTOM OF WALL ELEVATION
× 100.00TW	PROP. TOP OF WALL ELEVATION
× 100.00GR	PROP. TOP OF GRATE/RIM ELEVATION
× 100.00	PROP. SPOT ELEVATION
× 100.00	EX. SPOT ELEVATION
⟹	PROP. FLOW ARROW
1000	PROP. CONTOUR - INDEX
1000	PROP. CONTOUR - INTERMEDIATE
1000	EX. CONTOUR - INDEX
1000	EX. CONTOUR - INTERMEDIATE
SF	SILT FENCE
- - - - - - - -	ADDITIONAL IMPERVIOUS AREA
- - - - - - - -	REMOVED IMPERVIOUS AREA

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Item	Description	Date
1	REVISED PER CITY COMMENTS	06.20.2025

SITE DEVELOPMENT PLANS FOR:

HAAS FACTORY OUTLET

95 COMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

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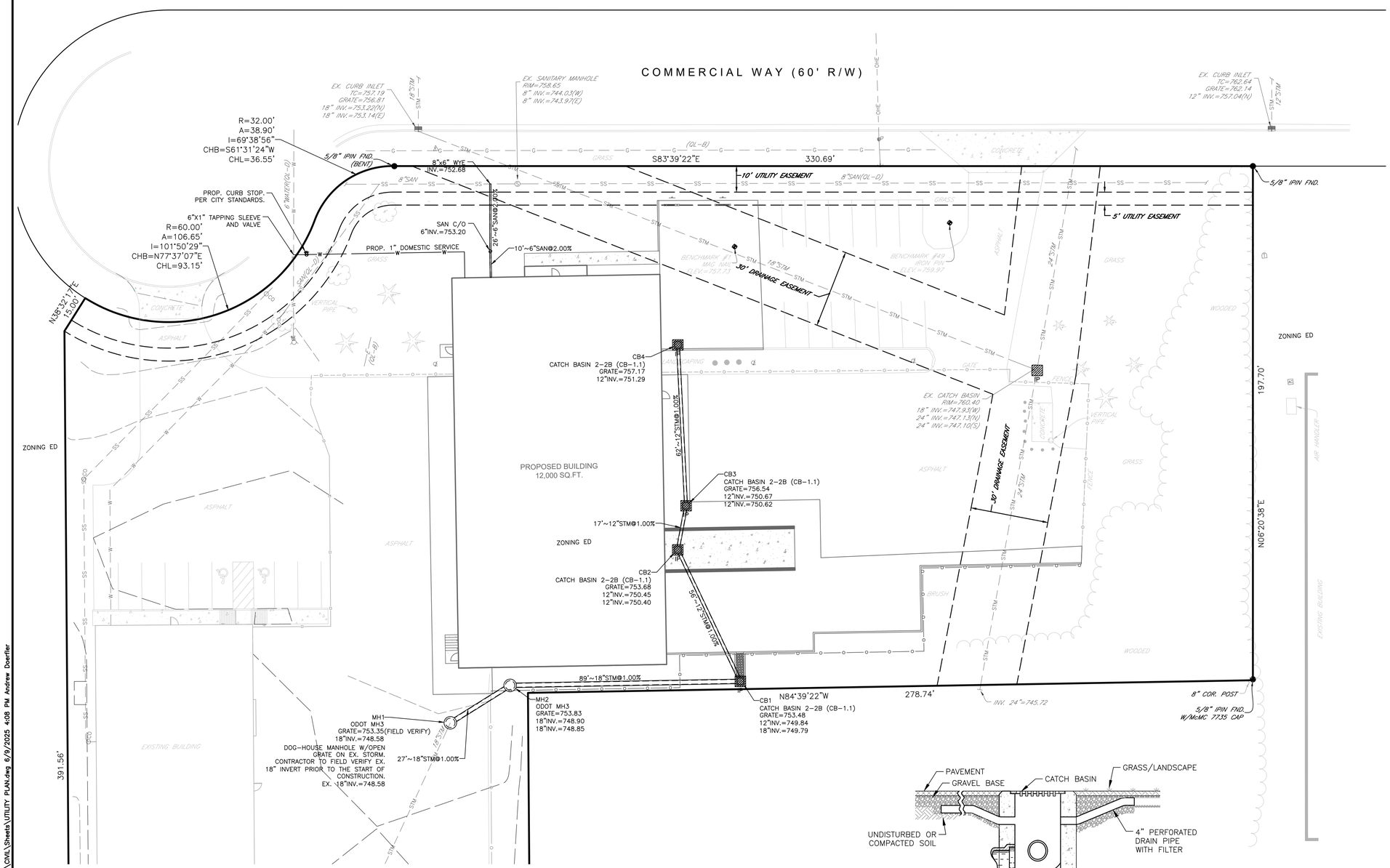
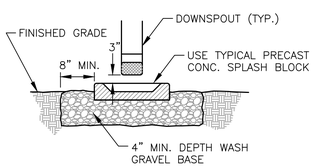
Sheet:
GRADING & EROSION CONTROL PLAN

Sheet No.:
C-3.0

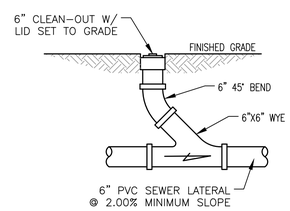


STORM WATER NOTE:
PER THESE IMPROVEMENTS, THE PROPOSED IMPROVEMENTS TO THE PROPERTY DOES NOT INCREASE THE AMOUNT OF IMPERVIOUS AREA ON THE SITE. THEREFORE, THERE IS NO INCREASE IN STORM WATER RUNOFF DUE TO THE PROPOSED IMPROVEMENTS AND NO ADDITIONAL STORM WATER DETENTION IS REQUIRED.

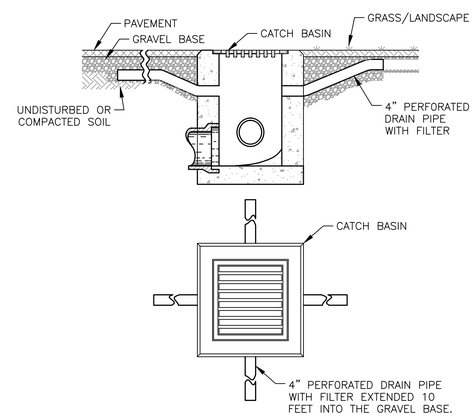


NOTE: THE GRAVEL BASE MUST EXTEND 12" MIN. IN FRONT OF SPLASH BLOCK WITH FRONT EDGE OF FLUME TO BE FLUSH W/TOP OF GRAVEL.
NOTE: ALL DOWNSPOUT DISCHARGE TO BE ROUTED TO CATCH BASINS.

CONCRETE SPLASH BLOCK DETAIL
NOT TO SCALE



SANITARY CLEAN-OUT DETAIL
NOT TO SCALE



CATCH BASIN FINGER DRAIN DETAIL
NOT TO SCALE

UTILITY LEGEND	
	INLET PROTECTION
	PROP. CLEANOUT
	PROP. CATCH BASIN
	PROP. MANHOLE (SAN. OR STM.)
	PROP. WATER METER PIT
SS	PROP. SANITARY SEWER
	PROP. STORM SEWER
W	PROP. WATER SERVICE

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Item	Description	Date
1	REVISED PER CITY COMMENTS	06.20.2025

SITE DEVELOPMENT PLANS FOR:
HAAS FACTORY OUTLET
95 COMMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

BURKHARDT
ENGINEERS ▾ SURVEYORS
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-0669 | BURKHARDTINC.COM
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Design: AFD	Proj: 25.115
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Check: SRF	Tab:
Scale: SEE SHEET	
Date: 03.28.2024	
Sheet: UTILITY PLAN	
Sheet No.: C-4.0	

GENERAL NOTES:

1. EXISTING UNDERGROUND UTILITIES AND SERVICES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO THE BEST INFORMATION AVAILABLE.THE LOCATIONS SHOWN ARE INTENDED ONLY AS A GUIDE AND CANNOT BE GUARANTEED ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
   A. CONTACTING THE INDIVIDUAL UTILITY OWNERS PRIOR TO CONSTRUCTION AND ADVISING THEM OF THE WORK TO TAKE PLACE.
   B. SOLICITING THEIR AID IN LOCATION AND PROTECTING ANY UTILITY THAT MAY INTERFERE WITH CONSTRUCTION.
   C. EXCAVATING AND VERIFYING THE HORIZONTAL AND VERTICAL LOCATION OF EACH UTILITY.
   D. ALL DAMAGE TO ANY EXISTING UTILITY.
   E. CALL THE OHIO UTILITY PROTECTION AT 811 AS REQUIRED BY STATE LAW.
2. THE FOLLOWING ARE OWNERS OF UNDERGROUND UTILITIES AND SHALL BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION TO FIELD LOCATE SAID UTILITIES:

ELECTRIC	TELEPHONE	WATER & SANITARY	CABLE TELEVISION	GAS
DUKE ENERGY	AT&T	CITY OF SPRINGBORO	SPECTRUM	CENTERPOINT ENERGY
210 DANA AVE, EF324	10665 INNOVATION DR	320 W. CENTRAL AVE.	2834 MIAMISBURG-	9973 YANKEE STREET
CINCINNATI, OHIO 45207	MIAMISBURG, OHIO 45342	SPRINGBORO. OHIO 45066	CENTERVILLE ROAD	CETNERVILLE, OHIO
			DAYTON, OHIO 45342	45458
513-651-4182	937-388-4261	937-748-0020	937-425-8859	937-748-6184

3. SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
4. ALL CONSTRUCTION WITHIN THE R.O.W. SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS OF THE CITY OF SPRINGBORO STANDARDS AND/OR O.D.O.T. STANDARDS IN PLACE WHEN THESE PLANS ARE APPROVED. FOR WORK OUTSIDE THE R.O.W. THE STANDARDS SHALL BE SET FORTH IN THESE PLANS AND SPECIFICATIONS, ALONG WITH ANY CONTRACTUAL REQUIREMENTS BETWEEN THE DEVELOPER AND CONTRACTOR.
5. ALL DISTURBED AREAS CREATED DURING CONSTRUCTION ARE TO BE SEEDED AS SOON AS POSSIBLE TO LIMIT EROSION AND TO STABILIZE THE SOIL.
6. ALL WORK IN THE ROAD R.O.W. SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF SPRINGBORO STANDARDS AND/OR O.D.O.T.STANDARDS IN PLACE WHEN THESE PLANS ARE APPROVED.
7. ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
8. THE CONTRACTOR SHALL RECORD THE LOCATION OF ALL IMPROVEMENTS INCLUDING SANITARY AND WATER SERVICES INSTALLED BY HIM UPON A SET OF DRAWINGS SUPPLIED TO HIM SPECIFICALLY FOR THIS PURPOSE BY THE ENGINEER. LOCATION OF SERVICES SHALL BE MADE AS DIRECTED BY THE ENGINEER. THE DRAWINGS SHALL BE RETURNED TO THE ENGINEER AND DEVELOPER WHEN ALL SERVICES HAVE BEEN INSTALLED. CURBS SHALL BE MARKED TO SHOW THESE LOCATIONS. ENGINEER IS DEFINED AS THE DESIGN ENGINEER OR CITY ENGINEER.
9. ALL STORM PIPE LENGTHS NOTED IN PLANS ARE TO CENTER OF STRUCTURE. CONTRACTOR IS RESPONSIBLE FOR ACTUAL FIELD CUT.
10. ALL TRENCHES WITHIN THE R.O.W. SHALL BE BACKFILLED WITH O.D.O.T. #304 GRAVEL TO THE BOTTOM OF THE ASPHALT BASE PAVEMENT ELEVATION. THE ASPHALT SHALL BE PATCHED PURSUANT TO THE CITY OF SPRINGBORO'S STANDARDS.
11. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH THE LIFE OF THE CONTRACT. THESE MAY BE THE USE OF, DIKES, SEDIMENT PITS, MULCHES, FILTER FABRICS AND OTHER DEVICES AND METHODS. PARTICULAR CARE SHALL BE TAKEN TO AVOID EROSION AND SEDIMENTATION OF EXISTING PAVED AND GRAVELED AREAS.
12. NO PERSON SHALL INSTALL ANY PUMP, PIPING DEVICE, APPARATUS OR OTHER SUCH SYSTEM FOR DISCHARGING SUMP PUMP EFFLUENT INTO A PUBLIC RIGHT-OF-WAY WITHOUT APPROVAL OF THE CITY OF SPRINGBORO ENGINEER.
13. CURB RAMPS TO BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE OHIO DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DRAWING BP-7.1.
14. HALF INCH EXPANSION JOINTS ARE TO BE LOCATED AT 100 FOOT INTERVALS AND CONTRACTION JOINTS ARE TO BE LOCATED AT FIVE (5) FOOT INTERVALS IN CURBING.
15. CONTRACTOR SHALL AT THE END OF EACH WORK DAY REMOVE ANY MUD OR DEBRIS FROM THE ROAD PAVEMENT SURFACE.
16. NO DIMENSIONS MAY BE SCALED. REFER UNCLEAR ITEMS TO THE DESIGN ENGINEER FOR INTERPRETATION.
17. CONTRACTOR SHALL INCLUDE COST OF CITY INSPECTION IN UNIT PRICES BID.

SUBDIVISION GENERAL NOTES:

1. ITEM NUMBERS REFER TO THE 2016 OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND ALL WORK SHALL BE DONE ACCORDING TO SAID SPECIFICATIONS OF THE CITY OF SPRINGBORO REQUIREMENTS AND STANDARDS FOR SUBDIVISIONS. WHEN IN CONFLICT, THE CITY REQUIREMENTS SHALL PREVAIL.
2. ITEMS THAT PERTAIN TO UNDERGROUND UTILITIES SUCH AS WATER MAIN PIPE, SANITARY SEWER, WATER VALVES AND MANHOLE FRAMES AND COVERS, ETC., WILL REMAIN UNDER SPECIFICATIONS OF THE UTILITY SERVING THE AREA. STORM SEWERS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPRINGBORO CITY ENGINEER.
3. ALL TRENCHES WITHIN THE RIGHT-OF-WAY AND FIFTEEN (15') FOOT UTILITY EASEMENTS SHALL BE COMPACTED AND BACKFILLED IN ACCORDANCE WITH ITEM 203 AND 603 IN THE STATE SPECIFICATIONS.
4. PRIOR TO THE SURFACE AND TACK COAT BEING APPLIED, ONE YEAR MUST PASS AFTER THE INTERMEDIATE COURSE HAS BEEN APPLIED. A WALK-THROUGH OF THE PROJECT SHALL TAKE PLACE WITH THE CITY ENGINEER AND A PUNCH LIST CREATED. DEVELOPER/CONTRACTOR SHALL COMPLETE PUNCH LIST PRIOR TO THE PLACEMENT OF SURFACE COURSE.
5. DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONDUITS FOR THE FULL WIDTH OF THE PUBLIC RIGHT-OF-WAY AS CALLED FOR ON THE TYPICAL SECTION FOR USE BY THE ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES. THE LOCATION OF THE LINES SHALL BE COORDINATED WITH UTILITY COMPANIES BY THE DEVELOPER.
6. ALL ELECTRICAL TRANSFORMERS SHALL BE LOCATED SO THAT THEY DO NOT INTERFERE WITH EXISTING OR PROPOSED MANHOLES OR WATER MAIN APPURTENANCES.
7. SUMP DRAIN LINES SHALL BE FOUR INCH (4") OR SIX INCH (6") PVC SOLID WALL PIPE (SDR 35 OR 40). SEE SUMP DRAIN DETAILS
8. MINIMUM TEN (10') FOOT HORIZONTAL, AND EIGHTEEN (18') INCH VERTICAL SEPARATION BETWEEN WATER MAIN AND SANITARY AND/OR STORM SEWER.
9. ALL CATCH BASINS AND MANHOLES WITH A DEPTH GREATER THAN FOUR (4') FEET SHALL BE PROVIDED WITH STEPS.
10. ALL DISTURBED AREAS CREATED DURING CONSTRUCTION ARE TO BE SEEDED AS SOON AS POSSIBLE TO LIMIT THE EROSION AND STABILIZE SOIL.
11. INSTALL CENTRAL MAILBOX AT A LOCATION AGREED UPON BY THE POSTMASTER.
12. CITY OF SPRINGBORO WILL NOT BE RESPONSIBLE FOR ANY PAVEMENT OR STORM SEWER REPAIRS RESULTING FROM WATER MAIN AND SANITARY SEWER REPAIRS. CITY OF SPRINGBORO ALSO WILL NOT BE RESPONSIBLE FOR ADJUSTING MANHOLES, VALVES, FIRE HYDRANTS, METER PITS, ETC., AS A RESULT OF GRADE CHANGES.

SANITARY SEWER NOTES:

1. ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
2. SANITARY MANHOLES SHALL BE PRECAST, CONFORMING TO ASTM C--478, OR MONOLITHIC CONSTRUCTED OF CLASS 'A' 4000 PSI.
3. JOINTS BETWEEN PRECAST SANITARY MANHOLE SECTIONS SHALL CONFORM TO ASTM C-443.
4. SANITARY SEWER PIPE AND FITTINGS SHALL BE ABS, PVC OR PVC TRUSS PIPE. ABS PIPE SHALL CONFORM TO ASTM D-2680 AND JOINTS SHALL CONFORM TO ASTM D-2235. UTILIZE SDR 35 PIPE FOR COVER DEPTHS BETWEEN 0 AND 14 FEET. FOR COVER AT 14 FEET AND OVER, USE PVC SDR 26.
5. SANITARY SEWER PIPE JOINTS SHALL CONFORM TO ASTM D-2855.
6. ALL SANITARY LATERALS SHALL BE OF THE SAME PIPE MATERIAL AS THE MAIN LINE SANITARY SEWER.
7. THERE MUST BE TEN (10') FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY, STORM AND/OR WATER LINES.
8. NO CONSTRUCTION SHALL COMMENCE UNTIL THE CITY OF SPRINGBORO SANITARY DEPARTMENT PERMITS HAVE BEEN ISSUED.
9. NO ADDITIONS, DELETIONS, OR REVISIONS TO THE SANITARY SEWER AND/OR WATER FACILITIES ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF SPRINGBORO ENGINEER.
10. WATER LINES CROSSING ANY AND ALL SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE OUTSIDE OF THE WATER MAIN PIPE AND THE SEWER PIPE. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED AT THE POINT OF CROSSING SUCH THAT BOTH JOINTS WILL BE EQUIDISTANT AND AS FAR FROM THE SEWER AS POSSIBLE. IF WATER CROSSES BELOW SANITARY SEWER, THE SEWER MUST BE WATER MAIN MATERIAL FOR THAT SPAN.
11. ALL SANITARY SEWERS AND/OR WATER LINES AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED ACCORDING TO CITY OF SPRINGBORO SPECIFICATIONS.
12. CHANNEL THE BOTTOMS OF ALL MANHOLES.
13. MANHOLE LATERALS SHALL HAVE AN INVERT SIX (6) INCHES ABOVE THE MAIN INVERT. PROVIDE CHANNEL FOR LATERALS IN MANHOLE BOTTOM.
14. SEWER LATERALS SHALL EXTEND TO THE HOUSE SIDE OF UTILITY EASEMENTS AND SHALL BE MARKED BY TWO (2) INCH BY FOUR (4) INCH OR LARGER POSTS. THE POST SHALL BE PAINTED RED. A SIX (6) FOOT LENGTH OF #6 REINFORCING BAR SHALL BE INSTALLED AGAINST THE TWO (2) INCH BY FOUR (4) INCH POST.
15. ALL MANHOLES NOT IN THE FRONT YARD OR DRIVEWAYS MUST BE RAISED TO PROVIDE THE FINAL ELEVATION OF ONE (1) FOOT ABOVE FINISHED GRADE.
16. ALL SANITARY LATERALS ARE TO BE FOUR (4) INCHES.
17. ALL SANITARY SEWER LATERALS SHALL BE AT LEAST TWO (2) FEET BELOW A PROPOSED BASEMENT FLOOR ELEVATION AT THE CONNECTION TO THE SEWER MAIN AND SHALL NOT EXCEED A DEPTH OF TWELVE (12) FEET BELOW FINISH SEWER AS POSSIBLE WATER CROSSES BELOW SANITARY SEWER, THE SEWER MUST BE WATER MAIN MATERIAL FOR THAT SPAN.
18. ALL SANITARY SEWERS AND/OR WATER LINES AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO CITY OF SPRINGBORO SANITARY DEPARTMENT SPECIFICATIONS.
19. AIR TEST-
    A. THE AIR TEST SHALL, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM F-1417 FOR PLASTIC PIPE, AND FOR OTHER TEST PROCEDURES APPROVED BY THE CITY OF SPRINGBORO.
    B. ALL AIR TEST SHALL BE DONE PRIOR TO FINAL INSPECTION BY THE CONTRACTOR IN THE PRESENCE OF THE CITY OF SPRINGBORO WHO WILL DETERMINE IF THE TESTED PIPE SPAN IS ACCEPTABLE. THE AIR TEST IS CONDUCTED BETWEEN TWO CONSECUTIVE MANHOLES. ALL PIP OUTLETS MUST BE PLUGGED IN THE SECTION BEING TESTED USING SUITABLE TEST PLUGS. ONE OF THESE PLUGS MUST BE TAPPED AN USED FOR FILLING THE TEST SECTION WITH COMPRESSED AIR.
    C. AT THE TIME OF THE TEST, EACH MANHOLE SHALL BE INSPECTED BY THE CITY OF SPRINGBORO TO DETERMINE POSSIBLE LEAKS. QUESTIONABLE MANHOLES SHALL BE VACUUM TESTED.
20. DEFLECTION TEST-
    A. DEFLECTION TESTS SHALL BE PERFORMED BY THE CONTRACTOR ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM.
    B. NO PIPE SHALL EXCEED A DEFLECTION OF 5 PERCENT. IF DEFLECTION EXCEEDS 5 PERCENT, REPLACEMENT OR CORRECTIONS SHALL BE AS DIRECTED BY THE CITY OF SPRINGBORO.
    C. THE RIGID BALL OR MANDREL USED FOR THE DEFLECTION TEST SHALL HAVE A DIAMETER OF NOT LESS THAN 95 PERCENT OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE DEPENDING ON WHICH IS SPECIFIED IN THE ASTM SPECIFICATION, INCLUDING THE APPENDIX OF SAID ASTM SPECIFICATION, TO WHICH THE PIPE IS MANUFACTURED. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
21. VACUUM TESTING-
    A. EACH MANHOLE SHALL BE TESTED IMMEDIATELY AFTER ASSEMBLY AND PRIOR TO BACKFILLING.
    B. ALL LIFT HOLES SHALL BE PLUGGED WITH AN APPROPRIATE NON-SHRINK GROUT.
    C. NO GROUT WILL BE PLACED IN HORIZONTAL JOINTS BEFORE TESTING, UNLESS PRIOR APPROVAL IS GRANTED BY THE CITY OF SPRINGBORO.
    D. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED, TAKING CARE TO SECURELY BRACE THE PLUGS FROM BEING DRAWN INTO THE MANHOLE.
    E. THE TEST HEAD SHALL BE PLACED AT THE INSIDE OF THE TOP OF THE CONE SECTION AND THE SEAL INFLATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION.
    F. VACUUM OF TEN INCHES (10") OF MERCURY SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF. WITH THE VALVES CLOSED, THE TIME MEASURED FOR THE VACUUM TO NOT DROP BELOW NINE INCHES (9") OF MERCURY. THE MANHOLES SHALL PASS IF THE TIME MEETS OR EXCEEDS THE CRITERIA IN TABLE 21.1F:
    G. IF THE MANHOLE FAILS THE INITIAL TEST, NECESSARY REPAIRS SHALL BE MADE WITH NON-SHRINK GROUT. RETESTING SHALL PROCEED UNTIL A SATISFACTORY TEST IS OBTAINED.

DEPTH OF MANHOLE	48" DIAMETER	60" DIAMETER	72" DIAMETER
0 - 10 FEET	48 SECONDS	90 SECONDS	120 SECONDS
11 - 20 FEET	80 SECONDS	120 SECONDS	150 SECONDS
21 - 30 FEET	120 SECONDS	150 SECONDS	180 SECONDS

STORM SEWER NOTES:

1. THERE MUST BE A TEN (10) FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY, STORM AND/OR WATER PIPES.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF SPRINGBORO STANDARDS.
3. STORM SEWER PIPE SHALL BE RCP ASTM C-76 (CL-4) UNLESS OTHERWISE NOTED.
4. ADS N-12 (SMOOTH WALL) PIPE MAY BE USED WHERE SPECIFIED AS "HDPE" AS NOTED ON PLANS.
5. ALL STORM MANHOLES ARE TO BE TYPE "A" UNLESS NOTED OTHERWISE
6. CHANNEL THE BOTTOMS OF ALL MANHOLES.
7. ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED OR TIED TO THE STORM SEWER SYSTEM.
8. ALL CATCH BASINS SHALL BE CITY OF SPRINGBORO STANDARD, AS PER PLAN UNLESS NOTED OTHERWISE.
9. ALL SUMP DRAINS SHALL BE PVC-SDR 35 WITH TEES AND CAPS AS SHOWN.
10. ALL ROADSIDE CATCH BASINS TO CONTAIN FISH LOGO AS SHOHWN ON STANDARD DRAWINGS AND BICYCLE SAFE GRATES.

WATER NOTES:

1. WATER MAINS, BENDS AND FITTINGS SHALL BE DUCTILE IRON PIPE AND CONFORM TO ANSI A-21.51 (AWWAC-151), CLASS 52.
2. WATER MAINS SHALL HAVE A 4'6" MINIMUM COVER.
   A. THERE MUST BE A TEN (10) FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY. STORM AND/OR WATER LINES.
   B. ONLY ONE BRAND OF FIRE HYDRANT IS ACCEPTABLE, AMERICAN DARLING MODEL B628B.
   C. ALL WATER VALVES SHALL BE OF THE RESIDENT WEDGE TYPE.
3. FIRE HYDRANTS SHALL BE LOCATED NOT LESS THAN THREE (3) FEET FROM AND NOT MORE THAN FIVE (5) FEET AWAY FROM THE BACK OF CURB OR EDGE OF PAVEMENT WITH A FIVE (5) INCH STORZ CONNECTION ON THE STEAMER AND FOUR (4) INCH PUMPER OPENING TO FACE THE STREET. CENTERLINE OF PUMPER CONNECTION TO HAVE 18" TO 21" CLEARANCE FROM FINISH GRADE.
4. WATER LINES CROSSING ANY AND ALL SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE OUTSIDE WATER MAIN PIPE AND THE SEWER PIPE. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SUCH THAT BOTH JOINTS WILL BE EQUIDISTANT AND AS FAR FROM THE SEWER AS POSSIBLE. IF WATER CROSSES BELOW SANITARY SEWER, THE SEWER MUST BE WATER MAIN MATERIAL FOR THAT SPAN.
5. THE WATER MAIN INSTALLATION WILL BE INSPECTED BY THE CITY OF SPRINGBORO ENGINEERING DEPARTMENT.
6. ALL SANITARY SEWERS AND/OR WATER LINES AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO CITY OF SPRINGBORO'S ENGINEERING DEPARTMENT SPECIFICATIONS.
7. ALL WATER SERVICE LATERALS ARE TO BE ONE (1) INCH WITH ONE (1) INCH METER. CURB STOPS SHALL BE FORD B44-444 OR APPROVED EQUIVALENT. CORP STOPS SHALL BE FORD FB1000 OR APPROVED EQUIVALENT. CURB STOPS SHALL BE LOCATED BETWEEN THE CURB AND SIDEWALK.
8. FIRE HYDRANT BARRELS SHALL BE OSHA SAFETY RED.
9. ALL TRENCHES UNDER, AND/OR WITHIN FIVE (5) FEET OF THE PAVEMENT SHALL BE BACKFILLED WITH THOROUGHLY COMPACTED GRANULAR MATERIAL. THE CITY ENGINEER MAY REQUIRE THE INSTALLATION OF "K-CRETE" OR EQUAL MATERIAL WHERE HE DEEMS IT NECESSARY.
10. ALL UNDERGROUND UTILITY SERVICE LATERALS (EXCEPT WATER AND SANITARY SEWER LATERALS) ARE TO BE INSTALLED FROM THE MAIN TO SIX (6') FEET BEHIND RIGHT-OF-WAY LINE BEFORE STREETS ARE SURFACED.
11. NO PERSON SHALL INSTALL ANY PUMP, PIPING DEVICE, APPARATUS, OR OTHER SUCH SYSTEM FOR DISCHARGING SUMP PUMP EFFLUENT INTO A PUBLIC RIGHT-OF-WAY WITHOUT APPROVAL OF THE CITY OF SPRINGBORO ENGINEER.
12. AN ACCEPTABLE GROUNDCOVER MUST BE IN PLACE 15 DAYS AFTER THE FIRST COURSE OF ASPHALT IS IN PLACE AND NO LATER THAN 30 DAYS.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS OF THE CITY ENGINEER AND/OR ODOT STANDARD SPECIFICATIONS, LATEST REVISIONS.
14. CONSULT PROJECT ENGINEER/SURVEYOR REGARDING MORE DETAILED INFORMATION RELATED TO LOCATIONS OF UTILITY STRUCTURES.

811 Know what's below. Call before you dig.

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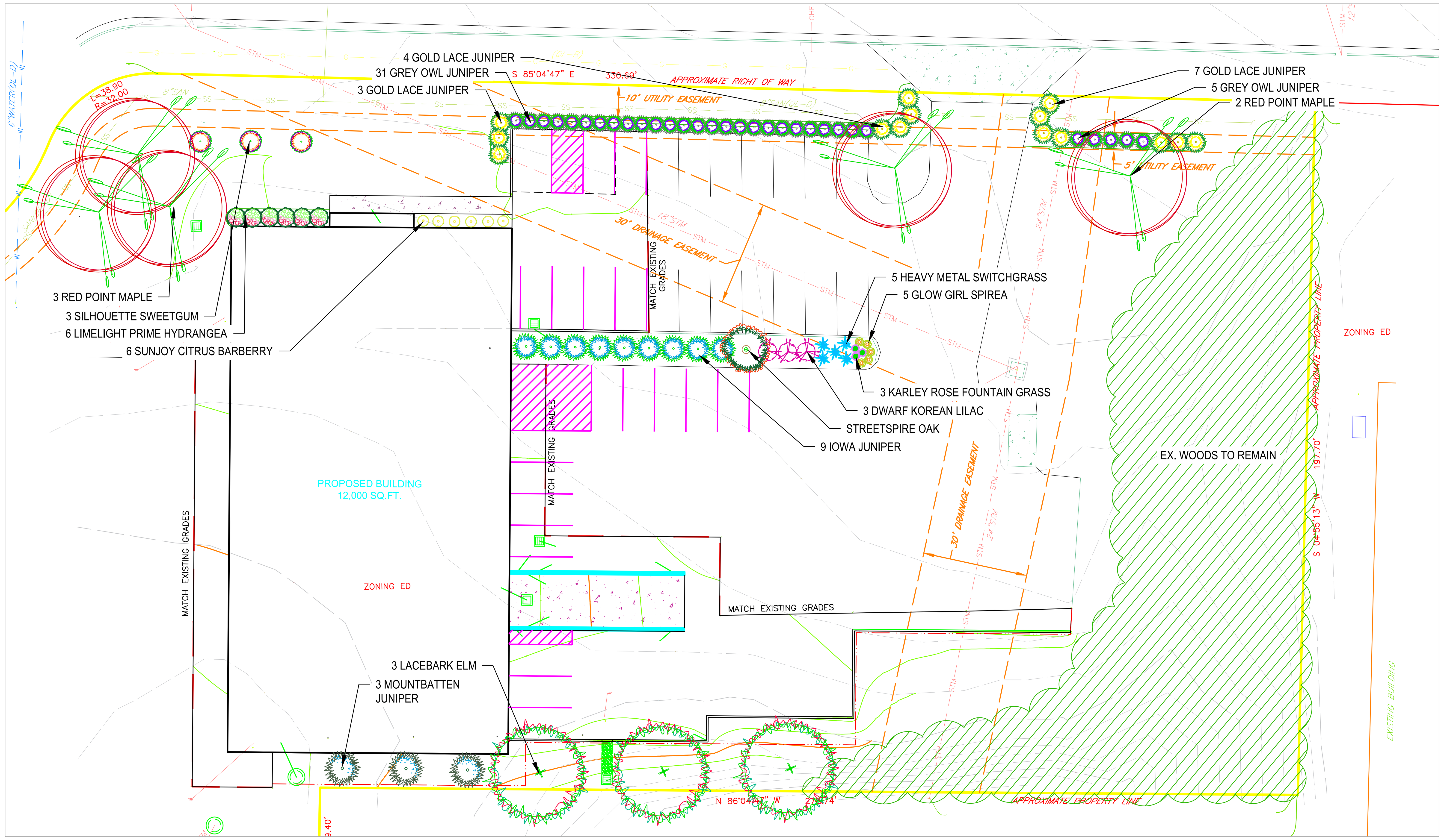
Item	Description	Date
1	REVISED PER CITY COMMENTS	06.20.2025

SITE DEVELOPMENT PLANS FOR:
HAAS FACTORY OUTLET
95 COMMMERCIAL WAY
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

BURKHARDT
ENGINEERS ▸ SURVEYORS
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-0060 | BURKHARDTINC.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: AFD	Proj: 25.115
Draw: AFD	Dwg:
Check: SRF	Tab:
Scale: SEE SHEET	
Date: 03.28.2024	
Sheet: DETAILS	
Sheet No.: C-5.0	



GENERAL PLANTING NOTES

THE CONTRACTOR SHALL:

1. CONTACT ALL UTILITY COMPANIES AND HAVE ALL LINES MARKED PRIOR TO COMMENCING WORK.
2. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."
3. FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
4. PROVIDE TREES AND SHRUBS OF SIZES AND GRADES COMPLYING WITH ANSI Z60.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
5. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
6. LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
7. NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.
8. NOTIFY LANDSCAPE ARCHITECT IF A LIGHT FIXTURE OR OTHER UTILITY HAS BEEN BUILT WITHIN 10' OF PROPOSED TREE.
9. REFER TO TYPICAL PLANTING DETAILS FOR PLANT INSTALLATION.
10. KEEP ADJACENT PAVINGS AND CONSTRUCTION CLEAN AND MAINTAIN WORK AREA IN AN ORDERLY CONDITION FOR THE DURATION OF THE PROJECT.
11. PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS OR OTHER OPERATIONS BY OTHER CONTRACTORS BEING PERFORMED ON THE SITE. PROTECTION IS TO BE MAINTAINED FOR THE DURATION OF INSTALLATION AND MAINTENANCE PERIODS.
12. TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING.
13. REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
14. PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIALS.
15. PROVIDE AND INSTALL ANY AND ALL LANDSCAPE PROTECTION REQUIRED FOR DEER RUT SEASON.

THE CONTACTOR'S WARRANTY SHALL INCLUDE:

1. A WARRANT FOR EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
2. SPECIFIC WARRANTY PERIODS FOR TREES AND SHRUBS, SEED INSTALLATION, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
3. THE SERVICES OF MAINTAINING UPRIGHT POSITION OF EXTERIOR PLANTINGS DURING WARRANTY PERIOD, IMMEDIATE REMOVAL OF DEAD EXTERIOR PLANTS AND IMMEDIATE REPLACEMENT (UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON,) AND THE REPLACEMENT OF EXTERIOR PLANTS MORE THAN 25% DEAD OR IN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.

*THE ABOVE WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.

NOTE: LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.

PREPARATION AND PLANTING

- TOPSOIL SHALL BE ASTM D 5268, PH RANGE OF 5.5 TO 7, A MINIMUM OF 4% ORGANIC MATERIAL CONTENT; FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- COMPOST SHALL BE WELL-COMPOSTED, STABILE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 % BY WEIGHT; 100 % PASSING THROUGH ONE INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS PER METER; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
- FERTILIZER TO BE SLOW-RELEASE, GRANULAR OR PELLETED CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED FOR TYPE OF PLANT BEING GROWN.
- LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. IF A PLANT IS SHOWN ON THE PLAN WITHIN THREE FEET OF AN UNDERGROUND UTILITY, NOTIFY LANDSCAPE ARCHITECT FOR ADJUSTMENT INSTRUCTIONS.
- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
- TREES SHALL BE SITED IN FIELD BY LANDSCAPE ARCHITECT WHERE NOTED ON PLANS.

PLANTING BEDS ARE TO BE PREPARED AS FOLLOWS:

- LOOSEN SUBGRADE TO A DEPTH OF 4 – 6". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- SPREAD COMPOST AT A DEPTH OF 4 – 6" AND TILL WITH LOOSENED SUBGRADE, MIXING THOROUGHLY.
- GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- EDGE BEDS 3 – 4" DEEP (SEE DETAIL).
- ADDITIONAL PREPARATION FOR PERENNIAL BEDS: PROVIDE A TOTAL OF 6" OF COMPOST AND 6" UNSHREDDED TOPSOIL, THOROUGHLY BLEND MIXTURE. DO NOT COMPACT. MULCH WITH MINI PINE NUGGETS TO 100% COVERAGE. LANDSCAPE ARCHITECT TO OBSERVE AND APPROVE.
- ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS ARE TO BE MULCHED AT A DEPTH OF 3". APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

*ALL PLANTS ARE TO BE INSTALLED WITH ORGANIC BIO TONE STARTER (A MYCORRHIZAL FUNGI STIMULANT) AND TRICHODERMA ABSORBENT GEL, PER MANUFACTURERS SPECIFICATIONS ON INSTALLATION MEANS AND METHODS AND APPLICATION RATES.

*FOR ALL PLANT MATERIALS, PRUNE TO REMOVE DEAD OR INJURED BRANCHES ONLY, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.

THE SEED CONTRACTOR SHALL:

1. PERFORM A SOIL TEST FOR SEED NEEDS AND FERTILIZE AS REQUIRED FOR SUCCESSFUL GERMINATION.
2. TILL AREA TO BE SEEDED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.
3. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
4. RAKE SEED LIGHTLY INTO TOP OF TOPSOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
5. PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 AND/OR SWALES/ AREAS OF HIGHER WATER FLOW WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. *SEED CONTRACTOR SHALL IDENTIFY THESE POTENTIAL AREAS OF EROSION AND PROVIDE MEANS TO MITIGATE SUCH.
6. PROTECT ALL OTHER SEEDED AREAS BY SPREADING STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1-1/2" IN LOOSE DEPTH OVER
7. SEED INSPECTION SHALL BE PERFORMED TO WARRANT A 90% GERMINATION, YIELDING 80% OPACITY WITHIN 90 DAYS OR INSTALLATION.
8. SEED ONLY AS THE WEATHER AND TEMPERATURE ALLOWS FOR SUCCESS.

ALL WORK SHALL BE PREFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND PROJECT MANAGEMENT SPECIFICATIONS." IN THE EVENT OF A CONFLICT, THE MORE STRINGENT STANDARD SHALL APPLY.

IN THE EVENT OF A CONFLICT BETWEEN THE LANDSCAPE PLAN AND THE PLANT KEY, THE LANDSCAPE PLAN PREVAILS. CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION.

ALL STREET TREES SHALL BE CENTERED BETWEEN THE WALK AND CURB OF THE TREE LAWN EXCEPT WHERE PROHIBITED BY UTILITIES.

Type of Plants Normal Planting Dates
Non-Container Grown, Deciduous: October 1 to April 1
Non-Container Grown, Other: October 1 to May 1
Container Grown: Year-Round if suitable precautions are taken to protect the stock from extremes of moisture and temperature.
If there is doubt, obtain a variance or a performance bond.

MULCH TO BE FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, GRADE A MATERIALS APPLY TO 100 PERCENT OPACITY TO LAST 7 MONTHS WITHOUT ANY ADDITIONAL TOP DRESSING. DEPTH WILL VARY DEPENDING ON PRODUCT INSTALLED. TYPICALLY 3"DEPTH

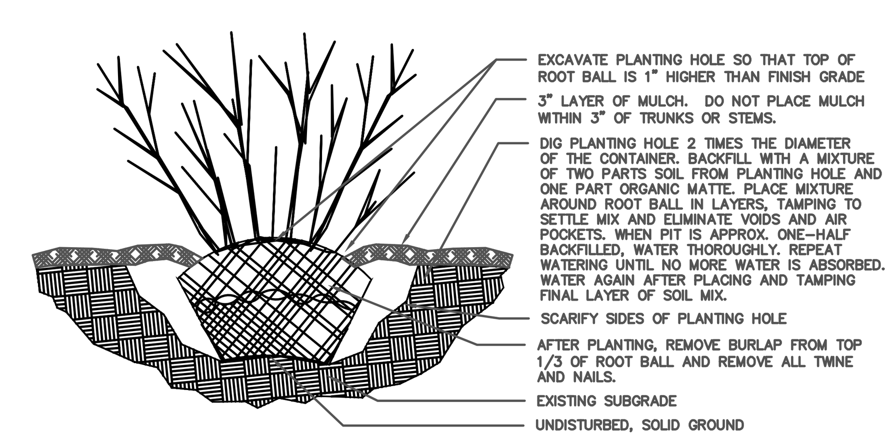
PROVIDE CLIENT OR CLIENT REPRESENTATIVE WITH PRICE AND A SAMPLE OF THE FOLLOWING OPTIONS

- LONG LASTING DYED BLACK MULCH DOUBLE SHREDDED
- DYED BROWN MULCH DOUBLE SHREDDED
- DOUBLE SHREDDED HARDWOOD BLEND
- CYPRESS MULCH
- MINI PINE NUGGET
- MINI PINE FINES
- PINE STRAW
- PREMIUM WOOD CHIP
- WOOD CHIP

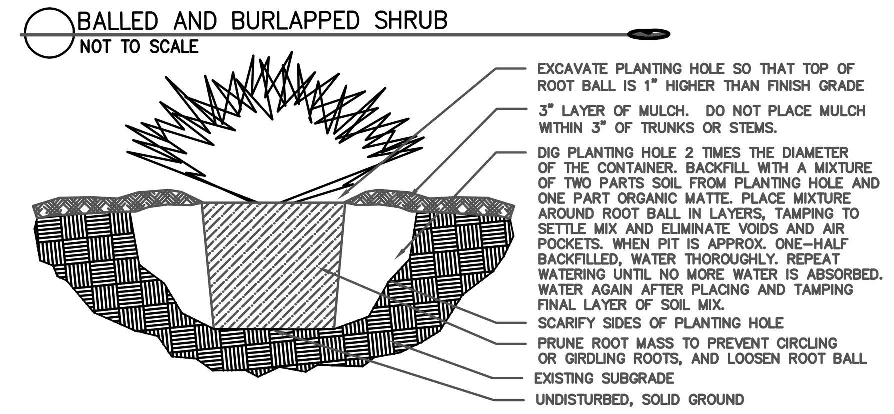
PROVIDE CLIENT WITH QNT MULCH PROVIDED ____CUBIC YARDS

PROVIDE CLIENT WITH QNT OF COMPOST PROVIDED ____ CUBIC YARDS

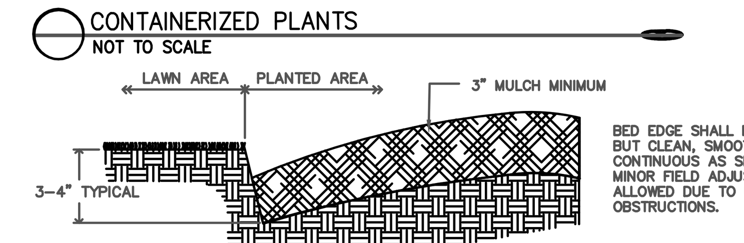
PROVIDE CLIENT WITH QUANTITY OF TOPSOIL PROVIDE ____ CUBIC YARDS



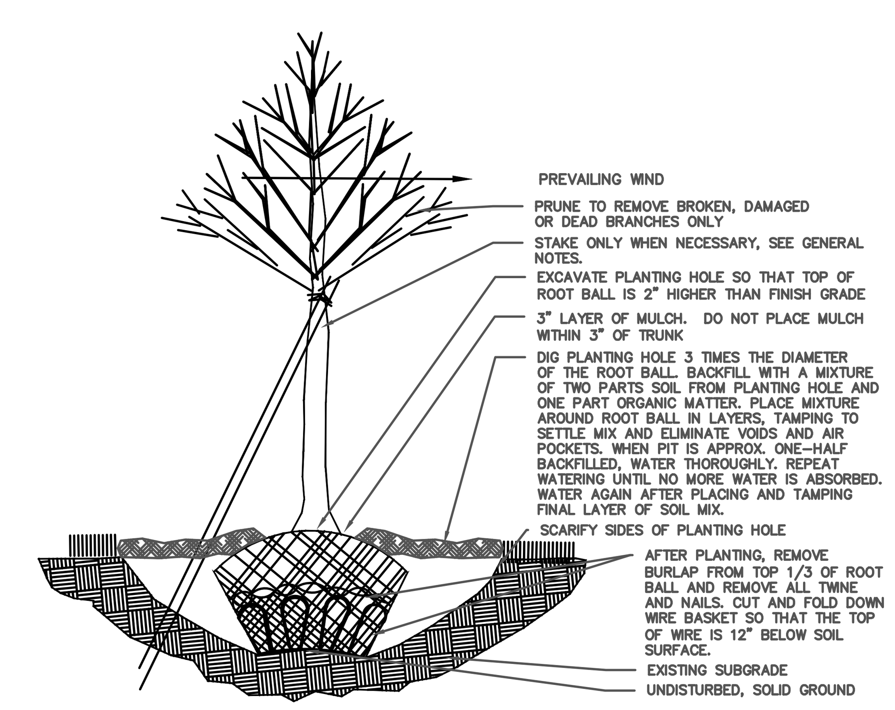
BALLED AND BURLAPPED SHRUB
NOT TO SCALE



CONTAINERIZED PLANTS
NOT TO SCALE

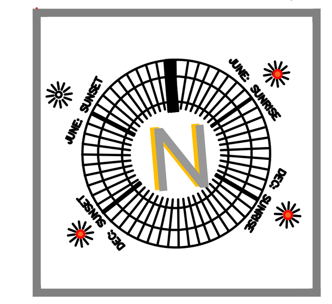


BED EDGE
NOT TO SCALE



BALLED AND BURLAPPED TREE
NOT TO SCALE

ABSOLUTELY NO PLANT SUBSTITUTIONS WITHOUT WRITTEN PERMISSION OF THE MUNICIPALITY ZONING STAFF, CLIENT REPRESENTATIVE, AND/OR LANDSCAPE ARCHITECT (GAYLE A. FRAZER)



GAYLE A. FRAZER
REGISTERED LANDSCAPE ARCHITECT
513-607-8096 GAYLE@FRAZEROUTDOORSPACES.COM 7377 BRIDGE POINT PASS CINCINNATI, OHIO 45248

HAAS FACTORY OUTLET
95 COMMERCIAL WAY
CITY OF SPRINGBORO

STATE OF OHIO
GAYLE A. FRAZER
748
REGISTERED LANDSCAPE ARCHITECT

LANDSCAPE PLAN

SCALE
1"-0=20'-0"

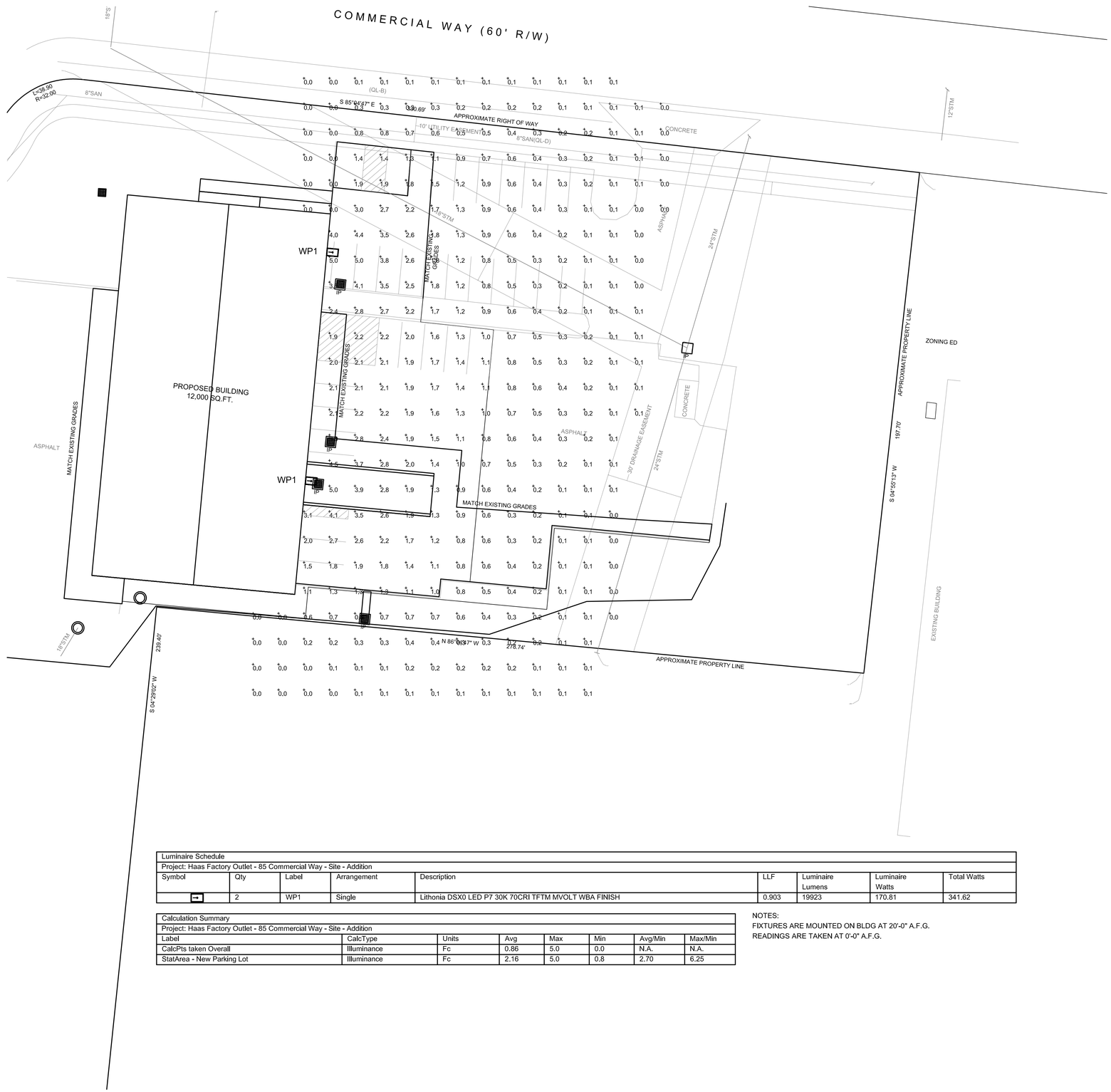
CURRENT:
6/5/2025

REVISED:
6/5/2025

811
Know what's below. Call before you dig.
1-800-362-2764
OHIO UTILITIES PROTECTION SERVICE (OUPS)
LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

PLOT DATE: 6/5/2025 9:38 AM

L1



Luminaire Schedule								
Project: Haas Factory Outlet - 85 Commercial Way - Site - Addition								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	2	WP1	Single	Lithonia DSX0 LED P7 30K 70CRI TFTM MVOLT WBA FINISH	0.903	19923	170.81	341.62

Calculation Summary							
Project: Haas Factory Outlet - 85 Commercial Way - Site - Addition							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts taken Overall	Illuminance	Fc	0.86	5.0	0.0	N.A.	N.A.
StatArea - New Parking Lot	Illuminance	Fc	2.16	5.0	0.8	2.70	6.25

NOTES:
FIXTURES ARE MOUNTED ON BLDG AT 20'-0" A.F.G.
READINGS ARE TAKEN AT 0'-0" A.F.G.

IF USING PRODUCTS WITH SELECTABLE KELVIN TEMPERATURES AND/OR ADJUSTABLE LUMEN PACKAGES, PLEASE ENSURE THOSE FIXTURES ARE SET IN THE FIELD TO THE DESIGN PROVIDED ON THIS DRAWING

THIS DOCUMENT IS THE PRODUCT AND EXCLUSIVE PROPERTY OF KING LIGHTING, INC. NEITHER THE DOCUMENT NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR USED BY ANY COMPANY OTHER THAN THE COMPANY FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF KING LIGHTING, INC. ANY VIOLATION MAY RESULT IN APPROPRIATE LEGAL ACTION.

Design Criteria

DESIGN FILE: HaasFactoryOutlet_Site_Add.agi

FIXTURE LAYOUT IS BASED ON A 0.90LIGHT LOSS FACTOR AND REFLECTANCE VALUES UNLESS NOTED OTHERWISE.

MINIMUM: AVE/MIN:
MAXIMUM: MAX/AVE:
AVERAGE: MAX/MIN:

INTERIOR LIGHTING LEVELS ARE SHOWN AT A.F.F. UNLESS NOTED OTHERWISE.

EXTERIOR LIGHTING LEVELS ARE SHOWN AT 0'-0" A.F.G. UNLESS NOTED OTHERWISE.

King Lighting, Inc.
700 West Pete Rose Way - Suite 215
Cincinnati, OH 45203
(859) 261-5511 Fax (859) 261-2228
www.king-lighting.com

Lighting Calculations for
Haas Factory Outlet - 85 Commercial Way - Site (Addition)
Springboro, OH

LIGHTING SITE PLAN	SCALE 1"=20'-0"	DESIGNER JJ	CHECKED JJ	DATE 05/30/25	SHEET S1

Disclaimer:
AGI and Genlyte has made great efforts to ensure the accuracy of their program, however AGI, Genlyte and King Lighting Inc. assume no liability for the decisions made with the assistance of these design programs. Actual light levels generated by installed luminaires may differ from the light levels predicted by AGI or GENESYS for a number of reasons including (but not limited to) electrical supply, equipment tolerances, installation details, lamp/ballast interaction, thermal factors and obstructions from within the space.

Proposed Floor Plan
SCALE: 3/16" = 1'-0"

WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES IN THE PREPARATION OF THESE PLANS, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE PROJECT MUST REVIEW ALL PLANS & CHECK ALL DIMENSIONS AND DETAILS AND REPORT ANY DISCREPANCIES BEFORE THE START OF CONSTRUCTION OR THE ORDERING OF ANY MATERIALS.

STATE OF OHIO
DENNIS R. BEATTY
10919
REGISTERED ARCHITECT

Dennis R. Beatty, License #10919
Expiration Date : 12/31/2025

Dennis R. Beatty
architect
1900 FIRST AVENUE
MIDDLETOWN, OHIO 45044
EMAIL : ARCHITECT@CINCI.RR.COM
TEL : 513.424.8383 FAX : 513.424.8343
* Residential * Commercial * Industrial

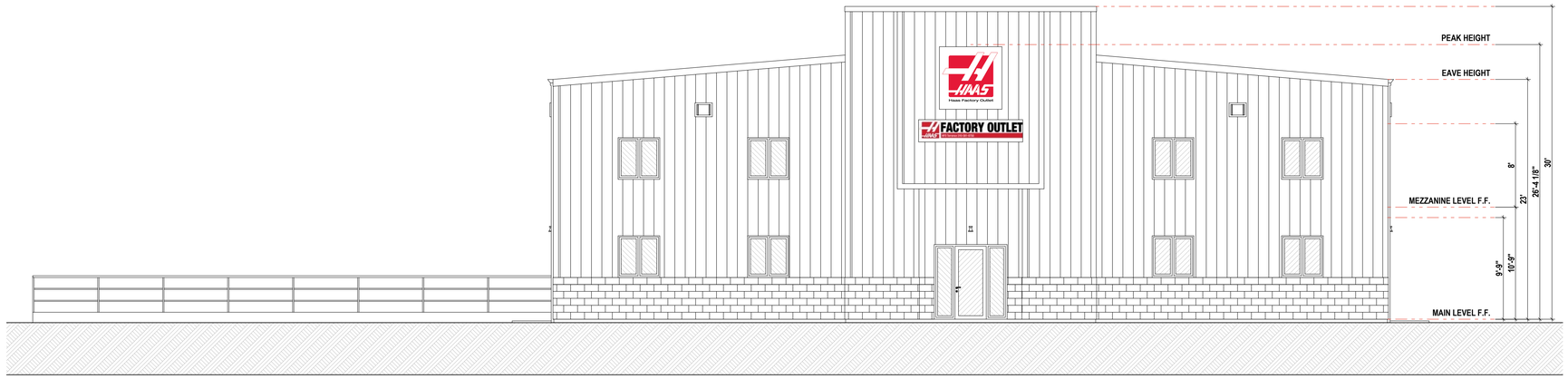
PS properties

PROPOSED NEW BUILDING FOR :
FACTORY OUTLET
95 COMMERCIAL WAY
SPRINGBORO, OH 45066

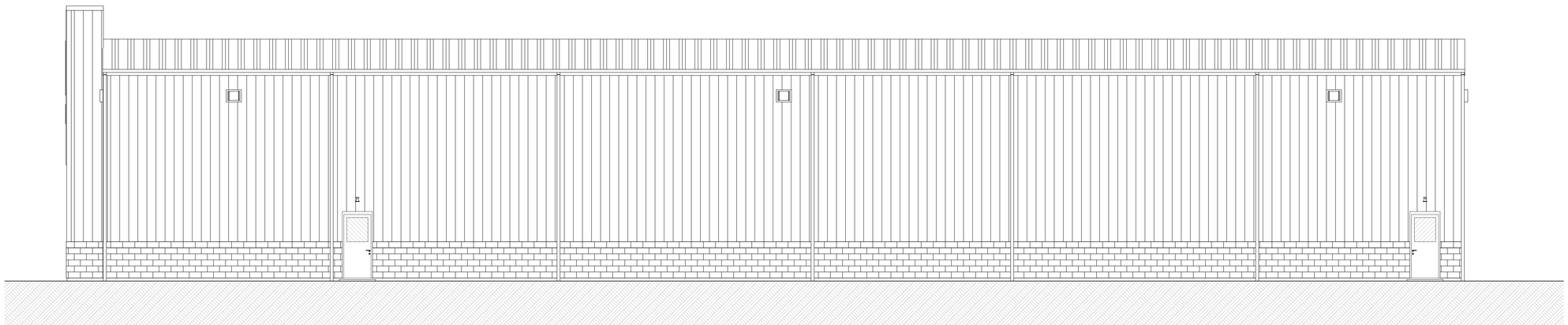
Proposed Main Level Floor Plan

Revisions :
1
1
1
1
1
1
1

Date :	4.9.2025
Scale :	As Noted
Drawn :	Chad D. Pequignot
Project # :	#CDP25028
Sheet Number:	A-1



Front Elevation
SCALE: 3/16" = 1'-0"



Right Side Elevation
SCALE: 3/16" = 1'-0"

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PROPOSED NEW BUILDING FOR :
FACTORY OUTLET
95 COMMERCIAL WAY
SPRINGBORO, OH 45066

Front & Right Side Elevations

Revisions :
†
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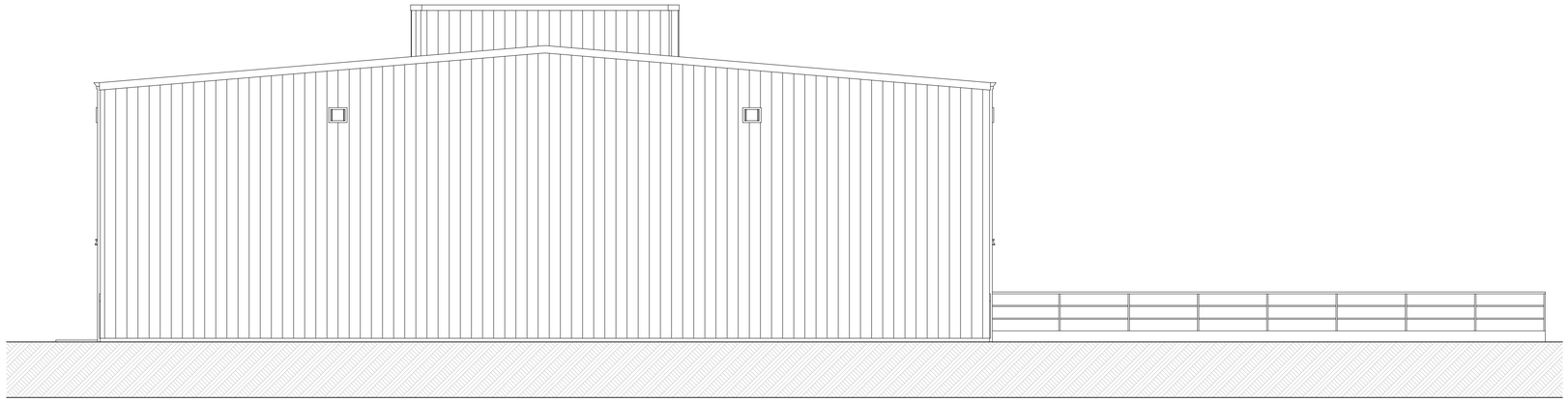
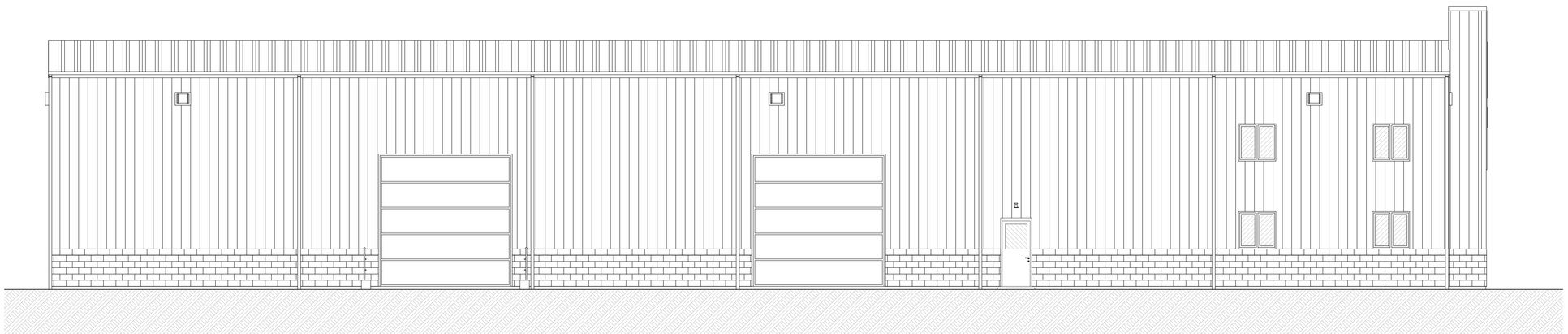
Date :	4.9.2025
Scale :	As Noted
Drawn :	Chad D. Pequignot
Project # :	#CDP25028
Sheet Number:	A-2

WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES IN THE PREPARATION OF THESE PLANS, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE PROJECT MUST REVIEW ALL PLANS & CHECK ALL DIMENSIONS AND DETAILS AND REPORT ANY DISCREPANCIES BEFORE THE START OF CONSTRUCTION OR THE ORDERING OF ANY MATERIALS.



Rear Elevation
SCALE: 3/16" = 1'-0"



Left Side Elevation
SCALE: 3/16" = 1'-0"

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PROPOSED NEW BUILDING FOR :
FACTORY OUTLET
95 COMMERCIAL WAY
SPRINGBORO, OH 45066

Rear & Left Side Elevations

Revisions :
1
1
1
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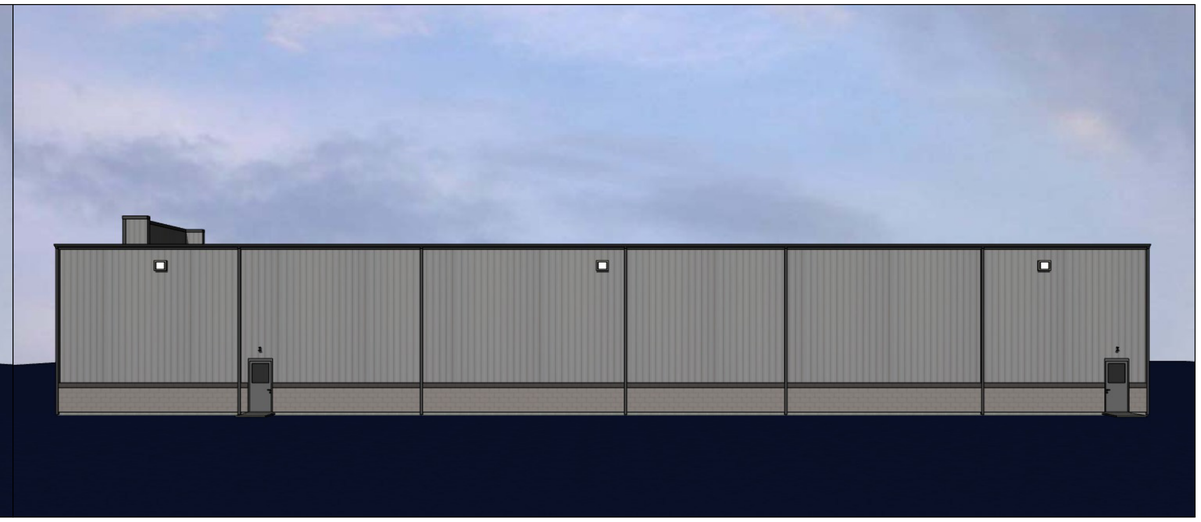
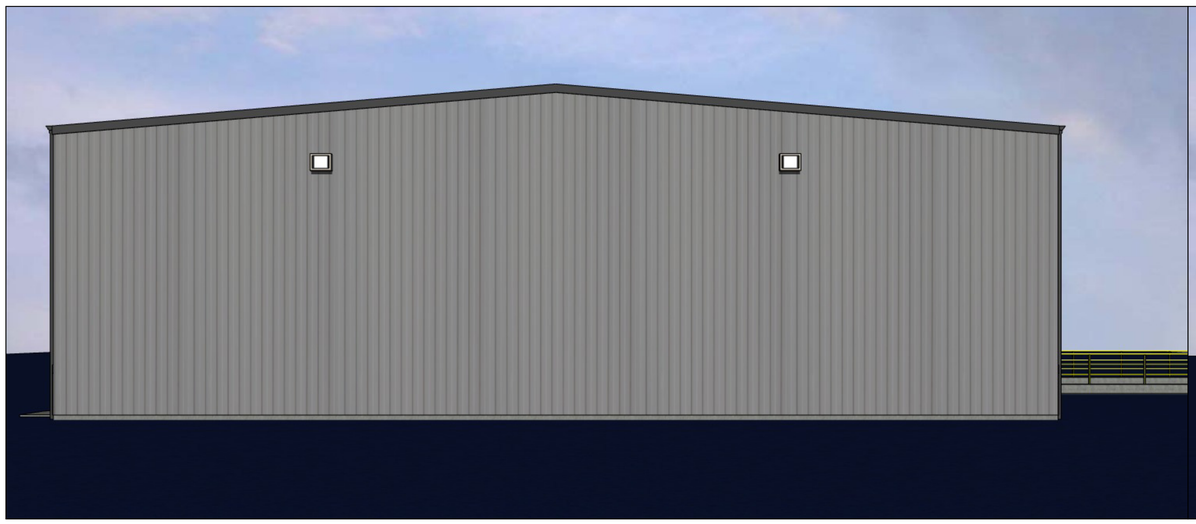
Date :	4.9.2025
Scale :	As Noted
Drawn :	Chad D. Pequignot
Project # :	#CDP25028
Sheet Number:	A-2.1





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PROPOSED NEW BUILDING FOR :
FACTORY OUTLET
95 COMMERCIAL WAY
SPRINGBORO, OH 45066

Conceptual 3D Images

Revisions :
1
1
1
1
1
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1

Date :	4.9.2025
Scale :	As Noted
Drawn :	Chad D. Pequignot
Project # :	#CDP25028
Sheet Number:	A-3

LITHONIA LIGHTING®

Catalog Number	
Notes	
Type	EXT-1

FEATURES & SPECIFICATIONS

INTENDED USE – Ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION – Rugged, die-cast, soft corner aluminum housing with 0.12" nominal wall thickness. Die-cast door frame has impact-resistant,tempered, glass lens that is fully gasketed with one-piece tubular silicone.

Finish: Standard finish is dark bronze (DDB) polyester powder finish, with other architectural colors available.

OPTICS – Anodized, aluminum reflectors: IES full cutoff distributions R2 (asymmetric), R3 (asymmetric), R4 (forward throw) and R5S (square) are interchangeable. High-performance anodized, segmented aluminum reflectors IES full cutoff distributions SR2 (asymmetric), SR3 (asymmetric) and SR4SC (forward throw, sharp cutoff). High-performance reflectors attach with tool-less fasteners and are rotatable and interchangeable.

ELECTRICAL – Ballast: High pressure sodium: 70-150W is high reactance, high power factor. Constant wattage autotransformer for 200-400W. Metal halide: 70-150W is high reactance, high power factor and is standard with pulse-start ignitor technology. "SCWA" not required. Constant wattage autotransformer for 175-400W. Super CWA (pulse start ballast), 88% efficient and EISA legislation compliant, is required for metal halide 151-400W (SCWA option) for US shipments only. CSA, NOM or INTL required for probe start shipments outside of the US. Pulse-start ballast (SCWA) required for 200W, 320W, or 350W. Ballast is 100% factory-tested.

Socket: Porcelain, horizontally oriented medium base socket for 70-150M. Mogul base socket for 175M and above, and 70-400S, with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W, 600V.

LISTINGS – UL Listed (standard). CSA Certified (see Options). UL listed for 25°C ambient and wet locations. IP65 rated in accordance with standard IEC 529.

Specifications subject to change without notice.

CONTOUR® SERIES

Soft Square Lighting

KAD

METAL HALIDE: 70-400W
HIGH PRESSURE SODIUM: 70-400W
20'TO 35' MOUNTING

Specifications

EPA: 1.2 ft.^{2}

*Weight: 35.9 lbs (16.28 kg)

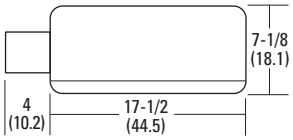
Length: 17-1/2 (44.5)

Width: 17-1/2" (44.5)

Depth: 7-1/8 (18.1)

All dimensions are inches (centimeters) unless otherwise specified.

*Weight as configured in example below.



ORDERING INFORMATION For shortest lead times, configure product using **bolded options**.

Example: KAD 400M R3 TB SCWA SPD04 LPI

KAD 25' MOUNTING HT.

Series	Wattage				Distribution		Voltage	Ballast	Mounting[12]		Arm length
KAD	Metal halide		High pressure sodium[1]	Ceramic metal halide	Standard reflectors	High performance reflectors[8]	120	(blank) Magnetic ballast	Ships in fixture carton		**04** 4" arm
	70M[1,2]	**250M**[5]	70S	70MHC[1,2]	R2 IES type II asymmetric[7]	SR2 IES type II asymmetric[7]	208[9]	CWI Contant wattage isolated[11]	**SPD**___ Square pole		06 6" arm
	100M[1]	320M[4]	100S	100MHC[1]	**R3** IES type III asymmetric[7]	SR3 IES type III asymmetric[7]	**277**	Pulse Start HID Ballast/Lamp Systems	RPD___ Round pole		**09** 9" arm
	150M	350M[3,4]	150S	150MHC	**R4** IES type IV forward throw[7]	SR4SC IES type IV forward throw	**347**	**SCWA** Super CWA pulse-start ballast	WBD___ Wall bracket		12 12" arm
	175M[3]	**400M**[5,6]	**250S**		R5S IES type V square		**480**[9]	NOTE: For shipments to U.S. territories, SCWA must be specified to comply with EISA.	WWD___ Wood or pole wall		
	200M[4]		**400S**				**TB**[10]		Ships separately[13,14]		
							23050HZ[11]		DAD12P Degree arm (pole)		
									DAD12WB Degree arm (wall)		
									WBA Decorative wall bracket[15]		
									KMA Mast arm external fitter		
									KTMB Twin mounting bar		

Options			Finish[20]	Lamp[21]
Shipped installed in fixture	QRSTD QRS time delay[18]	Shipped separately[13]	**(blank)** Dark bronze	**LPI** Lamp included
SF Single fuse (120, 277, 347V)[16]	WTB Terminal wiring block[17]	PE1 NEMA twist-lock PE (120, 208, 240V)	**DWH** White	**L/LP** Less lamp
DF Double fuse (208, 240, 480V)[16]	HS House side shield	PE3 NEMA twist-lock PE (347V)	**DBL** Black	NIGHTTIME FRIENDLY Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction
PD Power tray[17]	**CSA** CSA Certified	PE4 NEMA twist-lock PE (480V)	**DMB** Medium bronze	
PER NEMA twist-lock receptacle only (no photocontrol)	INTL Available MH for probe start shipping outside the U.S.	PE7 NEMA twist-lock PE (277V)	**DNA** Natural aluminum	
QRS Quartz restrike system[18]	REGC1 California Title 20, effective 1/1/2010	SC Shorting cap for PER option		
		VG Vandal guard[19]		
		WG Wire guard[19]		

Notes

1 Not available with SCWA.
2 Not available with 480V.
3 These wattages do not comply with California Title 20 regulations.
4 Must be ordered with SCWA.
5 These wattages require the REGC1 option to be chosen for shipments into California for Title 20 compliance. 250M REGC1 in not available in 347 or 480V.
6 Reduced jacket ED28 required for SR2, SR3 and SR4SC optics.
7 House-side shield available.
8 High performance reflectors not available with QRSTD.
9 Must specify CWI for use in Canada.
10 Optional multi-tap ballast (120, 208, 240, 277V; in Canada: 120, 277, 347V).
11 Consult factory for available wattages.
12 9" arm is required when two or more luminaires are oriented on a 90° drilling pattern.
13 May be ordered as an accessory.
14 Must specify finish when ordered as an accessory.
15 Available with SPD04 and SPD09.
16 Must specicy voltage. N/A with TB.
17 Only available with SR2, SR3 and SR4SC optics.
18 Max allowable wattage lamp included.
19 Prefix with KAD when ordered as an accessory.
20 See www.lithonia.com/archcolors for additional color options.
21 Must be specified. L/LP not available with MHC.
22 Must use RPD09.

Accessories: Tenon Mounting Slipfitter *(RPxx required.)*
Order as seperate catalog number. Must be used with pole mounting.

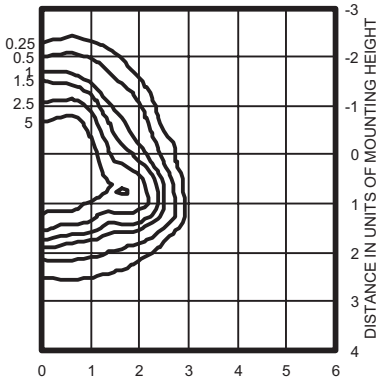
	Number of fixtures					
Tenon O.D.	One	Two@180°	Two@90°	Three@120°	Three@90°	Four@90°
2-3/8"	T20-190	T20-280	T20-290[22]	T20-320[22]	T20-390[22]	T20-490[22]
2-7/8"	T25-190	T25-280	T25-290[22]	T25-320	T25-390[22]	T25-490[22]
4	T35-190	T35-280	T35-290[22]	T35-320	T35-390[22]	T35-490[22]

KAD Metal Halide, Arm-mounted Soft Square Cutoff

Coefficient of Utilization ———
Initial Footcandles ━━━

KAD 400M R2 Test no. 1193083101P

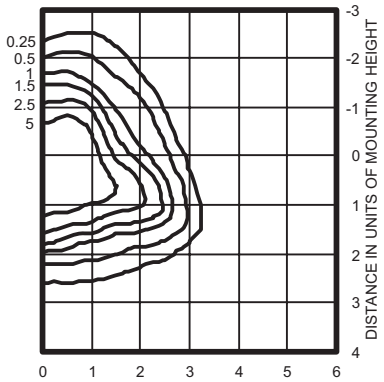
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Type II, Short, Full Cutoff

KAD 400M R3 Test no. 1192040902P

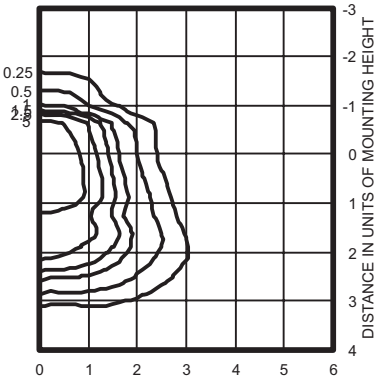
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
Classification: Type II, Short, Full Cutoff

KAD 400M R4 Test no. 1191110101P

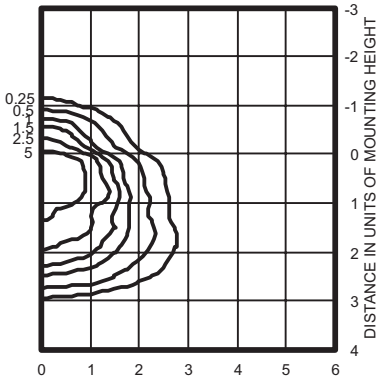
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type III, Very Short), Full Cutoff

KAD 400M R4HS Test no. 1192061101P

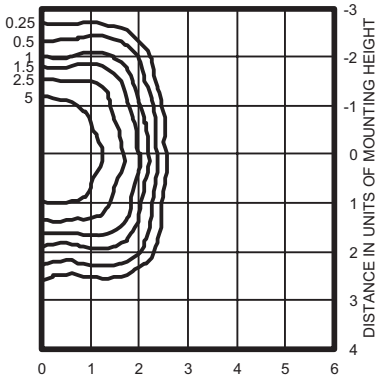
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type III, Very Short), Full

KAD 400M R5S Test no. 1194040801P

ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type NC, Very Short), Full Cutoff

Notes

1 Photometric data for other distributions can be accessed at www.lithonia.com.

2 Tested to current IES and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory data and actual field measurements. Dimensions and specifications on this sheet are based on the most current available data and are subject to change without notice.

3 For electrical characteristics, consult outdoor technical data specification sheets on www.lithonia.com.

Mounting Height Correction Factor

(Multiply the fc level by the correction factor)

25 ft. = 0.64
35 ft. = 0.32
40 ft. = 0.25

$$\left(\frac{\text{Existing Mounting Height}}{\text{New Mounting Height}}\right)^2 = \text{Correction Factor}$$

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LITHONIA LIGHTING®

Catalog Number	
Notes	
Type	EXT-1

CONTOUR® SERIES

Soft Square Lighting

KAD

METAL HALIDE: 70-400W
HIGH PRESSURE SODIUM: 70-400W
20'TO 35' MOUNTING

FEATURES & SPECIFICATIONS

INTENDED USE – Ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION – Rugged, die-cast, soft corner aluminum housing with 0.12" nominal wall thickness. Die-cast door frame has impact-resistant,tempered, glass lens that is fully gasketed with one-piece tubular silicone.

Finish: Standard finish is dark bronze (DDB) polyester powder finish, with other architectural colors available.

OPTICS – Anodized, aluminum reflectors: IES full cutoff distributions R2 (asymmetric), R3 (asymmetric), R4 (forward throw) and R5S (square) are interchangeable. High-performance anodized, segmented aluminum reflectors IES full cutoff distributions SR2 (asymmetric), SR3 (asymmetric) and SR4SC (forward throw, sharp cutoff). High-performance reflectors attach with tool-less fasteners and are rotatable and interchangeable.

ELECTRICAL – Ballast: High pressure sodium: 70-150W is high reactance, high power factor. Constant wattage autotransformer for 200-400W. Metal halide: 70-150W is high reactance, high power factor and is standard with pulse-start ignitor technology. "SCWA" not required. Constant wattage autotransformer for 175-400W. Super CWA (pulse start ballast), 88% efficient and EISA legislation compliant, is required for metal halide 151-400W (SCWA option) for US shipments only. CSA, NOM or INTL required for probe start shipments outside of the US. Pulse-start ballast (SCWA) required for 200W, 320W, or 350W. Ballast is 100% factory-tested.

Socket: Porcelain, horizontally oriented medium base socket for 70-150M. Mogul base socket for 175M and above, and 70-400S, with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W, 600V.

LISTINGS – UL Listed (standard). CSA Certified (see Options). UL listed for 25°C ambient and wet locations. IP65 rated in accordance with standard IEC 529.

Specifications subject to change without notice.

Specifications

EPA: 1.2 ft.[2]

*Weight: 35.9 lbs (16.28 kg)

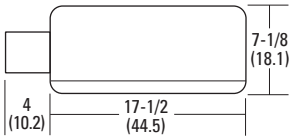
Length: 17-1/2 (44.5)

Width: 17-1/2" (44.5)

Depth: 7-1/8 (18.1)

All dimensions are inches (centimeters) unless otherwise specified.

*Weight as configured in example below.



ORDERING INFORMATION For shortest lead times, configure product using **bolded options**.

Example: KAD 400M R3 TB SCWA SPD04 LPI

KAD — 25' MOUNTING HT.

Series	Wattage				Distribution		Voltage	Ballast	Mounting[12]	
KAD	Metal halide		High pressure sodium[1]	Ceramic metal halide	Standard reflectors	High performance reflectors[8]	120	(blank) Magnetic ballast	Ships in fixture carton	Arm length
	70M[1,2]	**250M**[5]	70S	70MHC[1,2]	R2 IES type II asymmetric[7]	SR2 IES type II asymmetric[7]	208[9]	CWI Contant wattage isolated[11]	**SPD___** Square pole	**04** 4" arm
	100M[1]	320M[4]	100S	100MHC[1]	**R3** IES type III asymmetric[7]	SR3 IES type III asymmetric[7]	**277**	Pulse Start HID Ballast/Lamp Systems	RPD___ Round pole	06 6" arm
	150M	350M[3,4]	150S	150MHC	**R4** IES type IV forward throw[7]	SR4SC IES type IV forward throw	**347**	**SCWA** Super CWA pulse-start ballast	WBD___ Wall bracket	**09** 9" arm
	175M[3]	**400M**[5,6]	**250S**		R5S IES type V square		**480**[9]	NOTE: For shipments to U.S. territories, SCWA must be specified to comply with EISA.	WWD___ Wood or pole wall	12 12" arm
	200M[4]		**400S**				**TB**[10]		Ships separately[13,14]	
							23050HZ[11]		DAD12P Degree arm (pole)	
									DAD12WB Degree arm (wall)	
									WBA Decorative wall bracket[15]	
									KMA Mast arm external fitter	
									KTMB Twin mounting bar	

Options			Finish[20]	Lamp[21]
Shipped installed in fixture	QRSTD QRS time delay[18]	Shipped separately[13]	**(blank)** Dark bronze	**LPI** Lamp included
SF Single fuse (120, 277, 347V)[16]	WTB Terminal wiring block[17]	PE1 NEMA twist-lock PE (120, 208, 240V)	**DWH** White	**L/LP** Less lamp
DF Double fuse (208, 240, 480V)[16]	HS House side shield	PE3 NEMA twist-lock PE (347V)	**DBL** Black	NIGHTTIME FRIENDLY Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction
PD Power tray[17]	**CSA** CSA Certified	PE4 NEMA twist-lock PE (480V)	**DMB** Medium bronze	
PER NEMA twist-lock receptacle only (no photocontrol)	INTL Available MH for probe start shipping outside the U.S.	PE7 NEMA twist-lock PE (277V)	**DNA** Natural aluminum	
QRS Quartz restrike system[18]	REGC1 California Title 20, effective 1/1/2010	SC Shorting cap for PER option		
		VG Vandal guard[19]		
		WG Wire guard[19]		

Notes

1 Not available with SCWA.
2 Not available with 480V.
3 These wattages do not comply with California Title 20 regulations.
4 Must be ordered with SCWA.
5 These wattages require the REGC1 option to be chosen for shipments into California for Title 20 compliance. 250M REGC1 in not available in 347 or 480V.
6 Reduced jacket ED28 required for SR2, SR3 and SR4SC optics.
7 House-side shield available.
8 High performance reflectors not available with QRSTD.
9 Must specify CWI for use in Canada.
10 Optional multi-tap ballast (120, 208, 240, 277V; in Canada: 120, 277, 347V).
11 Consult factory for available wattages.
12 9" arm is required when two or more luminaires are oriented on a 90° drilling pattern.
13 May be ordered as an accessory.
14 Must specify finish when ordered as an accessory.
15 Available with SPD04 and SPD09.
16 Must specicy voltage. N/A with TB.
17 Only available with SR2, SR3 and SR4SC optics.
18 Max allowable wattage lamp included.
19 Prefix with KAD when ordered as an accessory.
20 See www.lithonia.com/archcolors for additional color options.
21 Must be specified. L/LP not available with MHC.
22 Must use RPD09.

Accessories: Tenon Mounting Slipfitter *(RPxx required.)*
Order as seperate catalog number. Must be used with pole mounting.

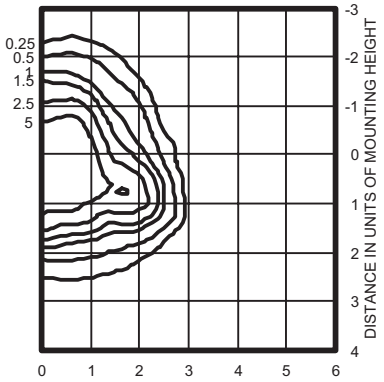
Tenon O.D.	Number of fixtures: One	Two@180°	Two@90°	Three@120°	Three@90°	Four@90°
2-3/8"	T20-190	T20-280	T20-290[22]	T20-320[22]	T20-390[22]	T20-490[22]
2-7/8"	T25-190	T25-280	T25-290[22]	T25-320	T25-390[22]	T25-490[22]
4	T35-190	T35-280	T35-290[22]	T35-320	T35-390[22]	T35-490[22]

KAD Metal Halide, Arm-mounted Soft Square Cutoff

Coefficient of Utilization ———
Initial Footcandles ━━━

KAD 400M R2 Test no. 1193083101P

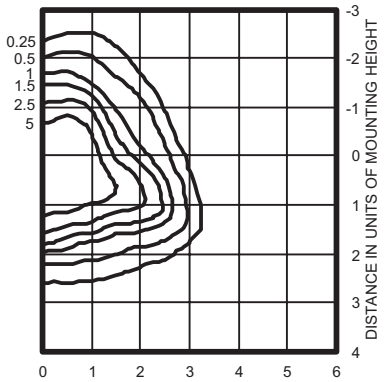
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Type II, Short, Full Cutoff

KAD 400M R3 Test no. 1192040902P

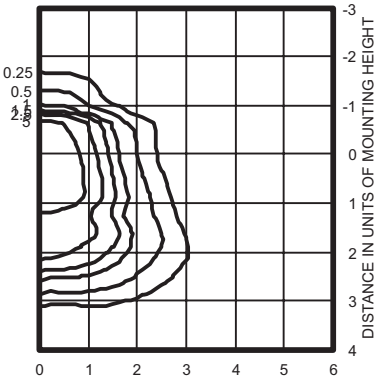
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
Classification: Type II, Short, Full Cutoff

KAD 400M R4 Test no. 1191110101P

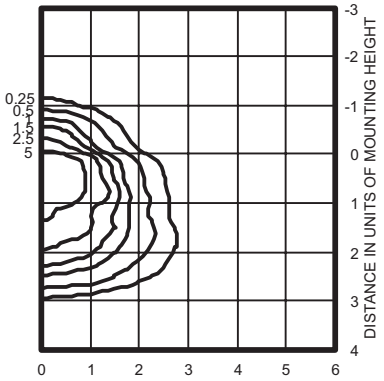
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type III, Very Short), Full Cutoff

KAD 400M R4HS Test no. 1192061101P

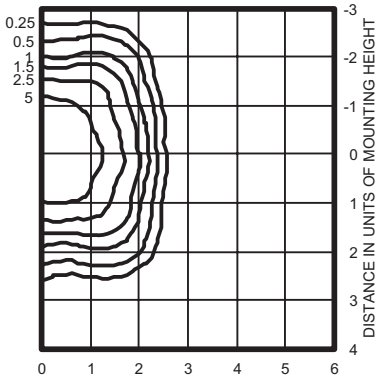
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type III, Very Short), Full

KAD 400M R5S Test no. 1194040801P

ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type NC, Very Short), Full Cutoff

Notes

1 Photometric data for other distributions can be accessed at www.lithonia.com.

2 Tested to current IES and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory data and actual field measurements. Dimensions and specifications on this sheet are based on the most current available data and are subject to change without notice.

3 For electrical characteristics, consult outdoor technical data specification sheets on www.lithonia.com.

Mounting Height Correction Factor

(Multiply the fc level by the correction factor)

25 ft. = 0.64
35 ft. = 0.32
40 ft. = 0.25

$$\left(\frac{\text{Existing Mounting Height}}{\text{New Mounting Height}}\right)^2 = \text{Correction Factor}$$

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LITHONIA LIGHTING®

Catalog Number	
Notes	
Type	EXT-1

FEATURES & SPECIFICATIONS

INTENDED USE — For building- and wall-mounted applications.

CONSTRUCTION — Rugged, die-cast, single-piece aluminum housing. Die-cast doorframe has impact-resistant, tempered glass lens. Doorframe is fully sealed with a closed-cell silicone gasket.

Finish: Standard finish is textured dark bronze (DDBT) polyester powder finish, with other architectural colors available.

OPTICS — Hydroformed reflector for superior uniformity and control. Vertical lamp orientation for improved lamp output and life.

ELECTRICAL — HID 70W-150W utilizes a high-reactance, high power factor ballast. 175W utilizes a constant-wattage autotransformer ballast. Super CWA Pulse Start ballasts, 88% efficient and EISA legislation compliant, are required for 151-200W (must order SCWA option) for US shipments only. CSA, NOM or INTL required for probe start shipments outside of the US. 200M is only available with SCWA. HEB maximum wattage 100M. Quick-disconnect plugs easily disconnect reflector from ballast and fixture from supply wires. Ballasts are precision-wound and 100% factory tested. Ceramic metal halide lamps are recommended for use in applications where superior color rendition, lumen maintenance and longer lamp life are desired.

Socket: For HID porcelain, medium-base socket (G12 for 70MHCT6) with copper alloy, nickel-plated screw shell and center contact.

INSTALLATION — Universal mounting plate with integral mounting bolts supports the fixture for easy, one-person installation.

LISTINGS — CSA Certified to U.S. and Canadian standards. Down orientation only. NOM Certified (see Options). **IP65 rated**. HID-175W and below-listed to 40° C ambient. 200W listed to 25° C ambient. The ELED option is listed to 25°C ambient. ELED: U.S. Patent No. 7,737,640.

Note: Specifications subject to change without notice.

Wall-Mounted Luminaire

TWF1

METAL HALIDE: 70M-200M
HIGH PRESSURE SODIUM: 70S-150S

Specifications

Width: 16 (40.6)

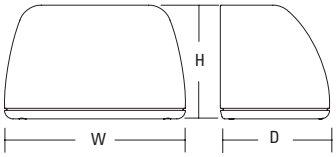
Height: 10 1/16 (25.6)

Depth: 9-5/8 (24.4)

*Weight: 24 lbs (10.9 kg)

All dimensions are inches (centimeters) unless otherwise indicated.

*Weight as configured in example below.



NIGHTTIME FRIENDLY™
Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative.

Example: TWF1 100M TB LPI

TWF1

Series	Wattage	Voltage	Ballast	Mounting	Options	Finish[16]	Lamp[17]
TWF1	Metal halide 70M 100M 150M 175M 200M Ceramic metal halide[1] 70MHC 100MHC 150MHC 70MHCT6 High pressure sodium 70S 100S 150S	120 208[2] 240[2] 277 347 480[2] TB[3] 23050HZ[4]	(blank) Magnetic ballast CWI Constant wattage isolated HEB Electronic ballast[5] Pulse Start HID Ballast/Lamp System SCWA Super CWA pulse start ballast[5,6] Note: For shipments to U.S. territories, SCWA must be specified to comply with EISA.	(blank) Surface mount Shipped separately[7] BBW Surface mount[8]	Shipped installed in fixture SF Single fuse (120, 277, 347V, n/a TB) DF Double fuse (208, 240, 480V, n/a TB) QRSTD Quartz restrike with time delay[9,10] QRS Quartz restrike system[9,10] EC Emergency circuit[9, 10] ELED Emergency LED secondary source battery pack (-4° F min. operating temperature)[10, 11, 12] 2ELED Emergency LED secondary source (two modules) battery pack (-4° F min. operating temperature)[10, 11, 12, 13] DC12 Emergency circuit 12-volt (35W lamp included)[10, 13] 2DC12 Emergency circuit 12-volt (two 35W lamp included)[10, 13] DC2012 Emergency circuit 12-volt (20W lamp included)[10, 13] 2DC2012 Emergency circuit 12-volt (two 20W lamp included)[10, 13, 14] PE Photoelectric cell-button type (n/a TB or 480V)[12, 15] CSA CSA certified NOM NOM certified[4] INTL International shipment for 175M Shipped separately[7] WG Wire guard VG Vandal guard	(blank) Dark bronze, textured DSST Sandstone, textured DNAT Natural aluminum, textured DWHG White, textured DBLB Black, textured CR Corrosion-resistant finish CRT Non-stick protective coating (black only)	LPI Lamp included L/LP Less lamp

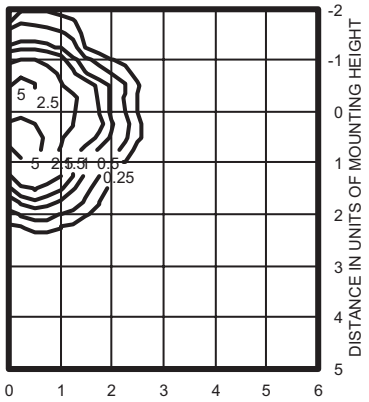
Notes

1 Must be ordered with lamp included (LPI).
2 Must specify CWI in Canada.
3 Optional multi-tap ballast (120, 208, 240, 277V; 120, 277, 347V in Canada--ships as 120/347.
4 Consult factory for availability.
5 Available in metal halide only.
6 Not available in 70 or 100W.
7 May be ordered as an accessory. Prefix with TWF1.
8 Must specify finish when ordered as an accessory. Not available with ELED or 2ELED.
9 Maximum allowable wattage lamp included.
10 Cannot be ordered with any other emergency option.
11 Maximum wattage 100M and 70S. Only available in 120V or 277V.
12. Must specify voltage.
13 Not available with SF or DF.
14 Consult factory for maximum HID wattage available with this option.
15 Must be ordered with fixture; cannot be field installed.
16 See www.lithonia.com/archcolors for additional color options.
17 Must be specified.

TWF1 Metal Halide, High Pressure Sodium, Wall Mounted

TWF1 100M TEST NO: LTL18073

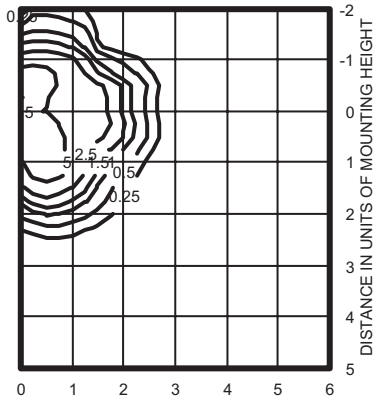
ISOILLUMINANCE PLOT (Footcandle)



100W pulse start metal halide lamp, horizontal lamp orientation Footcandle values based on 12' mounting height, 8500 rated lumens.
Luminaire Efficiency: 56.3%

TWF1 150M TEST NO: LTL18072

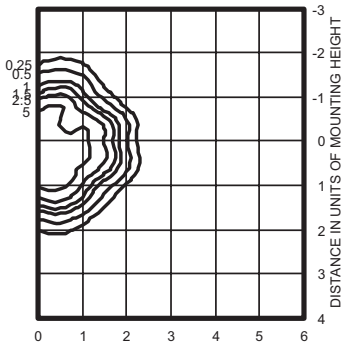
ISOILLUMINANCE PLOT (Footcandle)



150W pulse start metal halide lamp, horizontal lamp orientation Footcandle values based on 12' mounting height, 12900 rated lumens.
Luminaire Efficiency: 56.3%

TWF2 250S TEST NO: LTL18477

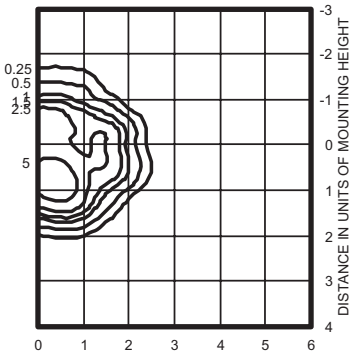
ISOILLUMINANCE PLOT (Footcandle)



250W lamp, rated 29000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type II, Very Short), Full Cutoff
Luminaire Efficiency: 60.8%

TWF2 250M TEST NO: LTL18478

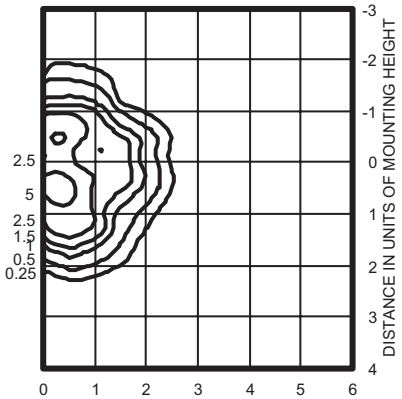
ISOILLUMINANCE PLOT (Footcandle)



250W pulse start metal halide lamp, rated 22000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type II, Very Short), Full Cutoff
Luminaire Efficiency: 60.2%

TWF1 200M TEST NO: LTL18074

ISOILLUMINANCE PLOT (Footcandle)



200W pulse start metal halide lamp, rated 21000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type III, Very Short), Full Cutoff
Luminaire Efficiency: 56.3%

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Preliminary Review, Rezoning & General Plan, O, Office District, to PUD-MU, Planned Unit Development-Mixed-Use, southeast corner W Central Ave (SR 73) and Clearcreek-Franklin Road, mixed-used development

City of Springboro
320 West Central Avenue
Springboro, OH 45066
Phone: (937) 748-4343
Fax: (937) 748-0815
www.ci.springboro.oh.us

APPLICATION" PLANNED UNIT DEVELOPMENTS
CITY OF SPRINGBORO PLANNING COMMISSION

☑ REZONING/GENERAL PLAN ☐ FINAL DEVELOPMENT PLAN ☐ RECORD PLAN ☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

- ☐ Owner
- ☑ Agent
- ☐ Lessee
- ☐ Signed Purchase Contract

APPLICANT NAME: Taft Stettinus & Hollister LLP, c/o Sonya Jindal Tork, Esq.

Address: 425 Walnut Street, Suite 1800
Cincinnati, OH 45202

Telephone No. (513) 498-8756

Fax No. (513) 381-0205

Email Address: jindal@taftlaw.com

PROPERTY OWNER NAME (IF OTHER): Anne Easton-Hansen, Charles A. Easton, Terry C. Easton, James Kevin Swallow, Carrie Kendall

Address: 503 Watkins Pond Blvd.
Rockville, MD 20850

Telephone No. (937) 776-9813

Property Address or General Location: 0 W. Central Avenue Springboro, OH 45066

Parcel Number(s): 0414301006 Acreage: 35.601

PUD Category: ☐ Residential ☐ Retail ☐ Office ☐ Manufacturing ☑ Mixed Use

If Mixed Use, Acreage in Each Category: Please see pg. 12 of the PUD package for the acreage by category.

For Residential Proposed Density 24 du/ac Number of Residential Units 335

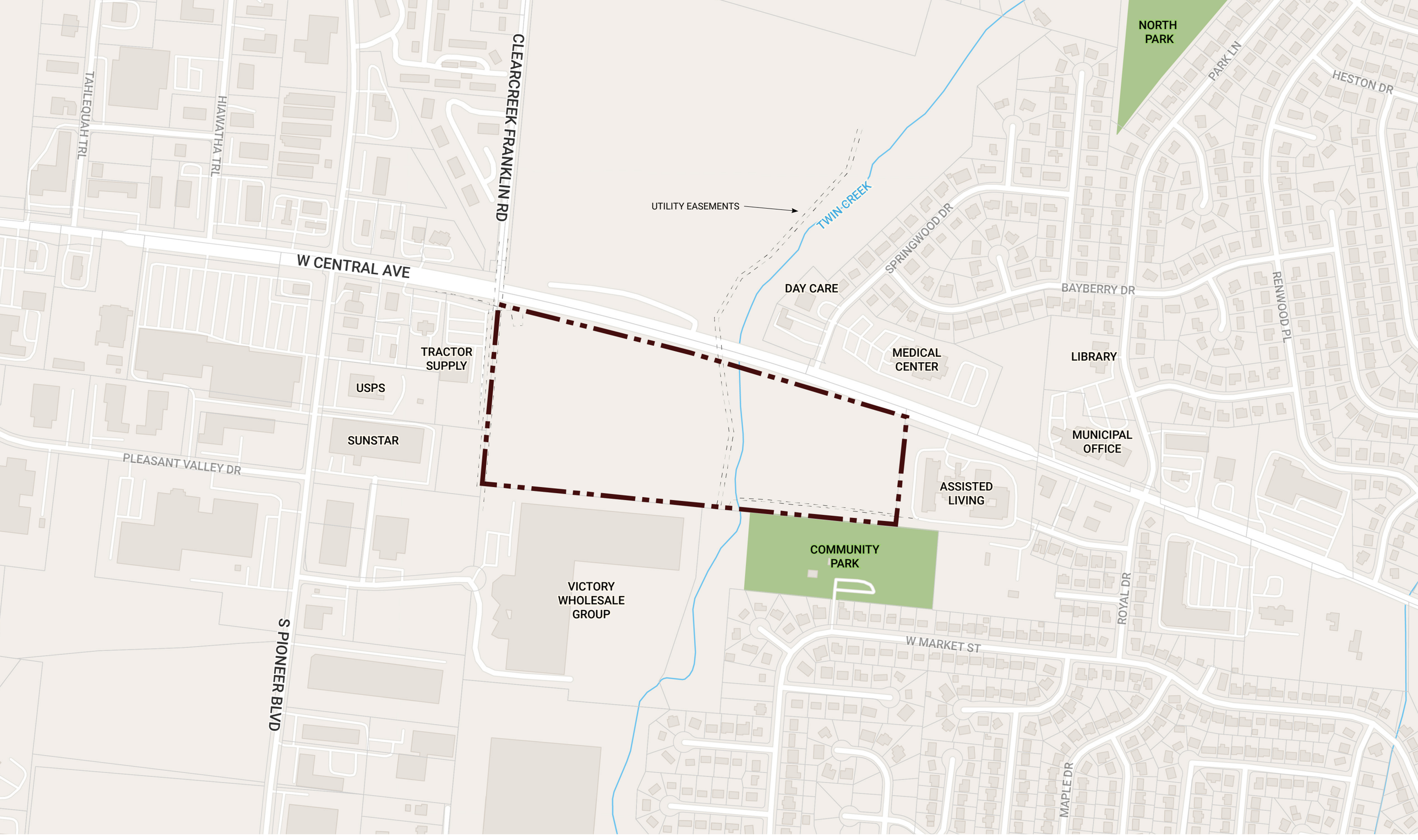
Proposed Use: The proposed use is a mixed-use development featuring multi-family residential, retail, and public space.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

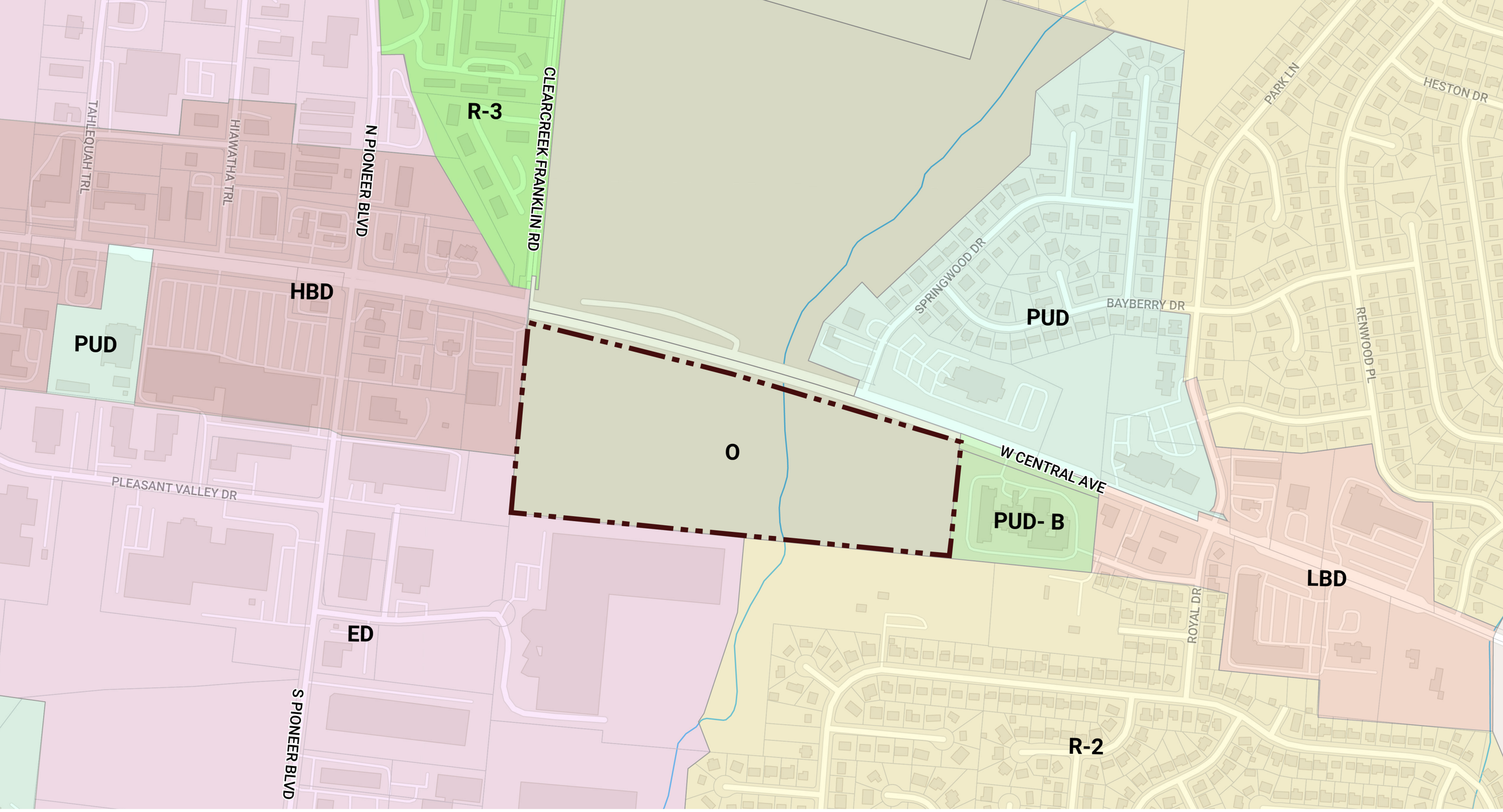
Sonya Jindal
(Signature of Applicant and/or Agent)

3/20/2025
(Date)

Sonya Jindal Tork, Esq.
Printed Name



Vicinity Map

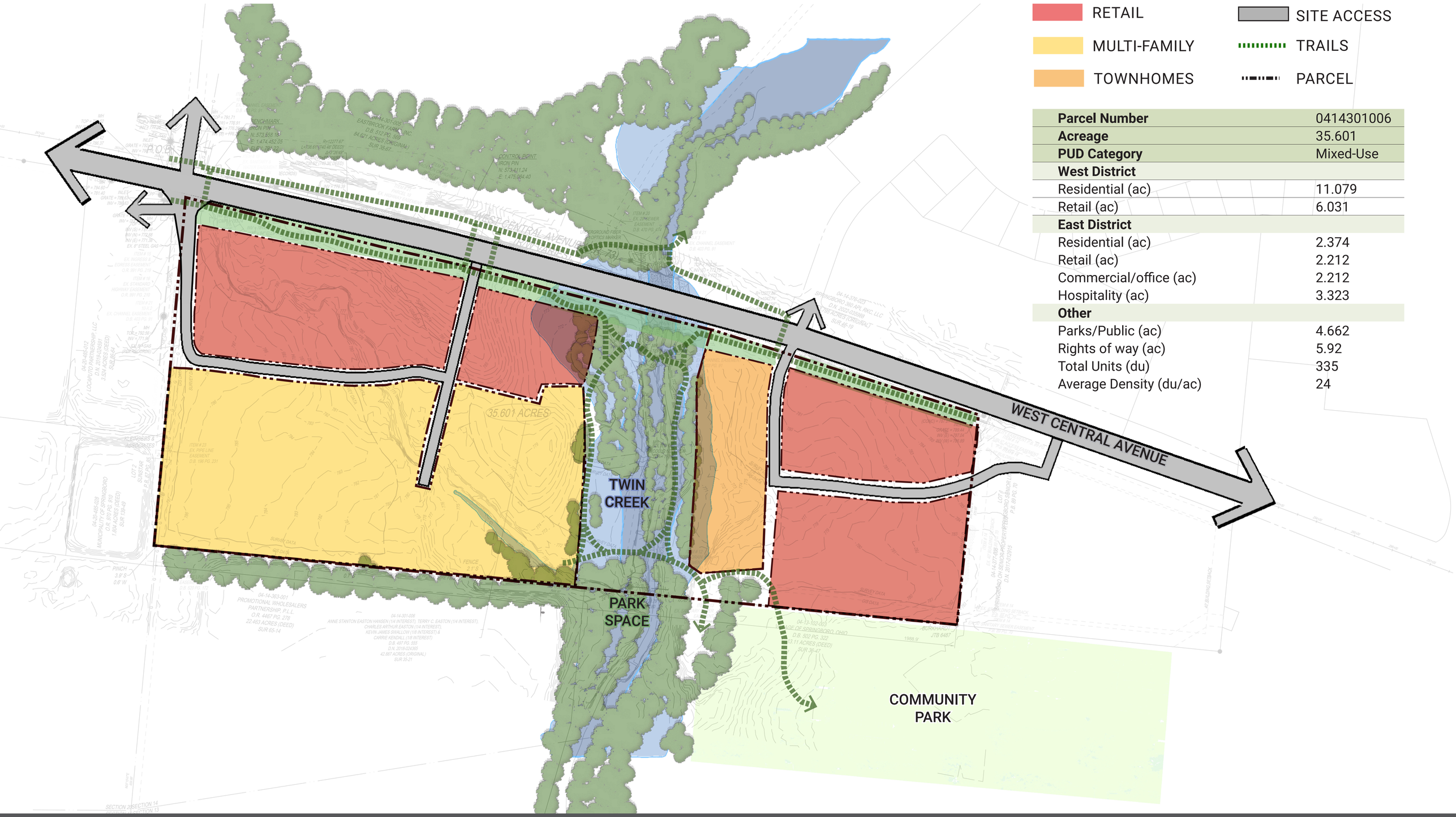


Zoning

- **O** - OFFICE PARK DISTRICT
- **HBD** - HIGHWAY BUSINESS DISTRICT
- **LBD** - LOCAL BUSINESS DISTRICT
- **PUD** - PLANNED UNIT DEVELOPMENT DISTRICT
- **PUD-B** - PLANNED UNIT DEVELOPMENT- BUSINESS
- **R-2** - LOW DENSITY RESIDENTIAL DISTRICT
- **R-3** - MEDIUM DENSITY RESIDENTIAL

0 400 800 FEET

N



Parcel Number	0414301006
Acreage	35.601
PUD Category	Mixed-Use
West District	
Residential (ac)	11.079
Retail (ac)	6.031
East District	
Residential (ac)	2.374
Retail (ac)	2.212
Commercial/office (ac)	2.212
Hospitality (ac)	3.323
Other	
Parks/Public (ac)	4.662
Rights of way (ac)	5.92
Total Units (du)	335
Average Density (du/ac)	24

DEVELOPMENT PLAN

0 100 400 FEET

N

INSPIRED PEOPLE ▲ CREATIVE DESIGN ▲ TRANSFORMING COMMUNITIES

PROPOSED LEGEND

- REGULATORY FLOODWAY
- 100 YEAR FLOODPLAIN
- 500 YEAR FLOODPLAIN

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NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

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513.779.7851

H:\2024\240466\000_DWG_Misc\Floodplain Exhibit.dwg, 6/17/2024 10:03 AM, Jake Bradburn

SEAL:

NO.	DATE	DESCRIPTION
1.	5/29/2024	SCHEMATIC DESIGN

KINGSLEY DEVELOPMENT

SPRINGBORO, OH
MONTGOMERY COUNTY

PROJECT NO: 240466.000

DATE: 5/29/2024

SCALE: 0 50 100 200

SHEET NAME:

GIS WITH FLOODPLAIN

SHEET NO.

1-1

INSPIRED PEOPLE ▲ CREATIVE DESIGN ▲ TRANSFORMING COMMUNITIES

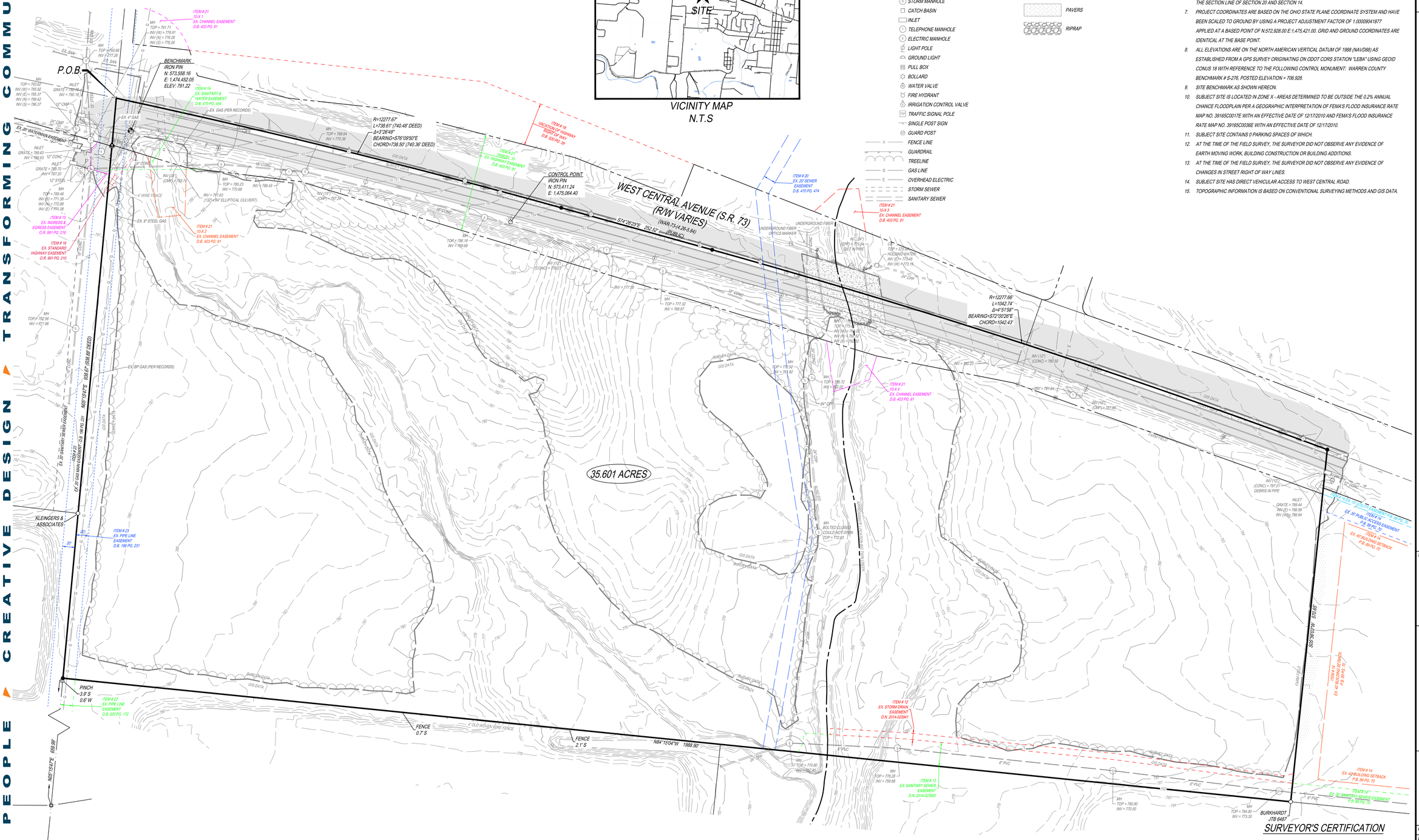
VICINITY MAP
N.T.S

LEGEND:

- BENCHMARK
- 5/8" IRON PIN FOUND (UNLESS NOTED OTHERWISE)
- 5/8" IRON PIN SET
- 1" PIPE FOUND
- RAILROAD SPIKE FOUND
- STONE FOUND
- MAG NAIL SET
- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- INLET
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- LIGHT POLE
- GROUND LIGHT
- PULL BOX
- BOLLARD
- WATER VALVE
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- TRAFFIC SIGNAL POLE
- SINGLE POST SIGN
- GUARD POST
- FENCE LINE
- GUARDRAIL
- TREELINE
- GAS LINE
- OVERHEAD ELECTRIC
- STORM SEWER
- SANITARY SEWER
- HARDWOOD TREE
- CONCRETE
- ASPHALT
- GRAVEL
- LANDSCAPE
- PAVERS
- RIPRAP

NOTES:

1. SOURCE DOCUMENTS AS NOTED.
2. OCCUPATION IN GENERAL FITS SURVEY.
3. MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
4. ALL IRON PINS SET ARE 5/8" DIAMETER x 30" IRON REBAR WITH ID CAP STAMPED "KLEINGERS".
5. DISTANCE UNITS ARE BASED ON THE US SURVEY FOOT DEFINITION (1" = 1200/3937 METERS.
6. BEARINGS SHOWN HEREON ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM. SOUTH ZONE, AND NORTH AMERICAN DATUM OF 1983 (2011) AS ESTABLISHED FROM A GPS SURVEY ORIGINATING ON ODOT CORS STATION "LEBA" WITH A BEARING OF N05°15'47"E AS SHOWN ALONG THE SECTION LINE OF SECTION 20 AND SECTION 14.
7. PROJECT COORDINATES ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM AND HAVE BEEN SCALED TO GROUND BY USING A PROJECT ADJUSTMENT FACTOR OF 1.0000904187 7 APPLIED AT A BASED POINT OF N:572,928.00 E:1,475,421.00. GRID AND GROUND COORDINATES ARE IDENTICAL AT THE BASE POINT.
8. ALL ELEVATIONS ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS ESTABLISHED FROM A GPS SURVEY ORIGINATING ON ODOT CORS STATION "LEBA" USING GEOID CONUS 18 WITH REFERENCE TO THE FOLLOWING CONTROL MONUMENT: WARREN COUNTY BENCHMARK # S-276, POSTED ELEVATION = 706.928.
9. SITE BENCHMARK AS SHOWN HEREON.
10. SUBJECT SITE IS LOCATED IN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER A GEOGRAPHIC INTERPRETATION OF FEMA'S FLOOD INSURANCE RATE MAP NO. 39165C0017E WITH AN EFFECTIVE DATE OF 12/17/2010 AND FEMA'S FLOOD INSURANCE RATE MAP NO. 39165C0036E WITH AN EFFECTIVE DATE OF 12/17/2010.
11. SUBJECT SITE CONTAINS 0 PARKING SPACES OF WHICH.
12. AT THE TIME OF THE FIELD SURVEY, THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
13. AT THE TIME OF THE FIELD SURVEY, THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES.
14. SUBJECT SITE HAS DIRECT VEHICULAR ACCESS TO WEST CENTRAL ROAD.
15. TOPOGRAPHIC INFORMATION IS BASED ON CONVENTIONAL SURVEYING METHODS AND GIS DATA.



SURVEYOR'S CERTIFICATION

TO: STAR TITLE AGENCY, LLC; FINAL TIER HOLDINGS II, LLC, AN OHIO LIMITED LIABILITY COMPANY; JAMES KEVIN SWALLOW (1/8 INTEREST), CARRIE KENDALL (1/8 INTEREST) ANNE S HANSEN (1/4 INTEREST), TERRY C. EASTON (1/4 INTEREST), AND CHARLES A. EASTON (1/4 INTEREST);

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6(a), 6(b), 7(a), 7(b1), 7(c), 8, 9, 10(a), 11(a), 13, 14 AND 16-19 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 8-14-2024.

DATE OF PLAT OR MAP 8-19-2024.

MATTHEW D. HABEDANK DATE
OHIO PROFESSIONAL SURVEYOR NO.8611

NOTE :
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SEAL:

NO.	DATE	DESCRIPTION
1	08-19-24	ALTA/NSPS TITLE SURVEY - ARI

ALTA/NSPS LAND TITLE SURVEY
35.601 ACRES

SECTION 14. TOWN 2, RANGE 5, M.Rs.
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO
FOR: KINGSLEY AND COMPANY

PROJECT NO: 240466VSD000
DATE: 08-19-2024
SCALE: 1" = 60'
0 30 60 120

SHEET NAME:
KINGSLEY DEVELOPMENT

SHEET NO.
1 OF 2

INSPIRED PEOPLE ▲ CREATIVE DESIGN ▲ TRANSFORMING COMMUNITIES

STAR TITLE AGENCY LLC.
COMMITMENT FOR TITLE INSURANCE
FILE NO. 24-1137
EFFECTIVE DATE: JULY 12, 2024

11. Access Easement granted to Columbia/Wegman Springboro, LLC, a Delaware limited liability company, dated September 8, 2014, and filed for record September 11, 2014 at 12:00:30 PM in Document Number 2014-024018, Warren County records.
(PERTAINS TO SURVEYED PROPERTY. BLANKET IN NATURE, NOT PLOTTABLE.)

12. Storm Drain Easement granted to Columbia/Wegman Springboro, LLC, a Delaware limited liability company, dated September 5, 2014, and filed for record September 10, 2014 at 1:52:32 PM in Document Number 2014-023941, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #12.)

13. Sanitary Sewer Easement granted to the City of Springboro dated September 5, 2014, and filed for record September 10, 2014 at 1:52:31 PM in Document Number 2014-023940, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #13.)

14. Easement(s) and setback lines as shown in Record Plan Springboro Senior Living dated August 29, 2014 and filed for record August 29, 2014 in Deed Book 89, page 70, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. PLOTTED AND LABELED AS ITEM #14.)

15. Terms and Conditions of easement for vehicular and pedestrian ingress and egress granted to Thomas G. Easton, Anne Easton Hansen fka Anne S. Easton, Charles A. Easton and Terry C. Easton, dated March 31, 1994, and filed for record April 26, 1994, at 10:35 AM, in O.R. Vol 991, page 219, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. PLOTTED AND LABELED AS ITEM #15.)

16. Easement for roadway purposes granted to the City of Springboro dated March 17, 1994, and filed for record April 26, 1994, at 10:35 AM, in O.R. Vol 991, page 210, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #16.)

17. Easement for limited access highway purposes (I-75) through and across 21.97 acres as referenced in Warranty Deed, dated March 26, 1993, and filed for record April 13, 1993, at 10:08 AM in O.R. Vol 835, page 673, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. NOT PLOTTED.)

18. Vacation of a Portion of Highway Right of Way dated June 7, 1978, and filed for record June 27, at 10:57 AM, in Deed Vol. 520, page 37, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. PLOTTED AND LABELED AS ITEM #15.)

19. Easement for sanitary sewer and water line purposes granted to the Village of Springboro, dated October 1, 1974, and filed for record October 8, 1974, at 2:12 PM, in Deed Vol. 470, page 454, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #19.)

20. Terms and conditions of easement granted to the Village of Springboro for sewer line purposes dated July 7, 1969, and filed for record November 26, 1969, at 2:23 PM, in Vol. 411, page 416, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #20.)

Assignment of Water and Sewer Tap Rights, dated January 16, 1978, and filed for record March 1, 1978, at 10:36 AM in Deed Vol. 515, page 200, Warren County records.
(PERTAINS TO SURVEYED PROPERTY. BLANKET IN NATURE, NOT PLOTTABLE.)

21. Easements for highway and channel purposes granted to the State of Ohio dated November 22, 1968, and filed for record February 6, 1969, at 3:32 PM in Deed Vol. 403, page 91, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #21.)

22. Easement for waterline purposes granted to the Village of Springboro dated June 23, 1965, and filed for record July 12, 1965, at 9:15 AM in Vol. 365, page 353, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. NOT PLOTTED.)

23. Pipe Line Right-of-Way granted to Miami Valley Corporation, an Ohio corporation, dated July 26, 1950, and filed for record July 31, 1950, at 2:17 PM in Vol. 196, pg 231, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #23.)

Partial Release of Pipe Line Right-of-Way dated June 27, 1978, and filed for record June 28, 1978, at 11:54 AM in Vol. 520, page 172, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. PLOTTED AND LABELED AS ITEM #23.)

Assignment to BP Exploration & Oil, Inc., an Ohio corporation, dated August 24, 1994, and filed for record October 7, 1994, at 9:06 AM in O.R. Vol. 1044, page 882, Warren County records.
(PERTAINS TO SURVEYED PROPERTY. BLANKET IN NATURE, NOT PLOTTABLE.)

Assignment and Conveyance Agreement to BP Central Pipelines LLC, a Delaware limited liability company, dated October 25, 2019, and filed for record October 5, 2021 at 06:47:48 AM in Document Number 2021-045051, Warren County records.
(PERTAINS TO SURVEYED PROPERTY. BLANKET IN NATURE, NOT PLOTTABLE.)

24. Easement for electric purposes granted to The Cincinnati Gas & Electric Co. dated October 11, 1945, and filed for record December 3, 1945 at 10:05 AM, in Vol. 162, page 27, Warren County records.
(UNABLE TO DETERMINE WITH AVAILABLE INFORMATION.)

LEGAL DESCRIPTION

Situated in Section 14, Town 2, Range 5, M.Rs., City of Springboro, Clearcreek Township, Warren County, Ohio being part of a 42.887 acre (original) tract of land conveyed to Anne Stanton Easton Hansen (1/4 interest)[, Terry C. Easton (1/4 interest), Charles Arthur Easton (1/4 interest), Kevin James Swallow (1/8 interest) & Carrie Kendall (1/8 interest) as recorded in D.B. 497 Pg. 555 and D.N. 2018-024365 of the Warren County, Ohio Recorder's Office, the boundary of which being more particularly described as follows:

Beginning at a point in the west line of Section 14 at the intersection of the centerline of West Central Avenue (S.R. 73);

Thence along the centerline of said West Central Avenue (S.R. 73), the following three (3) courses:

1. Along a curve to the right an arc distance of 738.61 feet to a set 5/8" iron pin, said curve having a radius of 12277.67 feet, a delta of 03°26'49" and a chord bearing S76°09'50"E a distance of 738.50 feet;
2. S74°26'25"E a distance of 252.52 feet to a set 5/8" iron pin;
3. Along a curve to the right an arc distance of 1042.74 feet to a set 5/8" iron pin at the northwest corner of Springboro Senior Living as recorded in P.B. 89 Pg. 70, said curve having a radius of 12277.66 feet, a delta of 04°51'58" and a chord bearing S72°00'26"E a distance of 1042.43 feet;

Thence along the west line of said Springboro Senior Living, S05°56'03"W a distance of 570.65 feet to a found 5/8" iron pin at the southwest corner of Springboro Senior Living and in the north line of a 13.11 acre (deed) tract of land conveyed to Village of Springboro, Ohio as recorded in D.B. 50 Pg. 322;

Thence along the north line of said 13.11 acre (deed) tract and along the north line of a 22.463 acre (deed) tract of land conveyed to Promotional Wholesalers Partnership, P.L.L. as recorded int O.R. 4467 Pg. 278, N84°15'04"W a distance of 1988.90 feet to a set 5/8" iron pin in the aforementioned west line of Section 14;

Thence along said section line and along the east line of Lot 2 of Sunstar as recorded in P.B. 87 Pg. 85 and the east line of a 3.524 acre (deed) tract of land conveyed to Locaputo Partnership, LLC. as recorded in D.N. 2019-024591, N05°15'47"E, passing a set mag nail at 862.96 feet, a total distance of 938.67 feet to the Point of Beginning.

Containing 35.601 acres of land, more or less and being subject to easements, restrictions and rights of way record.

All iron pins set are 5/8" diameter x 30" iron rebar with ID cap stamped "Kleingers".

Bearings are based on the Ohio State Plane Coordinate System, South Zone, and North American Datum of 1983 (2011) as established from a GPS survey originating on ODOT CORS Station "LEBA" with a bearing of N05°15'47"E as shown along the Section Line of Section 20 and Section 14.

THE ABOVE DESCRIBED LEGAL DESCRIPTION OF THE SURVEYED PROPERTY AS SHOWN HEREON, IS ALL OF THE LANDS AS DESCRIBED IN D.B. 497 PG. 555 AND D.N. 2018-024365 WHICH IS CONTAINED WITHIN THE COMMITMENT FOR TITLE INSURANCE COMMITMENT NUMBER 24-1137 AND IS DESCRIBED AS FOLLOWS:

Situate in Section 14, Town 2, Range 5, MRS, City of Springboro, Clearcreek Township, Warren County, Ohio and being more particularly described as follows:

Beginning at a point on the West line of said Section 14 at the centerline intersection of Start Route 73 and Clearcreek-Franklin Road (#119); thence from said place of beginning with the centerline of State Route 73 Southeastwardly on a curve to the right an arc distance of 740.48 feet to a point, said curve having a radius of 12,277.67 feet, a chord distance of 740.36 feet, and a chord bearing of S 81°57'24" E; thence S 80°13'43" E a distance of 252.52 feet to a point; thence Southeastwardly on a curve to the right an arc distance of 1085.71 feet to a point, said curve having a radius of 12,277.67 feet, a chord of 1085.36 feet, and a chord bearing of S 77°41'43" E; thence S 75° 09' 43" E a distance of 629.33 feet to a point on the West line of Royal Oakes Park, Section 12 as recorded in Book 5, Page 30, of the Warren County Plat Records; thence leaving said centerline S 0°12' 58" E with said Royal Oaks Park West line a distance of 398.11 feet to an iron pin on the South line of said Section 14, said point also being on the North line of Lot No. 393 of said Royal Oaks Park; thence S 89°57" 38" W with the North line and its extension of said Royal Oaks Park a distance of 2643.87 feet to an iron pin on the West line of said Section 14 and the Northwest corner of the Dixie Spring Farms, Inc., tract as recorded in Book 483, Page 598 of the Warren County Deed Records; thence N 0°30' 34" W with the West line of said Section 14 a distance of 938.88 feet to the place of beginning, containing 42.887 acres more or less.

SAVE AND EXCEPT THEREFROM THE FOLLOWING DESCRIBED REAL ESTATE, TO WIT;

And being 7.2436 acres by record plat for Springboro Senior Living, a subdivision of lots and lands appearing at Warren County Plat Book 89 Page 70, and being situated in Section 14, Town 2 Range 5, MRS, City of Springboro, Clearcreek Township, Warren County, Ohio.

The remaining net acreage after subdivision and platting is 35.6434 acres, more or less.

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SEAL:

NO.	DATE	DESCRIPTION
1	08-19-24	ALTA/NSPS TITLE SURVEY - ARI

ALTA/NSPS LAND TITLE SURVEY
35.601 ACRES
SECTION 14. TOWN 2, RANGE 5, M.Rs.
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO
FOR: KINGSLEY AND COMPANY

PROJECT NO: 240466VSD000
DATE: 08-19-2024
SCALE:
SHEET NAME: KINGSLEY DEVELOPMENT
SHEET NO. 2 OF 2

[JUNE 20, 2025]

PLANNED UNIT DEVELOPMENT APPLICATION

CITY OF SPRINGBORO, OHIO

PLANNING COMMISSION

THE LAWN

SPRINGBORO

PREPARED BY: K+CO.

Development Team

KINGSLEY & CO.

Cincinnati, OH

(513) 903-7019

info@kingsleyandcompany.com

CHINEDUM NDUKWE, FOUNDER + CEO

Email: ck@kingsleyandcompany.com

DANIEL BUCHENROTH, DEVELOPMENT MANAGER

Email: daniel@kingsleyandcompany.com

DESIGN

YARD & CO.

Cincinnati, OH

(513) 813-8266

JOE NICKOL, PRINCIPAL

Email: joe@buildwithyard.com

ENGINEERING

KLEINGERS

West Chester, OH

(513) 779-7851

TROY MESSER, CIVIL ENGINEER

Email: troy.messer@kleingers.com

JAKE BLACKBURN, CIVIL ENGINEER

Email: jake.blackburn@kleingers.com

LEGAL

TAFT LAW

Cincinnati, OH

(513) 381-2838

SONYA JINDAL TORK, LEGAL COUNSEL

Email: jindal@taftlaw.com

Introduction

The Lawn in Springboro, Ohio, (project site) is located along West Central Avenue adjacent to The Enclave of Springboro (355 W Central Ave) and Tractor Supply Co. (505 W Central Ave). The 35-acre site sits centrally between the I-75 interchange and Wright Station at the Central Avenue and Main Street intersection and is across from the SureCare Medical Center and Springboro Municipal Building. Twin Creek runs through the middle of the site, providing a valuable natural asset.

The vision for the proposed mixed-use development of The Lawn supports the City's implementation of key goals and objectives included in the 2022 Springboro Master Plan. The Master Plan is founded on four themes: growth, experience, connectivity, and identity. The Lawn advances aspects of all four by: enhancing an existing neighborhood and community assets, introducing a diverse set of new housing types and retail opportunities, activating a vacant site, providing new pedestrian and bicycle connections, and enhancing the visual identity of Springboro along a major roadway.

The Lawn further aligns with the Master Plan's recommended Future Land Use. The project site is identified as mixed-use and is located within the Plan's Policy Area 7: City Services Center (p.60). This is described as a transitional area between the highway-oriented development patterns and the convenience retail focus at the Central Avenue & Main Street intersection. PA7 encourages these aspects which have been incorporated into the proposed Concept Plan for The Lawn:

- Pedestrian access along SR 73/Central Ave
- Retail to serve adjacent residents
- Connection between North Park and the Community Park
- Buildings oriented to SR73/Central Ave
- Mix of residential types
- Development that serves as a buffer between non-residential uses and surrounding neighborhoods

The 2022 Master Plan also provides connectivity recommendations. The proposed Concept Plan will “enhance pedestrian connections to adjacent residential areas” (p.90) through separated walkways, multi-use paths, and safe street crossings. It will also “enhance the character of the major roadways to slow down traffic” (p.94) by orienting buildings toward West Central Avenue and providing sidewalks, street trees, pedestrian-scaled fixtures, and mid-block crossings.

The thorough community engagement conducted throughout the master planning process provides an additional understanding of community preferences relevant to this proposed Concept Plan. Within the topic of housing, residents noted “a desire to see housing more friendly to young professionals, single people, young families, and older retirees (p. 20).” A majority of residents who intend to move within the next 5 years want to remain in Springboro and are seeking a smaller residence. Denser housing typologies like townhomes and small apartment buildings were most encouraged along Central Avenue and Main Street. Plan participants most commonly requested “more trails, parks, and naturalized areas” (p.19) when asked about future open space improvements. Additionally, residents are eager to have high-end dining, cafes, and entertainment venues to enjoy within Springboro. When presented with three growth scenarios, a balanced approach to development was most favored among plan participants (48%, p.24-25). This scenario included a diverse housing stock designed to attract younger and older populations and support new retail options while limiting impacts on the local school system.

The Lawn concept further provides an opportunity to implement a portion of a key project described in the 2020 Bicycle and Pedestrian Plan. The Plan describes a vision for a future Central Greenway intended to serve as the backbone of the City’s pedestrian and bicycle network. When built, the Central Greenway will link neighborhoods, parks, and people to each other and the regional trail system. This proposed concept plan incorporates trail development along the Twin Creek connecting North Park to the Community Park.

PLANNING COMMISSION APPROVAL CRITERIA

Fulfillment of all Requirements for Planning Commission Recommendation under Springboro Zoning Code Section 1266.10

The Lawn proposed development and its related application for amendment of the zoning map and General Plan meet all of the criteria required for the Planning Commission to recommend an amendment to the Official Zoning Map of the City of Springboro and the General Plan for approval to City Council, as outlined in Springboro Code Section 1266.10.

1. **Conformance with General Development Plan:** The proposed PUD zoning and General Plan for The Lawn Springboro are fully aligned with the City of Springboro's Master Plan (which replaced its previous General Development Plan), supporting plans, and related legislation. This alignment is particularly evident in how the project embodies the vision for Policy Area 7 (Central SR 73 Corridor), as outlined in the Master Plan. Specifically, The Lawn Springboro aligns with Policy Area 7 by:

   - Encouraging mixed-use development along a major corridor: The project's integration of residential, retail, and recreational spaces creates a vibrant mixed-use environment along the SR 73 corridor, precisely as envisioned in the Master Plan. This approach promotes a dynamic and interconnected community where residents can live, work, and play.
   - Supporting a blend of residential and commercial uses: The project thoughtfully balances residential and commercial elements, fostering a sense of community and providing convenient access to amenities for residents. This balanced approach aligns with the Master Plan's goal of creating diverse and sustainable neighborhoods.
   - Promoting walkability, connectivity, and community gathering spaces: The Lawn Springboro prioritizes pedestrian-friendly design, with interconnected walkways, inviting public spaces, and a focus on creating a walkable environment. This emphasis on connectivity and community gathering spaces directly supports the Master Plan's vision for Policy Area 7.

   Furthermore, The Lawn Springboro's location in the SR 73 corridor aligns with the Master Plan's emphasis on strategic growth in this area. The Future Land Use Map specifically identifies this corridor as a key area for development that enhances community engagement and economic activity. By bringing new residents, businesses, and recreational opportunities to the area, The Lawn Springboro directly contributes to the realization of this vision.

2. **Justification for PUD Exemption:** An exemption to conventional zoning is fully justified because the Comprehensive Land Use Master Plan for the City of Springboro can be more successfully implemented through the use of PUD zoning. Specifically, PUD zoning allows The Lawn Springboro to better achieve the City's vision and goals in the following ways:

   - Encourages diverse housing options: The PUD enables the inclusion of a variety of housing types, including carriage houses, townhomes, and walk-up residential units. This diversity provides a range of housing options to meet the needs of a wider population and promotes a more inclusive community.
   - Integrates housing, retail, and recreational spaces: The PUD facilitates the seamless integration of residential, commercial, and recreational spaces, creating a vibrant, pedestrian-friendly environment. This mixed-use approach fosters a sense of community and provides convenient access to amenities for residents.
   - Enhances placemaking efforts: The PUD supports the creation of a strong sense of place, with well-designed public spaces, interconnected walkways, and a focus on community interaction. This aligns with the City's long-term goals of creating attractive and engaging public spaces.
   - Provides flexibility in design and layout: The PUD offers the flexibility needed to achieve innovative design solutions that conventional zoning cannot accommodate. This allows for a more creative and responsive approach to site planning and development.

   By utilizing PUD zoning, The Lawn Springboro can better align with Springboro's vision for a vibrant, mixed-use, pedestrian-oriented community. Conventional zoning, with its stricter regulations on land use and density, would limit the project's ability to achieve these goals. The PUD provides the necessary flexibility to create a development that truly embodies the City's vision for the future.

3. **Compatibility with Site and Surrounding Land Uses:** The Lawn Springboro's General Plan is compatible with the site's topography, location, and surrounding land uses, ensuring a harmonious integration with the existing community.

   - Strategic Location: The site is strategically positioned along SR 73, an area designated for growth and mixed-use development in the City's Comprehensive Plan. This alignment with the City's vision for the area supports the project's compatibility.
   - Balanced Land Use Transition: The proposed retail spaces will complement existing commercial corridors along SR 73, ensuring a balanced transition from the surrounding residential areas to commercial uses. This thoughtful approach to land use minimizes disruption to the existing neighborhood character.
   - Minimal Nuisance Potential: The development's focus on residential and light commercial uses eliminates concerns about noise, smoke, dust, and debris typically associated with industrial or heavy commercial activities. This ensures a positive relationship with surrounding land uses.
   - Sensitive Site Design: The site's gentle slope allows for efficient stormwater management and the creation of varied and attractive streetscapes. The proposed building heights and setbacks are carefully considered to respect the privacy and light access of surrounding residential properties.
   - Mitigation Measures: To further minimize any potential impacts, the development will incorporate landscaping and buffering to reduce noise and visual impacts. Commercial uses will be strategically located and designed to minimize any disruption to nearby residential areas.

4. **Support for Public Improvements:** The General Plan is carefully designed to support and enhance existing infrastructure, including streets, utilities, other public improvements, and pedestrian connectivity. The development will connect to existing roadways and implement necessary street improvements such as turning lanes and traffic signal coordination. The Developer will coordinate with the City to ensure adequate utility capacity and develop pedestrian connections, including a trail system and pedestrian bridge, aligning with Springboro's Bicycle and Pedestrian Plan.

5. **Efficient and Economic Use of Land:** The General Plan represents an efficient and economic use of the land in view of the community's need for a balance of land uses. \The proposed development optimizes land utilization by integrating 335 residential units, 55,000-80,000 square feet of retail space, and community-focused green areas. This compact, walkable environment encourages local economic activity and enhances the quality of life for residents by providing convenient access to essential services and recreational amenities.

6. **Availability of Public Services:** All necessary public streets, utilities, and services are either available or will be extended to support the development. Specifically, water and sewer services are accessible, with the developer responsible for extending these utilities as needed. Roadway improvements along SR 73 will be undertaken to accommodate increased traffic, and emergency services and waste management will be fully supported within the project's design.

7. **Justification for Exception from Conventional Zoning:** An exception from conventional zoning is warranted for The Lawn Springboro because it allows for the achievement of key design goals and community objectives that are not possible under traditional zoning regulations. The PUD provides the flexibility needed to create a truly unique and integrated development that aligns with the City's vision for the future. Specifically, the PUD is justified by the following factors:

   - Creating a Cohesive, Walkable Environment: Traditional zoning would severely limit the density and mixed-use potential of the development, hindering the creation of a walkable, pedestrian-friendly environment. The PUD allows for the seamless integration of residential, commercial, and recreational spaces, fostering a sense of community and reducing reliance on automobiles.

   - Addressing Housing Needs: The variety of housing types offered within The Lawn Springboro, including townhomes, walk-up apartments, and carriage houses, directly addresses the age-in-place and affordability concerns outlined in the Master Plan. This diversity of housing options caters to a wider range of residents and promotes a more inclusive community.

   - Promoting Economic Growth and Quality of Life: The integrated retail, dining, and recreation areas create a vibrant hub of activity that supports both economic growth and an enhanced quality of life for residents. This unique development model fosters a sense of community and provides convenient access to amenities.

   The Lawn Springboro's PUD zoning enables the creation of a dynamic and integrated community that would not be possible under conventional zoning. This exception allows the project to better align with the City's vision for a thriving, pedestrian-friendly, and inclusive community.

8. **Protection of Natural Assets:** The development protects and enhances natural assets by preserving open green spaces to maintain environmental balance. It integrates stormwater management systems to reduce runoff and enhance sustainability, creates a pedestrian-friendly greenbelt fostering community engagement while protecting natural landscapes, and maintains and improves tree coverage, ensuring the site retains its natural aesthetic. Additionally, the developer will work with the Army Corps of Engineers and the EPA to remediate a stream on the western portion of the site, ensuring environmental integrity and long-term sustainability. The development protects and enhances natural assets by preserving open green spaces to maintain environmental balance. It integrates stormwater management systems to reduce runoff and enhance sustainability, creates a pedestrian-friendly greenbelt fostering community engagement while protecting natural landscapes, and maintains and improves tree coverage, ensuring the site retains its natural aesthetic.

9. **Positive Effect on Health, Safety, and Welfare:** The proposed PUD will have a substantial positive impact on the health, safety, and general welfare of Springboro by expanding housing options to meet growing demand, creating job opportunities through new retail and service establishments, improving public spaces and recreational areas to encourage active lifestyles, enhancing pedestrian safety with dedicated trails and street improvements to reduce vehicle congestion, and boosting the city’s tax base, supporting long-term community benefits.

10. **Implementability of General Plan:** The General Plan is structured to ensure seamless implementation through a Final Development Plan that adheres to all City requirements. The developer is committed to working closely with Springboro's planning department to ensure alignment with zoning codes and land use regulations, efficient phasing of construction to minimize disruption, and delivery of high-quality design standards, ensuring the development remains a long-term asset to the City.

The Lawn PUD rezoning application and General Plan demonstrably satisfy all the criteria outlined in Springboro Zoning Code Section 1266.10. The proposed development is consistent with the City's planning documents, provides significant community benefits, and represents a well-planned and sustainable approach to development.

Master Plan

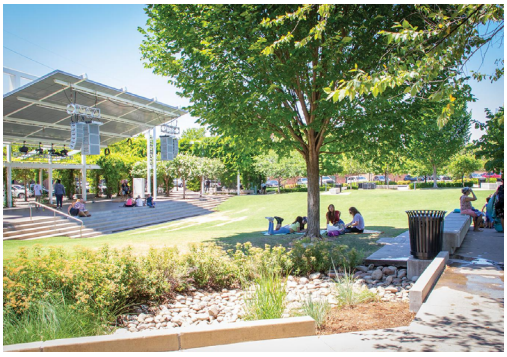
THE LAWN

Overview / Site Design

The City of Springboro has been working hard to incrementally improve and bring vitality to its West Central Avenue corridor. It also has been focused on becoming a preeminent trail town, connecting residents and visitors to outdoor recreation throughout the city. The Lawn at Springboro addresses these twin objectives from the ground up, creating a new highly amenitized neighborhood around an expanded park and trail network.

In addition to over five acres of park and 5,075 linear feet of new trails, the new master planned neighborhood will consist of a mix of convenience and food/beverage retail anchored by a destination hospitality experience (ie “The Lawn”) adjacent to the park. It will also have the opportunity to accommodate one or more mid-sized offices and a range of residential units with trailside access. The units will range from studios to three-bedroom in the form of carriage units, apartments, and townhomes.

An Association shall be created that maintains shared facilities that exist on private properties.



The Master Plan

Parcel Number	0414301006
Acreage	35.601
PUD Category	Mixed-Use
West District	
Residential (ac)	11.079
Retail (ac)	6.031
East District	
Residential (ac)	2.374
Commercial Retail/Office (ac)	2.212
Hospitality (ac)	3.323
Other	
Parks/Public (ac)	4.662
Rights of way (ac)	5.92
Total Units (du)	327
Average Density (du/ac)	24
Length of Trails (lf)	5,075

PROPOSED USES

The master plan may include one or more of the following residential types:

- Apartment/Multi-Family Dwelling
- Attached townhome
- Carriage Unit
- Duplex/Attached/Two-Family Dwelling
- Triplex

The master plan may include one or more of the following non-residential uses:

- Bank or Financial Institution w/drive through
- Bakery or Confectionary
- Bar or Tavern
- Charitable or Philanthropic Use
- Cultural, Municipal or Public Use
- Day Care Center
- Farmer's Market
- Food Trucks
- Garden Center/Greenhouse
- Medical Clinics
- Office
- Off-Street Public Parking Lot
- Outdoor Entertainment (accessory to a permitted restaurant, bar, or tavern use)
- Outdoor Storage (accessory to a principal use)
- Personal Service Establishment
- Personal Wireless Service (PWS) Facilities
- Pet Day Care Facility
- Private club
- Recreation
- Restaurant(with and without drive through)
- Retail Sales
- Sales (indoor) of Products Manufactured On-Site
- Seasonal Sales
- Temporary Uses
- Vehicle Fueling Station
- Vehicle Repair, Minor

Common Spaces

The Lawn is all about bringing the residents of and visitors to Springboro together in a shared experience. This ethos centers on a four-acre park that provides a new front door to the park from West Central Avenue. Furthering Springboro's vision as a trail town, the park expansion also includes 2,475 linear feet of new publicly accessible trails.

Addressing the park and trails are two halves to the proposed master planned neighborhood. The east side of the park is anchored by a destination hospitality experience (ie "The Lawn") that is intended to combine food, an active biergarten, and active recreation such as, but not limited to, yard games, pickleball, and sand volleyball. Also on the park's eastern edge will be a commercial site and townhouses. Both of these supportive uses place their front doors and gardens along access drives or the park.

To the west of the park, the trail network extends into a largely residential community that includes a clubhouse that separates the public aspects of the trail from the private courtyards of the residential community. While each structure within the community will have patios or balconies associated with the units, the site, overall, is expected to have common open spaces that comprise approximately 9% of the community. Retail lines the West Central Avenue frontage and will include sidewalks and frontage landscape that complements the West Central Avenue streetscape and signage. It will be an integral part of an important gateway to Springboro.

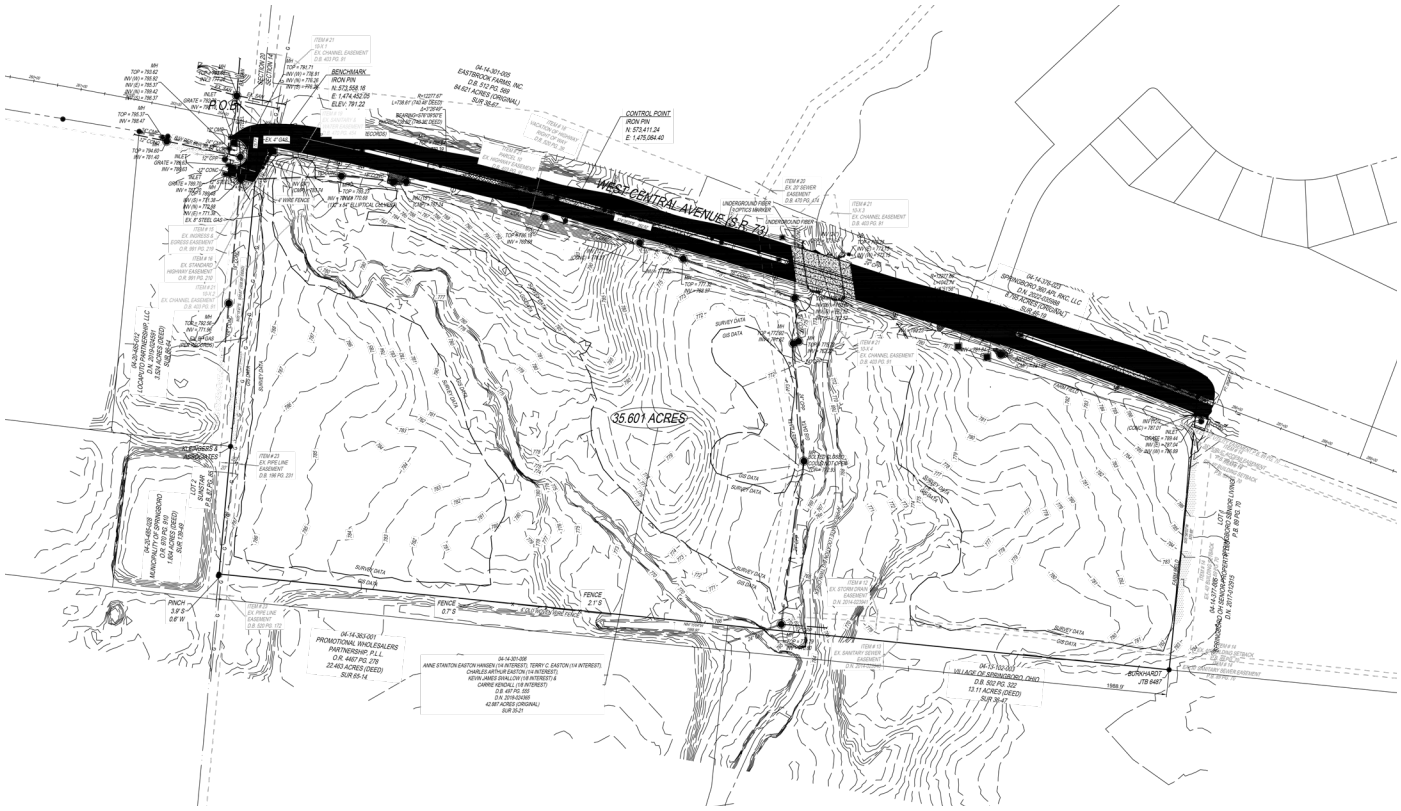
The minimum amount of open space assumed to be part of each created lot is included in this application's Design Guidelines.

TOPOGRAPHIC AND HYDROLOGICAL FACTORS

The two major topographic challenges with this site are the two streams running through the site. One running from the northwest corner of the site through the western portion of the site before tying into the larger stream. The larger stream splits the site in two and content FEMA floodway and associated 100-year floodplain.

The smaller of the two streams starting at the northwest corner will be piped shortly after entering the site and piped under most of the development before being released at the same point where the stream ties into the larger stream on-site. The larger stream will be left intact throughout development and will have trails along it as required by the City of Springboro's mobility plan. Any earthmoving will be kept out of the FEMA restricted floodway

An exhibit has been provided showing the topo on site along with the FEMA mapped floodways and floodplains.



COMMON AREA MAINTENANCE

The Lawn Springboro will establish a Property Owners' Association (POA) responsible for the care and maintenance of all open spaces and recreational facilities within the development. The master developer will oversee maintenance operations, ensuring high-quality upkeep of landscaped areas, pedestrian pathways, plazas, and recreational amenities. Each tenant and property owner within the development will contribute to a Common Area Maintenance (CAM)-style fee, which will fund landscaping, lighting, cleaning, and repairs, ensuring long-term sustainability and aesthetic appeal of shared spaces.

Legal

DECLARATION OF LEGAL CONTROL AND OWNERSHIP INTERESTS

This Declaration is made as of the date set forth below by **Kingsley + Co.** ("Developer"), in connection with the zoning application for the proposed development located at **0 W. Central Ave. Springboro, OH 45066 (Parcel No. 0414301006)** (the "Property").

1. Legal Control of the Property

The Developer hereby declares and affirms that it has legal control of the Property through an executed Purchase Agreement between Developer and the Property owners, who have signed letters of authorization, attached as Exhibit A.

2. Ownership and Beneficial Interests

The current ownership and beneficial interests in the Property and the proposed development are as follows:

- **Property Owner(s):** Anne Easton-Hansen, Charles A. Easton, Terry C. Easton, James Kevin Swallow, Carrie Kendall
- **Developer Entity:** Kingsley + Co.
- **Beneficial Interest Holders:** None
- **Development Partnership Structure:** TBD at the time of purchasing the property. Kingsley + Co. will retain ownership and/or interest in the development.

3. Proposed Development

The Developer intends to undertake a mixed-use development on the Property, consistent with the rezoning request. The proposed development is a mixed-use development featuring residential, retail, and recreational spaces, designed to enhance walkability, community engagement, and connectivity to nearby parks and amenities.

4. Affirmation

The Developer affirms that the information provided herein is accurate and complete to the best of its knowledge and that it has the necessary authority to submit this zoning application.

Executed this 20th day of March, 2025.

Developer:
Kingsley + Co.

By: _____
Chinedum Ndukwe
President + CEO

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Charles A Easton, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 5 day of ~~February,~~ March 2025.

Property Owner:

Name: Charles A. Easton

Signature: Charles A Easton

Title: OWNER 1/4 UNDIVIDED

171335916.2

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, ___Anne Easton-Hansen_____, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this __13th____ day of March, 2025.

Property Owner:

Name: _Anne Easton-Hansen_____

Signature: _____

Title: _Owner_____

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Terry C. Easton, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13th day of February, 2025. 13, March, 2025

Property Owner:

Name: Terry C. Easton

Signature: s Terry C. Easton

Title: Owner

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, Carrie Kendall, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this 13 day of ~~February~~ March, 2025.

Property Owner:

Name: Carrie Kendall

Signature: Carrie Kendall

Title: Owner

171335916.2

OWNER'S AUTHORIZATION FOR ZONING APPLICATION AND GENERAL PLAN

I, James Kevin Swallow, hereby certify that I am a legal owner of the property located at 0 W. Central Ave., Springboro, OH 45066, identified as Parcel No. 0414301006 (the "Property").

I hereby authorize Kingsley + Co. ("Developer"), its representatives, and its third-party authorized representatives, including but not limited to, Taft Stettinius & Hollister LLP and Yard & Co., to act on my behalf in all matters related to the zoning application and related plans for the proposed mixed-use development on the Property.

This authorization includes, but is not limited to, the following: (i) submitting plans, applications, supporting documents, and the General Plan to the City of Springboro for zoning and development approvals; (ii) appearing before the City Planning Commission, Zoning Board, or any other relevant authority; (iii) making any necessary modifications or representations concerning the application and related plans; (iv) signing the General Plan as required by Springboro Zoning Code Section 1266.09(b).

I understand that this authorization does not transfer ownership of the Property but grants the Developer and its authorized representatives the authority to act on my behalf in all matters related to the zoning application and related plans.

This authorization shall remain in effect until the zoning application process is complete or revoked in writing by the undersigned.

Executed this _____ day of February, 2025.

Property Owner:

Name: James Kevin Swallow

Signature: James Kevin Swallow

Title: _____

Design Guidelines

THE LAWN

Overview

The Lawn is envisioned to be a colorful and modern neighborhood nestled against the park. Its look and feel will be contemporary, clean, lush, and active with its brand identity rooted in gathering for people of all ages. The look, feel, and identity is woven throughout all aspects of the site and building design standards for the neighborhood's development.

This vision is also represented in the mix of uses that will be attracted to the site. Retail and commercial spaces will address West Central Avenue while the park will be the shared address for hospitality and residential uses. Residential buildings will be a blend of human-scaled carriage units, townhouses, and apartment buildings that each face a courtyard, trail, and/or the park itself.

PERMITTED USES

	Minimum Lot Width or Area	Minimum Open Space	Front Yard Setback	Sum of Side Yard Setback	Rear Yard Setback	Maximum Occupied Height	Minimum Occupied Height
Single Use Retail	60'	5%	10'	10'	5'	2 stories	1 story
Multiple/Mixed Use	80'	5%	10'	10'	5'	3 stories	1 story
Commercial	60'	10%	10'	10'	5'	3 stories	1 story
Hospitality	60'	10%	10'	15'	5'	2 stories	1 story
Multi-Family Residential Areas	80'	15%	5'	10'	5'	3 stories	2 stories
Multi-Family Attached (Townhomes-East)	16'	5%	5'	0'	3'	3 stories	2 stories
Accessory Structures, including Carriage Units	20'	n/a	5'	10'	3'	2 stories	1 story

General Site Development

STREETS AND SITE ACCESS

Street Right-of-Way (ROW)

Streets and lanes shall be primarily designed for safe pedestrian and bicycle movements with the following requirements: When divided, drive lanes shall be a minimum of 10 feet (10') wide. In nonmarked lanes, the total clear width shall be a minimum of eighteen feet (18') in width. Sidewalks shall be a minimum of five feet (5') in width. Trails shall be a minimum of twelve feet (12') in width. Planting beds where trees are anticipated shall be a minimum of six feet (6') in width. Flat or raised curbs are permitted. Bollards are permitted to separate vehicular and pedestrian traffic. Speed limits shall not exceed twenty (20) miles per hour.

Street Radii, Corner Radii & Clear Zones

Intersections shall be primarily designed for safe pedestrian and bicycle movements while ensuring emergency and service vehicles may adequately maneuver. Corner curb radii shall be between eight feet (8') and twenty-five feet (20') as determined by the intended use. Residential areas: up to fifteen feet (15'). Mixed-use areas: up to twenty-five feet (20'). In areas where larger turning radii may be warranted, this need shall be accommodated by mountable curbs and or textured pavements. Clear zones along primary access routes shall be maintained at a twenty-five foot (25') radius to allow emergency vehicles (e.g., fire ladder trucks) to turn corners. Secondary and internal streets and drives shall have a minimum of fifteen foot (15') clear zones.

Materials

The primary materials used are conventional standard asphalt or concrete. Alternative materials like brick, cobblestone, pavers, or other paving products are also anticipated.

PARKING

Parking Requirements

Residential

A minimum of one car per residential bedroom shall be provided. A minimum of two cars per townhouse unit shall be provided. A non-reserved quarter (¼) parking space shall be provided for every unit. One secure bike parking space shall be provided for every unit. Accommodations for electric charging stations and golf cart parking are encouraged. When possible, parking shall be located and designed such that future redevelopment of the parking is possible.

Non-residential

Non-residential parking shall be set by user requirements or per the City requirements, whichever is fewer. When possible, parking shall be located and designed such that future redevelopment of the parking is possible.

Shared Parking

Parking areas that are shared by one or more uses that peak at different times may share up to twenty percent (20%) of the required parking spaces.

Parking Size and Location

On-street parking stalls shall be a minimum of seven by twenty-four feet (7’ x 24’) in width and length. Off-street parking stalls shall be a minimum of nine by eighteen feet (9’ x 18’) in width and length. The minimum drive aisle width shall be twenty-four feet (24’) in width. Both on and off-street parking shall contribute to meeting the minimum parking requirements.

Parking shall be to the side or rear of buildings unless that building’s primary orientation is to the park or trail in which case the primary location of the parking shall be to the side of the structure. In all cases, clear pedestrian passage from sidewalks and/or trails to the primary entrance to the building shall be clearly delineated and designed.

Parking Lot Landscape

Landscape islands/beds of at least five feet (5’) in width must be provided at end caps of parking aisles. Parking lots that abut a street or lane for greater than sixty linear feet shall maintain a minimum five foot (5’) planting bed along the edge. Parking lots that abut property that is not included in the master planned site, a minimum of ten feet (10’) planting area shall be maintained.

SITE SIGNAGE

The project shall include an overall project identity for entries, streets, and general wayfinding. Public facility signage will be established by the City. Individual project signage criteria will be developed as projects progress. All signage will meet or exceed the requirements established in Chapter 1281 of the City's Planning Zoning Code.

OTHER INFRASTRUCTURE

Minimizing the visual impact of utility and equipment may be accomplished by locating them discreetly and screening them from public view using various methods such as landscaping, walls, fences, and architectural elements. The goal is to maintain an aesthetically pleasing streetscape and protect the visual quality of public spaces.

Utility Easements along Streets

All public street utility easements should be accommodated within the planned street rights-of-way (ROW) or designated service lanes whenever feasible. These easements should be placed beneath pavement, landscaping, or sidewalks as needed. Any deviation from this standard will be considered by the City only in cases where specific site development requirements demonstrate that a variation is necessary.

Utility cabinets should be placed discreetly and screened with plant material. Exposed structures requiring open-air locations, such as rooftop mechanical/HVAC equipment, utility, and/or other functional hardware, must be adequately screened from public view. If a structure has a rooftop, these features must be screened behind parapets, decorative roof elements, or screen enclosure walls for a visual distance of no less than fifty feet (50') or beyond any public-facing elevation that can be viewed from any public view. All tenant service areas, including service docks, back-of-house areas, trash containers or compactors, recycling bins, grease traps and general service locations must be fully screened with non-lockable closure gates on one side for access and removal (excluding menu boards).

Loading Space Requirements

Retail and commercial areas, loading may be accomplished at specific curbside or parking lot locations as practical and necessary. Large format uses requiring large service bays shall screen all areas with walls and/ or screen doors that fully hide all service vehicles, both lengthwise and in height, and are to be consistent materials/colors that complement their base building architectural character.

Screen Wall Construction and Materials

Masonry, brick, stone, decorative block, composite materials, pressure-treated wood and/or painted or powder-coated metal are all acceptable materials to screen attached or free-standing service areas and bays. Storage facilities shall feature walls that reflect the surrounding architectural character and tall-growth landscaping.

Public Space

LANDSCAPE

Plant Material Selection

Plant materials should be chosen for their ability to thrive in the Springboro climate, moderate growth rate, and achievable maintenance requirements. All planted surfaces, whether in-ground or raised landscape beds, shall be fully irrigated and well-maintained.

The landscape design should consider the entire development site and consist of a mix of plants with year-round appeal, including annuals, perennials, shrubs, and trees. Plant selection for public facilities will be at the City's discretion.

LIGHTING

Public Space Lighting

Consistent, human-scaled, commercial grade fixtures for street and trail lighting shall be provided on all streets, sidewalks, and trails, including public gathering/event spaces located on public and private spaces within the neighborhood.

Lighting Design

All outdoor lighting shall be directed so as to prevent night sky pollution, glare on adjacent properties and streets, and to shield the lighting from residences, to the maximum extent feasible. All fixtures shall be LED or similar product, and their placement, along with all support posts/poles and brackets, shall be consistent in fabrication quality, and selected to enhance the overall design character of The Lawn.

Decorative Accent/ Architectural Lighting

Decorative accent/architectural lighting meant to illuminate a building feature or surface, is permitted in so much as it does not conflict with other standards included in this document.

SITE FURNISHINGS/COMMON AREAS

Pedestrian Access

Consistent, human-scaled, commercial grade fixtures for street and trail lighting shall be provided on all streets, sidewalks, and trails, including public gathering/event spaces located on public and private spaces within the neighborhood.

Streetscape

All major roads or circulation routes shall be planted with the same or otherwise complementary species and cultivar of street tree. Street tree species shall be selected to allow growth into a continuous sidewalk canopy and to provide shade, to the extent possible, the street. Street trees shall be spaced at equal intervals (approximately thirty feet depending on species) along street frontage to establish a consistent edge. Entrances/exits must not include plantings that obscure sight lines within three feet (3') and seven feet (7') above the finished grade.

DRAINAGE AND WATER DETENTION

Stormwater management will be handled throughout the site by storm sewers that ultimately lead to either detention or retention basins that will control water quality and runoff control for the development. Locations for these basin will be determined further into design.

SIGNAGE, WAYFINDING, AND GRAPHICS

Project Signage/Brand

A unified approach to signage shall be incorporated to enhance wayfinding, create visual consistency, and improve identification across The Lawn. Sign sizes should generally correspond to the scale of the structure they accompany. All signs must maintain uniformity in type, material, and color. A clear signage hierarchy will be established to support area recognition, business identification, directional guidance, and other related signage needs. Springboro Ordinance 96-38, Section 826 of the Springboro Sign Code contains additional details.

Individual Project and/or Tenant Sign Criteria

Signage for multi-tenant properties must present a coordinated design. A cohesive design theme shall be applied to all signage, regardless of variations in size or placement.

OUTDOOR STORAGE

On occasion, Outside Storage may be necessary in multi-family amenity areas and retail areas where outdoor dining and related activities are anticipated. Outside storage of merchandise, raw material, finished products, and/or equipment must be visually screened from any publicly visible right-of-way.

Building Design

GENERAL ARCHITECTURAL CHARACTER

The Lawn's design aims to ensure consistent, high-quality design, materials, and construction that align with Site Development.

ORIENTATION TO STREET

Buildings shall orient themselves to the following preferential order, depending on the relevance to their specific location: trail, park, and then the street. Buildings located at the intersections of one or more of these types of addresses should be designed to meet both by 'turning the corner' with appropriate design attention given.

BUILDING MASSING AND REPETITION

All repeated building types/floor plans shall include a minimum of two facade options, not including options for color or corner treatments when relevant to that plan's usage. No two plans (except for town houses and carriage units) shall be used more than once in a row or across from one another. Any building longer than sixty feet shall be articulated to break down the continuous facade through the use of some combination of the following: window or bay patterns, height, step or setbacks at one or more floor levels, and/or balconies (inset or projecting).

Building Height

Building heights shall be measured in stories. No building shall exceed three stories above the highest ground on which the building sits. Finished floor elevations for residential buildings shall not be less than eighteen inches (18") above the space the building primarily addresses (i.e. a street, trail, or park).

Rooflines

Residential roofs may be flat or sloped. Flat roofs, when present, must have parapets or cornices to provide visual interest and screen rooftop equipment. Rooftop decks and patios are encouraged. All parapets and cornice features, including rooftop uses, are exempted from building height measurements.

Building Materials

Commercial-grade materials are required. Acceptable materials include pre-cast masonry, brick, decorative block, cementitious siding, wood, natural stone, cast or cultured stone, exposed metal, and stucco. Prohibited materials include EIFS, plywood, unadorned corrugated siding, vinyl siding, and plastic panels in publicly visible locations.

Glass Materials

Clear or colored glass, translucent, sandblasted, and decorative glass are acceptable. Retail and commercial storefronts should be predominantly clear glass.

Visible Roofing Materials

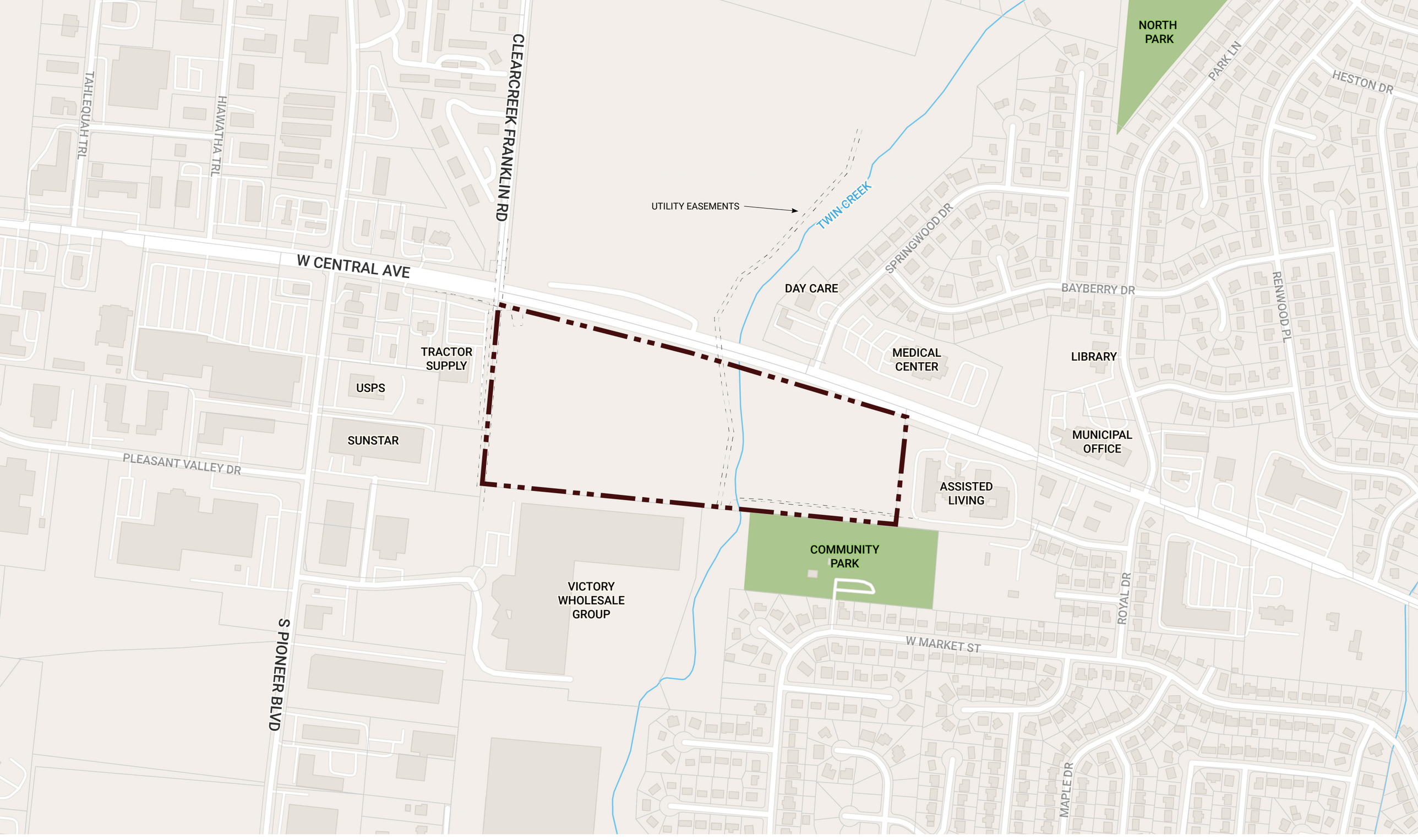
Sloped roofs may use slate-style shingles, fiberglass shingles, or standing seam metal.

Building Color

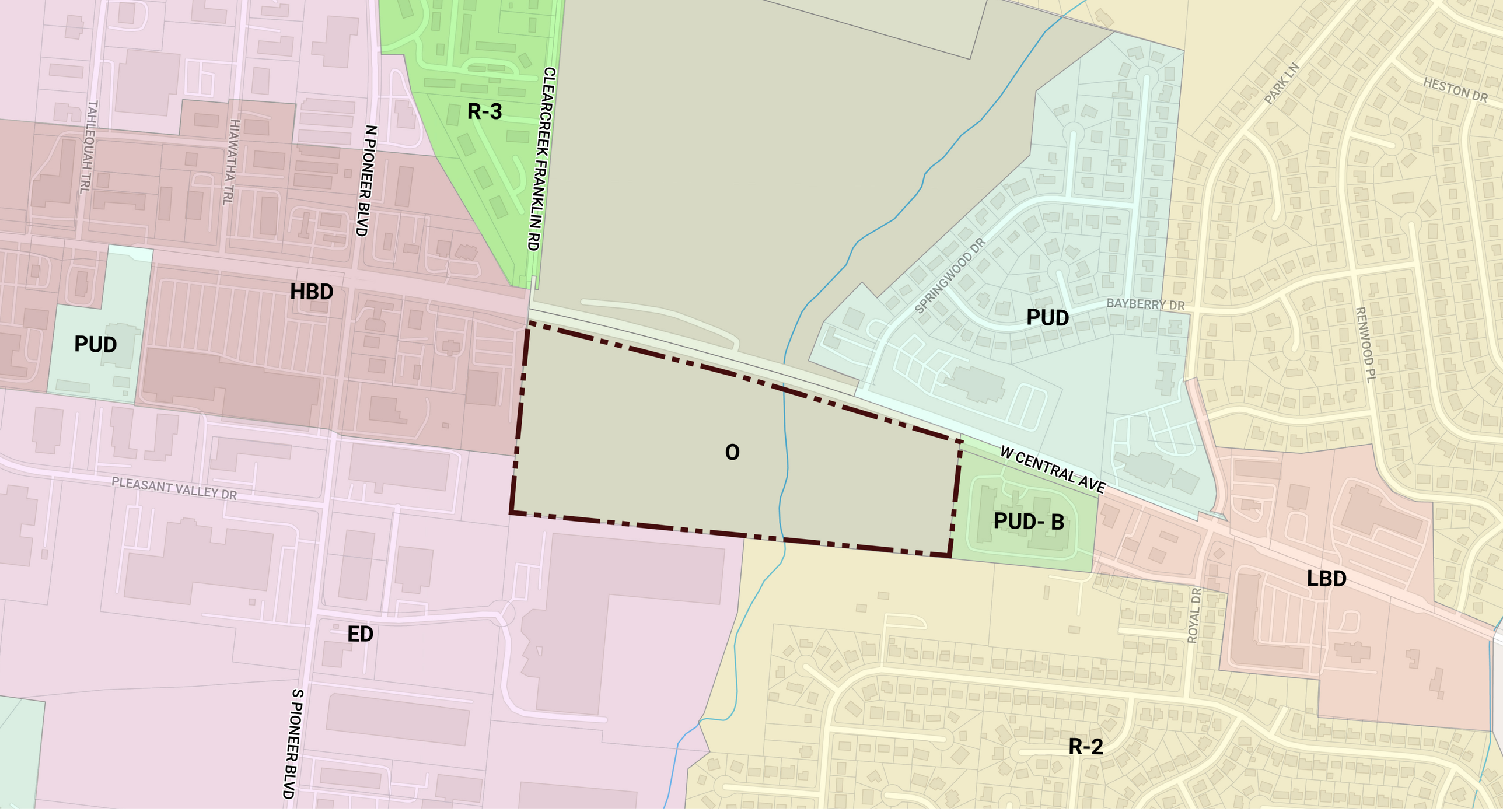
Color schemes should be limited to no more than two colors on a given facade, unless otherwise approved. Color schemes should visually tie the building's massing together. Monolithic color schemes are discouraged, but monochromatic palettes with shade variations are acceptable.

Appendix & Exhibits

THE LAWN



Vicinity Map



Zoning

- **O** - OFFICE PARK DISTRICT
- **HBD** - HIGHWAY BUSINESS DISTRICT
- **LBD** - LOCAL BUSINESS DISTRICT
- **PUD** - PLANNED UNIT DEVELOPMENT DISTRICT
- **PUD-B** - PLANNED UNIT DEVELOPMENT- BUSINESS
- **R-2** - LOW DENSITY RESIDENTIAL DISTRICT
- **R-3** - MEDIUM DENSITY RESIDENTIAL

0 400 800 FEET

N

INSPIRED PEOPLE ▲ CREATIVE DESIGN ▲ TRANSFORMING COMMUNITIES

PROPOSED LEGEND

- REGULATORY FLOODWAY
- 100 YEAR FLOODPLAIN
- 500 YEAR FLOODPLAIN

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NOTE:
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West Chester, OH 45069
513.779.7851

H:\2024\240466\000_DWG_Misc\Floodplain Exhibit.dwg, 6/17/2024 10:03 AM, Jake Bradburn

SEAL:

NO.	DATE	DESCRIPTION
1.	5/29/2024	SCHEMATIC DESIGN

KINGSLEY DEVELOPMENT

SPRINGBORO, OH
MONTGOMERY COUNTY

PROJECT NO: 240466.000

DATE: 5/29/2024

SCALE: 0 50 100 200

SHEET NAME:

GIS WITH FLOODPLAIN

SHEET NO.

1-1

Legal Description

Old Republic National Title Insurance Company

SCHEDULE A
(Continued)

EXHIBIT "A"

Situate in Section 14, Town 2, Range 5, MRS, City of Springboro, Clearcreek Township, Warren County, Ohio and being more particularly described as follows:

Beginning at a point on the West line of said Section 14 at the centerline intersection of Start Route 73 and Clearcreek-Franklin Road (#119); thence from said place of beginning with the centerline of State Route 73 Southeastwardly on a curve to the right an arc distance of 740.48 feet to a point, said curve having a radius of 12,277.67 feet, a chord distance of 740.36 feet, and a chord bearing of S 81°57'24" E; thence S 80'13'43" E a distance of 252.52 feet to a point; thence Southeastwardly on a curve to the right an arc distance of 1085.71 feet to a point, said curve having a radius of 12,277.67 feet, a chord of 1085.36 feet, and a chord bearing of S 77°41'43" E; thence S 75° 09' 43" E a distance of 629.33 feet to a point on the West line of Royal Oakes Park, Section 12 as recorded in Book 5, Page 30, of the Warren County Plat Records; thence leaving said centerline S 0°12' 58" E with said Royal Oaks Park West line a distance of 398.11 feet to an iron pin on the South line of said Section 14, said point also being on the North line of Lot No. 393 of said Royal Oaks Park; thence S 89°57' 38" W with the North line and its extension of said Royal Oaks Park a distance of 2643.87 feet to an iron pin on the West line of said Section 14 and the Northwest corner of the Dixie Spring Farms, Inc., tract as recorded in Book 483, Page 598 of the Warren County Deed Records; thence N 0°30' 34" W with the West line of said Section 14 a distance of 938.88 feet to the place of beginning, containing 42.887 acres more or less.

SAVE AND EXCEPT THEREFROM THE FOLLOWING DESCRIBED REAL ESTATE, TO WIT;

And being 7.2436 acres by record plat for Springboro Senior Living, a subdivision of lots and lands appearing at Warren County Plat Book 89 Page 70, and being situated in Section 14, Town 2 Range 5, MRS, City of Springboro, Clearcreek Township, Warren County, Ohio.

The remaining net acreage after subdivision and platting is 35.6434 acres, more or less.

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INSPIRED PEOPLE ▲ CREATIVE DESIGN ▲ TRANSFORMING COMMUNITIES

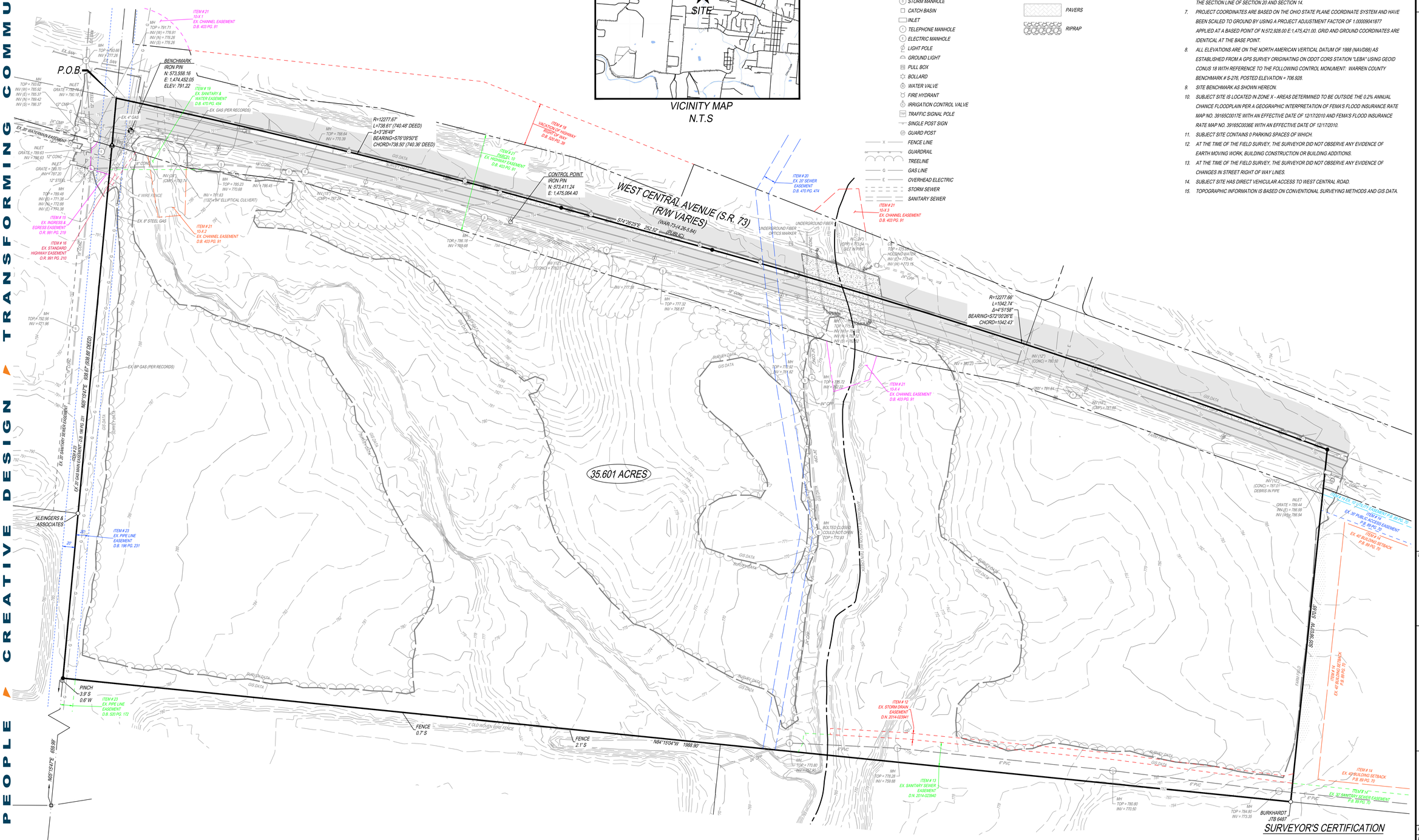
VICINITY MAP
N.T.S

LEGEND:

- BENCHMARK
- 5/8" IRON PIN FOUND (UNLESS NOTED OTHERWISE)
- 5/8" IRON PIN SET
- 1" PIPE FOUND
- RAILROAD SPIKE FOUND
- STONE FOUND
- MAG NAIL SET
- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- INLET
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- LIGHT POLE
- GROUND LIGHT
- PULL BOX
- BOLLARD
- WATER VALVE
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- TRAFFIC SIGNAL POLE
- SINGLE POST SIGN
- GUARD POST
- FENCE LINE
- GUARDRAIL
- TREELINE
- GAS LINE
- OVERHEAD ELECTRIC
- STORM SEWER
- SANITARY SEWER
- HARDWOOD TREE
- CONCRETE
- ASPHALT
- GRAVEL
- LANDSCAPE
- PAVERS
- RIPRAP

NOTES:

1. SOURCE DOCUMENTS AS NOTED.
2. OCCUPATION IN GENERAL FITS SURVEY.
3. MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
4. ALL IRON PINS SET ARE 5/8" DIAMETER x 30" IRON REBAR WITH ID CAP STAMPED "KLEINGERS".
5. DISTANCE UNITS ARE BASED ON THE US SURVEY FOOT DEFINITION (1" = 1200/3937 METERS.
6. BEARINGS SHOWN HEREON ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM. SOUTH ZONE, AND NORTH AMERICAN DATUM OF 1983 (2011) AS ESTABLISHED FROM A GPS SURVEY ORIGINATING ON ODOT CORS STATION "LEBA" WITH A BEARING OF N05°15'47"E AS SHOWN ALONG THE SECTION LINE OF SECTION 20 AND SECTION 14.
7. PROJECT COORDINATES ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM AND HAVE BEEN SCALED TO GROUND BY USING A PROJECT ADJUSTMENT FACTOR OF 1.0000904187 7 APPLIED AT A BASED POINT OF N:572,928.00 E:1,475,421.00. GRID AND GROUND COORDINATES ARE IDENTICAL AT THE BASE POINT.
8. ALL ELEVATIONS ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS ESTABLISHED FROM A GPS SURVEY ORIGINATING ON ODOT CORS STATION "LEBA" USING GEOID CONUS 18 WITH REFERENCE TO THE FOLLOWING CONTROL MONUMENT: WARREN COUNTY BENCHMARK # S-276, POSTED ELEVATION = 706.928.
9. SITE BENCHMARK AS SHOWN HEREON.
10. SUBJECT SITE IS LOCATED IN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER A GEOGRAPHIC INTERPRETATION OF FEMA'S FLOOD INSURANCE RATE MAP NO. 39165C0017E WITH AN EFFECTIVE DATE OF 12/17/2010 AND FEMA'S FLOOD INSURANCE RATE MAP NO. 39165C0036E WITH AN EFFECTIVE DATE OF 12/17/2010.
11. SUBJECT SITE CONTAINS 0 PARKING SPACES OF WHICH.
12. AT THE TIME OF THE FIELD SURVEY, THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
13. AT THE TIME OF THE FIELD SURVEY, THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES.
14. SUBJECT SITE HAS DIRECT VEHICULAR ACCESS TO WEST CENTRAL ROAD.
15. TOPOGRAPHIC INFORMATION IS BASED ON CONVENTIONAL SURVEYING METHODS AND GIS DATA.



SURVEYOR'S CERTIFICATION

TO: STAR TITLE AGENCY, LLC; FINAL TIER HOLDINGS II, LLC, AN OHIO LIMITED LIABILITY COMPANY; JAMES KEVIN SWALLOW (1/8 INTEREST), CARRIE KENDALL (1/8 INTEREST) ANNE S HANSEN (1/4 INTEREST), TERRY C. EASTON (1/4 INTEREST), AND CHARLES A. EASTON (1/4 INTEREST);

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6(a), 6(b), 7(a), 7(b1), 7(c), 8, 9, 10(a), 11(a), 13, 14 AND 16-19 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 8-14-2024.

DATE OF PLAT OR MAP 8-19-2024.

MATTHEW D. HABEDANK DATE
OHIO PROFESSIONAL SURVEYOR NO.8611

NOTE :
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SEAL:

NO.	DATE	DESCRIPTION
1	08-19-24	ALTA/NSPS TITLE SURVEY - ARI

ALTA/NSPS LAND TITLE SURVEY
35.601 ACRES

SECTION 14. TOWN 2, RANGE 5, M.Rs.
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO
FOR: KINGSLEY AND COMPANY

PROJECT NO: 240466VSD000
DATE: 08-19-2024
SCALE: 1" = 60'
0 30 60 120

SHEET NAME:
KINGSLEY DEVELOPMENT

SHEET NO.
1 OF 2

INSPIRED PEOPLE ▲ CREATIVE DESIGN ▲ TRANSFORMING COMMUNITIES

STAR TITLE AGENCY LLC.
COMMITMENT FOR TITLE INSURANCE
FILE NO. 24-1137
EFFECTIVE DATE: JULY 12, 2024

11. Access Easement granted to Columbia/Wegman Springboro, LLC, a Delaware limited liability company, dated September 8, 2014, and filed for record September 11, 2014 at 12:00:30 PM in Document Number 2014-024018, Warren County records.
(PERTAINS TO SURVEYED PROPERTY. BLANKET IN NATURE, NOT PLOTTABLE.)

12. Storm Drain Easement granted to Columbia/Wegman Springboro, LLC, a Delaware limited liability company, dated September 5, 2014, and filed for record September 10, 2014 at 1:52:32 PM in Document Number 2014-023941, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #12.)

13. Sanitary Sewer Easement granted to the City of Springboro dated September 5, 2014, and filed for record September 10, 2014 at 1:52:31 PM in Document Number 2014-023940, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #13.)

14. Easement(s) and setback lines as shown in Record Plan Springboro Senior Living dated August 29, 2014 and filed for record August 29, 2014 in Deed Book 89, page 70, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. PLOTTED AND LABELED AS ITEM #14.)

15. Terms and Conditions of easement for vehicular and pedestrian ingress and egress granted to Thomas G. Easton, Anne Easton Hansen fka Anne S. Easton, Charles A. Easton and Terry C. Easton, dated March 31, 1994, and filed for record April 26, 1994, at 10:35 AM, in O.R. Vol 991, page 219, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. PLOTTED AND LABELED AS ITEM #15.)

16. Easement for roadway purposes granted to the City of Springboro dated March 17, 1994, and filed for record April 26, 1994, at 10:35 AM, in O.R. Vol 991, page 210, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #16.)

17. Easement for limited access highway purposes (I-75) through and across 21.97 acres as referenced in Warranty Deed, dated March 26, 1993, and filed for record April 13, 1993, at 10:08 AM in O.R. Vol 835, page 673, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. NOT PLOTTED.)

18. Vacation of a Portion of Highway Right of Way dated June 7, 1978, and filed for record June 27, at 10:57 AM, in Deed Vol. 520, page 37, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. PLOTTED AND LABELED AS ITEM #15.)

19. Easement for sanitary sewer and water line purposes granted to the Village of Springboro, dated October 1, 1974, and filed for record October 8, 1974, at 2:12 PM, in Deed Vol. 470, page 454, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #19.)

20. Terms and conditions of easement granted to the Village of Springboro for sewer line purposes dated July 7, 1969, and filed for record November 26, 1969, at 2:23 PM, in Vol. 411, page 416, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #20.)

Assignment of Water and Sewer Tap Rights, dated January 16, 1978, and filed for record March 1, 1978, at 10:36 AM in Deed Vol. 515, page 200, Warren County records.
(PERTAINS TO SURVEYED PROPERTY. BLANKET IN NATURE, NOT PLOTTABLE.)

21. Easements for highway and channel purposes granted to the State of Ohio dated November 22, 1968, and filed for record February 6, 1969, at 3:32 PM in Deed Vol. 403, page 91, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #21.)

22. Easement for waterline purposes granted to the Village of Springboro dated June 23, 1965, and filed for record July 12, 1965, at 9:15 AM in Vol. 365, page 353, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. NOT PLOTTED.)

23. Pipe Line Right-of-Way granted to Miami Valley Corporation, an Ohio corporation, dated July 26, 1950, and filed for record July 31, 1950, at 2:17 PM in Vol. 196, pg 231, Warren County records.
(LIES ON, OVER, OR ACROSS SURVEY PROPERTY. PLOTTED AND LABELED AS ITEM #23.)

Partial Release of Pipe Line Right-of-Way dated June 27, 1978, and filed for record June 28, 1978, at 11:54 AM in Vol. 520, page 172, Warren County records.
(DOES NOT LIE ON, OVER, OR ACROSS SURVEYED PROPERTY. PLOTTED AND LABELED AS ITEM #23.)

Assignment to BP Exploration & Oil, Inc., an Ohio corporation, dated August 24, 1994, and filed for record October 7, 1994, at 9:06 AM in O.R. Vol. 1044, page 882, Warren County records.
(PERTAINS TO SURVEYED PROPERTY. BLANKET IN NATURE, NOT PLOTTABLE.)

Assignment and Conveyance Agreement to BP Central Pipelines LLC, a Delaware limited liability company, dated October 25, 2019, and filed for record October 5, 2021 at 06:47:48 AM in Document Number 2021-045051, Warren County records.
(PERTAINS TO SURVEYED PROPERTY. BLANKET IN NATURE, NOT PLOTTABLE.)

24. Easement for electric purposes granted to The Cincinnati Gas & Electric Co. dated October 11, 1945, and filed for record December 3, 1945 at 10:05 AM, in Vol. 162, page 27, Warren County records.
(UNABLE TO DETERMINE WITH AVAILABLE INFORMATION.)

LEGAL DESCRIPTION

Situated in Section 14, Town 2, Range 5, M.Rs., City of Springboro, Clearcreek Township, Warren County, Ohio being part of a 42.887 acre (original) tract of land conveyed to Anne Stanton Easton Hansen (1/4 interest)[, Terry C. Easton (1/4 interest), Charles Arthur Easton (1/4 interest), Kevin James Swallow (1/8 interest) & Carrie Kendall (1/8 interest) as recorded in D.B. 497 Pg. 555 and D.N. 2018-024365 of the Warren County, Ohio Recorder's Office, the boundary of which being more particularly described as follows:

Beginning at a point in the west line of Section 14 at the intersection of the centerline of West Central Avenue (S.R. 73);

Thence along the centerline of said West Central Avenue (S.R. 73), the following three (3) courses:

1. Along a curve to the right an arc distance of 738.61 feet to a set 5/8" iron pin, said curve having a radius of 12277.67 feet, a delta of 03°26'49" and a chord bearing S76°09'50"E a distance of 738.50 feet;
2. S74°26'25"E a distance of 252.52 feet to a set 5/8" iron pin;
3. Along a curve to the right an arc distance of 1042.74 feet to a set 5/8" iron pin at the northwest corner of Springboro Senior Living as recorded in P.B. 89 Pg. 70, said curve having a radius of 12277.66 feet, a delta of 04°51'58" and a chord bearing S72°00'26"E a distance of 1042.43 feet;

Thence along the west line of said Springboro Senior Living, S05°56'03"W a distance of 570.65 feet to a found 5/8" iron pin at the southwest corner of Springboro Senior Living and in the north line of a 13.11 acre (deed) tract of land conveyed to Village of Springboro, Ohio as recorded in D.B. 50 Pg. 322;

Thence along the north line of said 13.11 acre (deed) tract and along the north line of a 22.463 acre (deed) tract of land conveyed to Promotional Wholesalers Partnership, P.L.L. as recorded int O.R. 4467 Pg. 278, N84°15'04"W a distance of 1988.90 feet to a set 5/8" iron pin in the aforementioned west line of Section 14;

Thence along said section line and along the east line of Lot 2 of Sunstar as recorded in P.B. 87 Pg. 85 and the east line of a 3.524 acre (deed) tract of land conveyed to Locaputo Partnership, LLC. as recorded in D.N. 2019-024591, N05°15'47"E, passing a set mag nail at 862.96 feet, a total distance of 938.67 feet to the Point of Beginning.

Containing 35.601 acres of land, more or less and being subject to easements, restrictions and rights of way record.

All iron pins set are 5/8" diameter x 30" iron rebar with ID cap stamped "Kleingers".

Bearings are based on the Ohio State Plane Coordinate System, South Zone, and North American Datum of 1983 (2011) as established from a GPS survey originating on ODOT CORS Station "LEBA" with a bearing of N05°15'47"E as shown along the Section Line of Section 20 and Section 14.

THE ABOVE DESCRIBED LEGAL DESCRIPTION OF THE SURVEYED PROPERTY AS SHOWN HEREON, IS ALL OF THE LANDS AS DESCRIBED IN D.B. 497 PG. 555 AND D.N. 2018-024365 WHICH IS CONTAINED WITHIN THE COMMITMENT FOR TITLE INSURANCE COMMITMENT NUMBER 24-1137 AND IS DESCRIBED AS FOLLOWS:

Situate in Section 14, Town 2, Range 5, MRS, City of Springboro, Clearcreek Township, Warren County, Ohio and being more particularly described as follows:

Beginning at a point on the West line of said Section 14 at the centerline intersection of Start Route 73 and Clearcreek-Franklin Road (#119); thence from said place of beginning with the centerline of State Route 73 Southeastwardly on a curve to the right an arc distance of 740.48 feet to a point, said curve having a radius of 12,277.67 feet, a chord distance of 740.36 feet, and a chord bearing of S 81°57'24" E; thence S 80°13'43" E a distance of 252.52 feet to a point; thence Southeastwardly on a curve to the right an arc distance of 1085.71 feet to a point, said curve having a radius of 12,277.67 feet, a chord of 1085.36 feet, and a chord bearing of S 77°41'43" E; thence S 75° 09' 43" E a distance of 629.33 feet to a point on the West line of Royal Oakes Park, Section 12 as recorded in Book 5, Page 30, of the Warren County Plat Records; thence leaving said centerline S 0°12' 58" E with said Royal Oaks Park West line a distance of 398.11 feet to an iron pin on the South line of said Section 14, said point also being on the North line of Lot No. 393 of said Royal Oaks Park; thence S 89°57" 38" W with the North line and its extension of said Royal Oaks Park a distance of 2643.87 feet to an iron pin on the West line of said Section 14 and the Northwest corner of the Dixie Spring Farms, Inc., tract as recorded in Book 483, Page 598 of the Warren County Deed Records; thence N 0°30' 34" W with the West line of said Section 14 a distance of 938.88 feet to the place of beginning, containing 42.887 acres more or less.

SAVE AND EXCEPT THEREFROM THE FOLLOWING DESCRIBED REAL ESTATE, TO WIT;

And being 7.2436 acres by record plat for Springboro Senior Living, a subdivision of lots and lands appearing at Warren County Plat Book 89 Page 70, and being situated in Section 14, Town 2 Range 5, MRS, City of Springboro, Clearcreek Township, Warren County, Ohio.

The remaining net acreage after subdivision and platting is 35.6434 acres, more or less.

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513.779.7851

SEAL:

NO.	DATE	DESCRIPTION
1	08-19-24	ALTA/NSPS TITLE SURVEY - ARI

ALTA/NSPS LAND TITLE SURVEY
35.601 ACRES
SECTION 14. TOWN 2, RANGE 5, M.Rs.
CITY OF SPRINGBORO
CLEARCREEK TOWNSHIP
WARREN COUNTY, OHIO
FOR: KINGSLEY AND COMPANY

PROJECT NO: 240466VSD000
DATE: 08-19-2024
SCALE:
SHEET NAME: KINGSLEY DEVELOPMENT
SHEET NO. 2 OF 2

Development Plan

Property Ownership

Property Owners within 300ft							
Account	***Parcel ID***	***Owner***	***Property Address***	***City, State, ZIP***	***Tax Name***	***Tax Address***	***City, State, ZIP***
703237	0420485028	City of Springboro	0 S Pioneer Blvd	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
703252	0420485031	Sunstar Engineering Americas INC.	85 S Pioneer Blvd	Springboro, OH 45066	Sunstar Engineering Americas INC.	85 S Pioneer Blvd	Springboro, OH 45066
703050	0420485012	Locaputo Partnership, LLC	505 W Central Ave	Springboro, OH 45066	Locaputo Partnership, LLC	4472 Bridgetown Rd	Cincinnati, OH 45211
703092	0420485016	United States Postal Service	55 S Pioneer Blvd	Springboro, OH 45066	United States Postal Service	PO Box 40595	Philidelphia, PA 19197
702108	0420485008	Sunstar Engineering Americas INC.	450 Victory Dr	Springboro, OH 45066	Sunstar Engineering Americas INC.	85 S Pioneer Blvd	Springboro, OH 45066
703094	0420485018	Lebanon Citizens NAT'L BA	525 W Central Ave	Springboro, OH 45066	LCNB	PO Box 59	Lebanon, OH 45036
502812	0414363001	Promotional Wholesalers	400 Victory Dr	Springboro, OH 45066	Coforge BPS	2727 LBJ Freeway	Dallas, TX 75234
515604	0413102003	Village of Springboro	666 W Market St	Springboro, OH 45066	Village of Springboro	320 W Central Ave	Springboro, OH 45066
519863	0413127003	Village of Springboro	0 Oak Dr	Springboro, OH 45066	Village of Springboro	320 W Central Ave	Springboro, OH 45066
552969	0414377005	Springboro OH Senior	355 W Central Ave	Springboro, OH 45066	Coforge BPS	2727 LBJ Freeway	Dallas, TX 75234
552970	0414600002	City of Springboro	0 Oak Dr	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
553664	0414376024	Miami Valley Hospital	0 W Central Ave	Springboro, OH 45066	Miami Valley Hospital	110 N Main St, STE 1250	Dayton, OH 45402
553663	0414376023	Springboro 360 APL RKC LLC LLC	360 W Cebtral Ave	Springboro, OH 45066	Springboro 360 APL RKC LLC LLC	800 W Madison #400	Chicago, IL 60607
526053	0414378015	Schueler Michael T	15 Springwood Dr	Springboro, OH 45066	Schueler Michael	PO Box 35605	Dallas, TX 75235
517542	0414378016	Sumas Holdings LLC	25 Springwood Dr	Springboro, OH 45066	Sumas Holdings LLC	3829 Top Flite Ln	Mason, OH 45040
553954	0414301007	Eastbrook Farms INC	0 Route 73	Springboro, OH 45066	Eastbrook Farms INC	3000 G Henkle Dr	Lebanon, OH 45036
702477	0420427020	Meadowview Properties I LLC	5 Clearcreek-Franklin Rd	Springboro, OH 45066	Meadowview Properties I LLC	5975 Castle Creek Pkwy Drive N STE 100	Indianapolis, IN 46250
703021	0420427018	City of Springboro	0 W Central Ave	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
701756	0420427009	Music Limited Partnership	512 W Central Ave	Springboro, OH 45066	Music Limited Partnership	405 Main St	Springboro, OH 45066
703152	0420427019	City of Springboro	0 Clearcreek-Franklin Rd	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066
549410	0414301004	City of Springboro	0 Clearcreek-Franklin Rd	Springboro, OH 45066	City of Springboro	320 W Central Ave	Springboro, OH 45066

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, June 11, 2025

I. Call to Order

Chris Pearson, Vice Chair, called the Wednesday, June 11, 2025 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Chris Pearson, Rob Dimmitt, Steve Harding, Scott Marshall, John Sillies and Mike Thompson.

Staff Present: Dan Boron, City Planner; September Bee, Planning Commission Secretary, Elmer Dudas, Development Director, and Chad Dixon, City Engineer.

Mr. Harding motioned to excuse Becky Iverson; Mr. Sillies *seconded the motion.*

Vote: Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

II. Approval of Minutes

May 14, 2025 Planning Commission Minutes

Mr. Pearson asked for corrections or additions to the minutes. There were none.

Mr. Thompson motioned to approve the May 14, 2025 Planning Commission minutes. Mr. Sillies seconded the motion.

Vote: Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

III. Agenda Items

A. Final Approval
Record Plan, 7878 & 7914 Sharts Road, Cedar Creek Reserve, Section One, residential subdivision

Background

This agenda item is a request for record plan approval for Cedar Creek Reserve subdivision Phase 1, located at 7878 & 7914 Sharts Road, southwest of Advanced Drive, as submitted by the developer Associate Construction, Inc. The development is zoned R-2, Low Density Residential District, and was subject to annexation into the City in 2023. The preliminary plan, the first step in the subdivision regulation review process, for the overall subdivision was approved by the Planning Commission in September 2023. The record plan contains 18 single-family buildable lots on an approximate overall area of 33.1 acres. Once approved, the record plan will proceed to City Council for final approval.

Staff Recommendation

City staff recommends approval of the record plan subject to the following comments:

1. Add Note 9 stating "All lots are subject to a drainage easement five feet in width along all side lot lines and ten feet in width along rear lot lines, unless otherwise noted."
2. Add Note 10 stating "A post light controlled by a photoelectric cell is to be installed in the front yard of each lot. Design and location of the post light is to be approved by the developer. The homeowner shall be responsible for maintaining the light in operating condition at all times."
3. Add a 200 feet radius on the right-of-way line at the rear corner of lots 1 and 2.
4. Provide HOA documents for review.
5. Construction drawings to match record plan.
6. Submit to Warren County for review and revise accordingly.

Discussion:

Mr. Rod Morris, Associate Construction, 31 Eagle Court, Carlisle, was present to address questions and comments from Planning Commission members and staff.

Mr. Pearson said this agenda item for a request for record plan approval for Cedar Creek Reserve subdivision Phase 1, located at 7878 and 7914 Sharts Road, southwest of Advanced Drive as submitted by the developer, Associate Construction. He asked Mr. Boron for a summary of this request.

Mr. Boron deferred to Mr. Dudas.

Mr. Dudas said this is for Section One, Cedar Creek Reserve subdivision. It is straight R-2 zoning for 18 single-family lots on approximately 33 acres. He asked Mr. Morris if he had any questions or comments on the staff recommendations.

Mr. Morris replied that he did not. The Warren County Engineer's Office has already reviewed and approved the plans; the HOA agreement is ready for staff review and the punch list was completed. Roadways have been constructed and are nearly completed. Construction of new homes is planned to begin this summer.

Mr. Dudas said that if this agenda item is approved by Planning Commission tonight it will be forwarded to City Council at the next available meeting.

Mr. Pearson asked if there were any questions or comments from Planning Commission members.

Mr. Pearson called for a motion to approve the Final Record Plan for 7878 and 7914 Sharts Road, Cedar Creek Reserve subdivision, Phase 1, residential subdivision.

Mr. Harding made a motion to approve the Final Record Plan for 7878 and 7914 Sharts Road, Cedar Creek Reserve subdivision, Phase 1, residential subdivision. Mr. Sillies seconded the motion.

Mr. Pearson called for roll call.

Vote: Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

Mr. Pearson said the motion was approved unanimously.

B. Final Approval
Record Plan, 6821 Red Lion-Five Points Road, Bailey Farms PUD-R, Planned Unit Development-Residential Phase One, residential subdivision

Background Information

This agenda item is a request for record plan approval for Bailey Farm subdivision, Phase One, located at 6821 Red Lion-Five Points Road, submitted by developer M/I Homes of Cincinnati, LLC. The plan contains 19 single-family buildable lots on the PUD-R, Planned Unit Development-Residential, zoned site, with an approximate overall area being 21.2 acres. Record plan review is the final stage of the PUD approval process. Once approved, the plan will proceed to City Council for final approval.

Staff Recommendation

City staff recommends approval of the record plan subject to the following comments:

1. Add General Note 11 "The adjacent approximate 14.05-acre parcel, to be transferred to the City of Springboro, may remain in its natural state".
2. Add a 20 feet water main easement across Open Space "B" for the future water main to be constructed in Phase 3 from the cul-de-sac to Red Lion-Five Points Road.
3. On sheet 4 – at Bailey Lane cul-de-sac, remove 76.11' easement line and have the easement go to the boundary line.
4. Construction drawings to match record plan.
5. Submit to Warren County for review and revise accordingly.

Discussion:

Mr. Pearson said the next agenda item is for a Final Approval, Record Plan, 6821 Red Lion-Five Points Road, Bailey Farms PUD-R, Planned Unit Development-Residential Phase One, residential subdivision. He asked Mr. Boron for a summary of this agenda item.

Mr. Boron said there was no applicant present and tonight's meeting and deferred comments to Mr. Dudas.

Mr. Dudas said this is for Phase One, Bailey Farms subdivision that is 21 acres; 19 single-family homes are proposed in the first phase of this project. Comments are all standard engineering comments that have been reviewed by the applicant and they have no issues with them, so they will comply and make the revisions necessary and if approved by Planning Commission, this will go before City Council.

Mr. Sillies asked if any work on the roads or sewers had begun.

Mr. Dudas replied that no roads have been constructed yet. The mass grading has been completed, and the sanitary sewer system work has just started.

Mr. Pearson called for a motion to approve the Final Record Plan, 6821 Red Lion-Five Points Road, Bailey Farms PUD-R, Planned Unit Development-Residential, residential subdivision.

Mr. Sillies made a motion to approve the Final Record Plan, 6821 Red Lion-Five Points Road, Bailey Farms PUD-R, Planned Unit Development-Residential, residential subdivision. Mr. Harding seconded the motion.

Mr. Pearson called for roll call.

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Vote: Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

Mr. Pearson said the motion was approved unanimously.

C. Preliminary Review
Site Plan Review, south terminus of West Tech Boulevard, new industrial building

Background Information

This agenda item is a request for site plan review approval to permit the construction of a 60,480-square foot manufacturing facility for Advanced Engineering. The facility will be located at the southern terminus of West Tech Boulevard in The Ascent portion of the South Tech Business Park. The property currently has no address; addresses are not assigned by the Springboro Engineering Department until later in the site development process. Access and frontage for the building and site will be provided by an extension of West Tech Drive from its current terminus adjacent to the Caesar Creek Software building nearing completion to the north. Access will also be from the proposed Zenith Circle between the Caesar Creek and Advanced Engineering buildings.

The site plan is laid out to allow for future expansion of the facility to the south, including the temporary fire access drive on the south side of the building/site.

The subject property will have frontage on an extension of West Tech Boulevard and the proposed Zenith Circle the north. Adjacent land uses include other properties within The Ascent portion of the South Tech Business Park. To the north is the Caesar Creek Software building approved by Planning Commission in April 2024 and currently nearing completion, to the east is a retention pond and common area within the business park, to the south is one of two remaining undeveloped parcels in the park, and to the west is I-75. I-75 coincides with the Springboro corporate boundary. Zoning for the vicinity is ADD-1, Austin Development District 1.

Staff Comments

City staff has the following comments on this agenda item:

1. Match exterior color pattern from the proposed west elevation (vertical gray or black bands) on the north elevation.
2. Following preliminary review at the June 11 Planning Commission meeting, provide a lighting plan consistent with Chapter 1273 of the Planning and Zoning Code and its standards prohibiting excessive lighting levels, and limiting color-temperature, light trespass, glare, uplighting, and hotspots.
3. Following preliminary review at the June 11 Planning Commission meeting, provide a landscaping plan that is consistent with Chapter 1273 of the Planning and Zoning Code and that provides screening along street and road frontages including I-75, as well as parking lot and site landscaping.
4. Coordinate with Zoning Inspector on sign code allowances for buildings in the ADD-1.
5. Water and Sanitary sewer to be reviewed and approved by Montgomery County. Also, revise notes accordingly on C-2.1.
6. Provide West Tech Roadway design plans.
7. It is difficult to see property boundaries and existing easements. Clearly show existing information per latest Ascent Section Five record plan. Label Zenith Circle.
8. Provide parking lot spot elevations. Capture storm water in parking lot. Provide trench drains at both driveways and tie them into storm sewer.
9. Provide building setbacks from property line from all four corners of building.
10. Provide storm sewer design information on each pipe (length and slope).
11. Provide design calculations confirming that the existing detention pond can handle storm water. If basin cannot, then construct improvements and provide design information.

12. Provide details on fire lane. Use Grasspave2 product for material instead of gravel. Fire department to review.
13. Submit to Warren County for review and revise accordingly.
14. If sprinklered, Fire Department Connection must be within 75 feet of a hydrant.
    All hydrants are Montgomery County Spec.

Discussion

Brent Gibbon and Caleb Johnson, Ferguson Construction, were present to discuss this agenda item.

Mr. Pearson asked Mr. Boron for a summary of this project.

Mr. Boron said this site is at the southernmost point of West Tech Boulevard, next to the Caesar Creek Software building currently under construction. This is a request for the new construction of a new facility for Advanced Engineering to construct a 60,000 square foot manufacturing facility at what will be the southern terminus of West Tech Boulevard. This is a preliminary review only currently to provide the applicant with some feedback as they work on their design. This is a permitted use and there is potential for expansion of the facility to the south of the site. There is a new street between the new Caesar Creek Software building and this site. Staff comments have been shared with the applicants.

Mr. Pearson asked the applicants if they had any questions or concerns regarding the staff comments.

Mr. Johnson said that they would comply with all staff comments.

Mr. Boron noted that many of the comments were advisory in nature for issues that need to be addressed moving forward, such as lighting and landscaping. He also said that he wanted to make it clear that staff comment number 1 was referring to the banding on the uppermost level on the west elevation is to be matched on the north elevation because of that elevation's high visibility potential.

Mr. Boron said that the south elevation will eventually be the site of an addition to the building in the future. The east elevation is the industrial side of the building and will be facing away from I-75.

Mr. Harding asked why the water and sewer tap-in is coming from Montgomery County.

Mr. Dudas said that the entire Austin Development District (ADD) is covered under Montgomery County's water and sewer distribution system.

Mr. Pearson asked why the building was not located further to the south.

Mr. Boron said that the building would have an expansion built to the south in the future.

Mr. Sillies asked if there would be enough parking available for such a large facility.

Mr. Johnson replied that they have adequate parking for the currently proposed building and there is space allocated to add parking in the future as new employees are added. There will be two docks on either side and then additional parking in between them. The owner will have office space located in the building, but it has not been decided in which area it will be located. It will not be a headquarters, but office space is needed for daily functions and will be approximately 5,000 square feet.

Mr. Boron said that the owner of this building also owns 240-250 Advanced Drive, which is named after the business Advanced Technologies, and the new building will be a separate but related enterprise because there is no more space available to add such a large addition in the Stoltz Industrial Park.

Mr. Marshall asked about fire department access to the site.

Mr. Johnson said they would comply with all requirements.

Mr. Pearson asked Mr. Boron about the next steps moving forward.

Mr. Boron said that if the Planning Commission is satisfied with this review, it can be on the next Planning Commission agenda in July for formal approval, pending the applicants can get everything that is necessary for the meeting. He does not think there is anything Engineering that would delay the process.

Mr. Dudas said that the way Advanced Drive ties into the future road will be worked out with staff to blend it into the existing flow and does not foresee any delays.

Mr. Johnson asked about the requirement to submit designs to the Warren County Engineer's Office for review. In the past when working in Springboro, this was not a requirement.

Mr. Dudas said that because this site is part of a plat, some of the lot lines might need to be changed and Warren County will need to review and record those changes.

Mr. Boron reminded the applicants that the deadline for submittals for the July 9 Planning Commission meeting is Friday, June 20 at noon.

Mr. Pearson asked the applicants if they had any questions or comments. They did not.

Mr. Pearson thanked the applicants and said they look forward to seeing them in the future for further discussion and review.

D. Preliminary Review
Final Development Plan, Advanced Drive PUD, Planned Unit Development, new commercial building

Background

This agenda item is a request for site plan review approval for a final development plan for the construction of a speculative commercial building on the west side of Advanced Drive in the Stolz Industrial Park at the request of the property owner and developer, Westheimer Real Estate. In 2002 a final development plan for this same site was approved by the Planning Commission but never developed.

The subject property is located approximately 500 feet northeast of the terminus of Advanced Drive.

The applicant is proposing to construct a one-story, 10,000-square foot building for a future user. No address has been assigned for the property at this time; addresses are typically not assigned by the Engineering Department until further into the site development process. The proposed commercial building is located on an 8.22-acre site. The owner has indicated that the site will be subdivided to allow development of one additional building/site.

The subject property has frontage on Advanced Drive. Adjacent land uses include other properties in the Stoltz Industrial Park that are occupied by the following businesses: at 175 Advanced Drive, Armstrong Trailer. To the east and southeast are Advanced Interior Solutions and Advanced Engineering at 240-250 Advanced Drive, and to the south a vacant building at 235 Advanced Drive. The subject property also borders to the west to the developing Cedar Creek Reserve subdivision that was annexed into the City in 2023 and the subject of agenda item A.

The subject property is zoned PUD, Planned Unit Development, and is part of the Advanced Drive PUD that coincides with the Stolz Industrial Park. The Advanced Drive PUD was created in 1997 to accommodate light industrial development of the area in collaboration with the Stolz estate. The remainder of the estate is the core of what is now Clearcreek Park. The PUD zoning designation permits the use of the property for office and light industrial development. Land to the west is zoned R-2, Low Density Residential District.

Staff Comments

City staff has the following comments on this agenda item:

1. Remove sheets A3.1 through A4.2 of submittal from site plan review packet moving forward.
2. Future use of the proposed building subject to a Certificate of Zoning Compliance review by Zoning Inspector for determination of compatibility of proposed with ED, Employment Center District code requirements, as well as parking and other use-specific requirements.
3. For final approval, revise/update landscape plan as follows:
    a. Provide 10-foot buffer and 1 tree/40 feet of frontage to north and south property lines. Trees may be evergreen, shade or ornamental.
    b. Provide 1 tree for every 3,000 square foot of site area (after subdivision of property to create parcel for this building/user) less building/parking other developed areas on site.
    c. Existing trees to remain on the site 4 inches DBH may replace requirement for trees requirement in a-b.
    d. Frontage landscaping is acceptable as submitted.
4. For final approval, revise/update lighting plan as follows:
    a. Revise sheet C-3 so lighting locations are discernable.
    b. Revise photometric analysis to meet maximum lighting standard (6.0 foot-candles for parking areas). Also proposed ratios exceed average to minimum (4:1) and maximum to minimum (10:1) ratios for parking area.
    c. Indicate if proposed lighting is IDA-approved and is consistent with color-temperature standard (maximum 3500 K).
5. Signage to be reviewed by Zoning Inspector outside site plan review process.
6. Provide building setbacks from property line.
7. Provide detention basin design calculations.
8. Verify that fire hydrant is not needed near building. If needed, revise plans accordingly. Callout 1” water lateral curb stop. Plastic CTS tubing (200 psi min with blue number12 tracer wire) is permitted after curb stop.
9. Revise sheet number (labeling) as there are two C-3 sheets. Remove mention of 100 ft wide access and utility easement as there is no lot split proposed with this plan.
10. Note the length of curb and gutter removal along Advanced Drive.
11. Provide details regarding the existing catch basin grate revision at the curb cut with Advanced Drive.
12. Water meter with remote reader to be inside of building.
13. Detention basin outlet structure detail does not match plan view.
14. If any portion of the building is more than 400 feet from a hydrant on Advance Drive, a private hydrant will be required near the building.

Discussion

Mr. John Westheimer and Ms. Kris Dannenfelser, Westheimer Real Estate, were present to answer questions from Planning Commission members and staff.

Mr. Pearson asked Mr. Boron for a summary of this agenda item.

Mr. Boron said this site for a proposed new building is located on Advanced Drive and is for an unnamed user. This may be split into two lots. Advanced Engineering is located across the street at 240-250 Advanced Drive. Currently the proposed site does not have an assigned address, but it is located near the southern terminus of the cul-de-sac. A site plan was reviewed for this property in 2022 but was not finalized. There are some constraints on this property including easements and pipelines, and until the actual end user comes forward for review, Planning Commission and staff cannot issue final approval until the use of the building has been determined. A Certificate of Zoning Compliance will be required before the review can happen. Parking and other things cannot be determined until the certificate has been issued. Landscaping, site layout and other items can be reviewed at this time.

Mr. Peason asked Mr. Westheimer if he had any questions about the staff comments.

Mr. Westheimer said he did not, all the comments seem reasonable.

Mr. Harding asked how the lot would be split.

Mr. Westheimer said that if whomever bought the building would have the option to purchase the entire site or it could be split into two lots and a separate building could then be built. If divided, it would split the lot into south side and north side lots.

Mr. Thompson asked about comment number 9, revise sheet C3 labeling.

Mr. Dudas explained that there were two C3 plans submitted, one just needs to be re-named; minor revisions sometimes need to be made but it does not affect the overall submission.

Mr. Pearson asked if there were any other questions or comments.

Mr. Boron said that if the Board was comfortable with this discussion, this agenda item could move forward for final adoption at the next Planning Commission meeting on July 9. The deadline for the July meeting is Friday, June 20 at noon.

Mr. Pearson thanked the applicants for their time and said they looks forward to meeting with them again in July.

E. Preliminary Review
Final Development Plan, 605 North Main Street, Easton Farm PUD-MU, Planned Unit Development-Mixed Use, multi-family residential component

Background Information

This agenda item is an application of a final development plan, submitted by CASTO, Columbus, Ohio, seeking approval to construct the multifamily component of the Easton Farm located at 605 North Main Street (SR 741). CASTO's application was submitted under the authority of Easton Farm Partners, LLC, of Columbus, Ohio, owner. Final development plan review and approval by Planning Commission is the second step in the three-step Planned Unit Development (PUD) approval process. The application includes several elements including a civil engineering and site layout, building elevations and floor plans, and design standards.

This item was reviewed on a preliminary basis at the March 19 Planning Commission meeting. At that time, the Planning Commission directed the applicant to address a number of comments made by City staff and at the meeting. No formal action is requested at the June 11 meeting. Planning Commission may authorize formal approval at a future Planning Commission at the conclusion of the March 19 review.

The property at 605 North Main Street (SR 741), commonly known as the Easton Farm, was rezoned to PUD-MU, Planned Unit Development-Mixed Use, under order of the Warren County Court of Common Pleas in 2022. The order, a Judgment Entry, rezoned the property from R-1, Estate-Type Residential District, to PUD-MU with four components: a mixed-use area on the northeast corner of the property, a residential component comprising the bulk of the property, a component on the west edge property reserved for maintenance of the original farmstead including two single-family homes and farm buildings, and a multifamily component, located on the southeast corner of the property, that is the subject of this application. Since the Judgment Entry, the City of Springboro purchased 60 acres of the site originally proposed for the residential component.

No other components of the PUD-MU will be discussed as part of this application except for the street connections necessary to accommodate the multifamily component's development. The Judgment Entry provides for review of the details for the multifamily component by Planning Commission through the final development plan process. No review or approval by City Council is required of the final development plan.

The following is a summary of significant changes to the submittal since March 19:

- Component site area increased from 10.91 to 11.83 acres through the potential future purchase of property from the City of Springboro on the south end of the component;
- Increased in the parking space/dwelling unit ratio from 1.51 to 1.92 spaces/dwelling unit;
- Increased in the number of dwelling units from 238 to 248; and
- Provided additional parking and realignment of community facilities on the south end of the component.

The multifamily component is 11.83 acres in area with frontage on North Main Street (SR 741). The property will also have frontage on Easton Farm Boulevard and Noel Drive. Easton Farm Boulevard is the principal access road to the PUD-MU and is located proximate to the existing driveway to the property/farmstead. Direct access to the multifamily component is by way of two drives accessing Noel Drive.

CASTO's proposal for the multifamily component includes 248 apartment units, four fewer than the 252 units permitted under the 2022 Judgment Entry. The residential buildings range in size from 8 to 30 units. All the apartment buildings contain no more than three occupied floors. CASTO proposes 127 one-bedroom, 117 two-bedroom, and 4 three-bedroom apartments.

Also proposed in the component is a clubhouse (including rental office), mailroom/maintenance facility, and a pool, all internal to the apartment buildings. On the south end of the component is a programmed green space, dog park, and pickleball area. The southeast corner of the site includes a retention pond.

A total of 476 parking spaces are proposed for the site, up from the 360 proposed in the March 19 plan. This includes 159 garage spaces on the first floor of the apartment buildings, and 207 surface parking spaces. No structured parking is proposed.

Staff Comments

1. Revise labeling of Building 13-AA to 20 units.
2. List permitted uses on proposed for the component: multi-family residential dwellings, uses and structures normally accessory to the use on Sheet C3.0.
3. Following preliminary review of final development plan, submit a signage plan consistent with Chapter 1281 of Planning and Zoning Code.
4. Submit updated lighting plan consistent with Chapter 1273, Exterior Lighting, of Planning and Zoning Code. See also lighting comments from March 19 review.
5. Following preliminary review of final development plan, submit a signage plan consistent with Chapter 1281 of Planning and Zoning Code.
6. Indicate locations for proposed indoor bicycle parking spaces.
7. Show sidewalk/trail connections to proposed streets including North Main Street/SR 741.
8. What is proposed in the way of sidewalks along North Main Street/SR 741 frontage? And a pedestrian crossing at Easton Farm Boulevard?

9. Landscaping plan calculations provided on sheet L1.0 are acceptable, however revise as follows:
    a. See Section 1280.04(c)(2) for parking lot landscaping requirements.
    b. For North Main Street frontage, provide ornamental trees at the rate of 1 tree/100 linear feet of frontage.
    c. Extend proposed landscaping calculation for Noel Drive to Easton Farm Boulevard, and for both provide ornamental trees at the rate of 1 tree/100 linear feet of frontage.
10. Add ingress/egress easement for multiuse trail within 30-foot utility easement on the south end of the component.
11. Mechanical systems, if applicable, to be screened from rights-of-way immediately adjacent to site through building design for rooftop mechanical, and landscaping/fencing for ground units.
12. Are two trash enclosures adequate for this size residential development? Also provide plans for screening proposed enclosures.
13. Provide exterior plans for clubhouse and maintenance facility.
14. Public roadway construction drawings (Easton Farm Blvd & Noel Drive & SR 741) under review. Provide traffic signal design plans for the intersection of Easton Farm Blvd/SR 741. Final Development Plan to match roadway drawings.
15. Roadway Improvements are to be completed as a part of the FDP, including the roadway frontage of Easton Farm Blvd and Noel Drive as well as SR741 traffic signal improvements and turn lanes.
16. Provide detention basin calculations and storm water pollution prevention plan (SWPPP) per EPA requirements.
17. Provide site plan design details including, but not limited to, storm sewer, sanitary sewer, water main, private roadway details, and grading.
18. Provide water master meter in each building in a meter room.
19. Adjust tree plantings on south side of site to avoid the storm sewer locations.
20. Provide record plan replatting the site to include the new boundary for the apartments, additional right of way along Noel drive, along with any other revisions due to roadway/site plan revisions.
21. Instead of having parallel watermains (4" & 8" mains), consider keeping the 8" main and tap each building with a water lateral and have the water meter for each building in a meter room. Loop 8" water main onto Noel Drive.
22. How tall is exposed retaining wall? What will it look like? Provide examples. How is maintenance of the detention pond being accomplished by a development association? Provide documentation for review.

Discussion

Mr. John Del Verne, Bayer and Becker, civil engineer, Mr. Chris Tumblin, CASTO and Easton Farm Apartments, LLC and Mr. Matt Lytle, architect, Sullivan Bruck Architects, were present to answer questions from Planning Commission members and staff.

Mr. Pearson asked Mr. Boron for a summary of the agenda item.

Mr. Boron said he would be focusing on what has been happening with this project since the March 19 meeting when the applicants appeared for a preliminary review of their final development plan by Planning Commission members and staff. At that point in time there was a proposal to develop this as the multi-family component of the Easton farm. This is an approved use under the consent decree judgement entry dating back to 2023.

This is a permitted use, and the plan allows for up to 252 multi-family dwelling units on this component in this portion of the PUD. There have been a few changes to the plans since the last meeting. The size of the property has increased by approximately 1 acre to accommodate additional parking, which was among the major comments when it was presented to the Planning Commission in March and it accommodated, in part, the expansion of another building. The number of 248 dwelling units is still below the 252 units permitted.

Another change was the amount of parking, which was the subject of discussion, is now up to 1.92 spaces per dwelling unit, up from the previous number of 1.5. The City of Springboro's code requires 2.2 spaced per dwelling unit, but City staff felt, as part of this discussion, strongly that this was an positive change that given the layout and other factors, that that number is closer to the 2.2 required in the code and is appropriate. There are other multi-family developments that have a similar number of 1.9; Meribel in The Springs subdivision being them one. The last change made was the expansion, or reorganization, of the site with the 1-acre corner being added to the site plan.

Mr. Pearson asked if the applicants had any questions or comments regarding the staff comments.

Mr. Tumblin said he would like to go through the comments one at a time to address any issues. With regards to comment number 1, that an error has been changed on the plans to show 20 units. He also said they were fine with adding the language requested in comment number 2.

Moving on to comment number 3, Mr. Tumblin said they would be adding the signage plan to their next submittal. The updated lighting plan will be added as well. As to comment 6, the garden apartments have large garages that are about 25 feet deep and a typical parking space is 18 feet deep, so that leaves ample space, about 7 feet, for an area to be designated for indoor bicycle parking. Additional outdoor bicycle parking has been added near the clubhouse and other outdoor amenities.

Mr. Thompson asked about the accessibility of the indoor bicycle parking in the garages. Would everyone have access to this space or just the tenants that have a vehicle parking permit?

Mr. Tumblin said that the garages will not have doors and parking spaces, including bicycle parking, would be assigned as requested by tenants. If an access key or code will be required to access parking, it will be provided to the tenant when the permit is issued.

Mr. Boron added that the indoor parking, both for vehicles and bikes, is considered private parking and will be available to residents only. Public parking for both vehicles and bikes is in the common areas for both public and private use.

Mr. Sillies asked out of 248 dwelling units how many garage spaces there were for cars.

Mr. Tumblin said there are 159 garage spaces with a total of 476 spaces for the site, including the garages.

Mr. Tumblin said that their team has some questions regarding comment number 7, show sidewalk and trail connections to proposed streets, including North Main Street/SR 741 frontage. There are sidewalks all along Noel Drive, and sidewalks all along Easton Boulevard which lead up to North Main Street/SR 741 and the existing sidewalk along SR 741. Is staff asking for additional connections to the sidewalk along SR 741?

Mr. Dudas said the thought was that people will want a shorter access route to SR 741 depending on their location within the site or destination within the site.

Mr. Lytle said the challenge for that is the slope required to meet the grade around the site will be quite steep and it would be difficult to make it accessible.

Mr. Boron said that eventually there will be a connection from North Park through this development that will connect with Gardner Park.

There was a general discussion about the requirements for accessibility for anyone who wants to use the path and the challenges the slope of the site poses. The retaining wall will be at least 9 feet tall, so there is a minimum of a 9-foot drop down to the sidewalk. The possibility of adding steps was discussed and it was agreed

they would be acceptable if the site itself is accessible. The steps also do not need to include an accessible ramp; directional signage could be posted for the accessible ramp location. It was decided that Planning Commission and staff would like to see further work done to investigate other means of access to the site.

Mr. Pearson asked Mr. Dudas to explain comment number 8.

Mr. Dudas said the comment was included so that all proposed and existing sidewalks would be shown on the drawings, not just the assumption that they would be constructed. It will show how the sidewalks that are built for occupancy tie into the sidewalks meant for public use.

Mr. Boron said the comment also refers to having all the roadways and sidewalks laid out and in place before occupancy is granted for any of these. The Master Developer is responsible for constructing the roadways and sidewalks.

Mr. Tumblin said they had submitted plans to Mr. Dudas and comments have already been made and there's work being done by the traffic engineers on some roadway alignments and other issues. These conversations are ongoing, and it is their intention to continue these discussions as the project progresses. They want the roads to be built because their property is useless without them.

Mr. Thompson asked if any of these roads would be access roads to anything the City might be building later, whether it be a school or City park.

Mr. Tumblin said that Anna Drive, Easton Farm Boulevard and Noel Drive would be the public roads. Easton Farm Boulevard would be an access road for any potential new build. There will be a new traffic light at Easton Farm Boulevard and SR 741.

Mr. Boron said that comment 8 refers to showing what is going on around the periphery of the site so that everyone can see how things will be connected ultimately. Comment number 7 refers to things that are going on in the actual site right now.

Mr. Pearson asked if the applicants had any questions about the landscaping plan addressed in comment number 9.

Mr. Tumblin said they would change the language of the landscaping plan to reflect the requirements of the City code as requested by staff. The percentage was carry-over from the development standards that referred to a percentage. They are proposing for the landscape areas within the parking area three to four times what is required by code.

Mr. Tumblin said they had questions about comments number 9b and 9c and deferred to Mr. Lytle for his comments about the ornamental tree requirement.

Mr. Lytle said the landscaping code is confusing and he would like some clarification on what is or is not acceptable for their proposal. Shrubs are included as part of the required landscaping elements but are they required?

Mr. Boron said the requirements list include shrubs as acceptable, but they are not required. Noel Drive is a proposed street, so it needs to meet the shade and the ornamental requirement. This should be one tree at every 100 feet, and they can be grouped. Proposed designs should consider what makes sense at entrances, intersections and so forth.

Mr. Tumblin said that comment number 10 is new and asked for clarification about what is being requested for the south side of this project. Is the City going to put in a multi-use trail within the easement?

Mr. Boron said that now is the time to reserve space and in part, the same comment that was heard earlier about how the applicants are going to get to the internal development to there, how will the internal trail get to SR 741? The City would like to put it in the easement to identify a trail as one of the things that can happen in it. There could potentially be a shared used path within the easement leading to North Park once further development occurs. No additional easement to the north is required.

Mr. Lytle asked if they would be able to grade within the easement.

Mr. Boron said yes.

Mr. Tumblin said they have no concerns with comment number 11 and moving on to comment number 12, he said that they feel that two trash enclosures will be adequate for the residential population. One of the dumpsters is a compactor and as the residential population increases, they will be able to add to the frequency of trash pickups as needed. They will be located on concrete pads and be screened.

Mr. Tumblin stated that they understand comment number 13 and will comply with the request in future submittals. The roadway drawing and improvements noted in comments number 14 and 15 are currently under review.

A storm water pollution prevention plan (SWPPP) was submitted with some initial storm water calculations.

Mr. Dixon said that it had been reviewed and there were just some very minor comments that will not affect the design.

Mr. Tumblin said they would address comment number 17 with more detailed plans with their next submittal. He asked if it was a requirement that the City of Springboro requires each building to have its own backflow prevention meter.

Mr. Dudas said that it is a City requirement, and it is included in the agreement.

Mr. Lytle asked if the water main would be a public system.

Mr. Dudas said that it was up to the applicant to decide whether it is private or public. There was a general discussion about the engineering aspects of the water and sewer system, and it was decided that staff and the applicants would have a meeting to discuss this matter further and determine the best way to move forward with their plans.

Mr. Tumblin said he believes that comment number 19 might be a carry-over from the last staff comments. He thinks that all the conflicts with trees on the south side of the site to avoid the storm sewer locations have been addressed in the new plans submitted. He continued to say that for comment number 20, they agree, and the record plan will be replatted to address the new boundary.

Mr. Pearson asked about the exposed retaining wall addressed in comment number 22. How tall will it be and what will it look like when completed? Who will be maintaining it?

Mr. Tumblin said they would be constructing and maintaining the retaining wall. The maintenance of the detention pond is something they will have to have a conversation about with City staff in the coming weeks. The wall will be a maximum of 9 feet tall and taper down to approximately 6 feet tall and then taper to zero at either end. Materials to be used are still to be determined. A sample of the proposed materials will be available at the next presentation before Planning Commission members. It will be set back from the road.

Mr. Boron said that providing an idea of how the retaining wall will be landscaped or screened would be helpful as well.

Mr. Lytle said that they would not be submitting plans for the July meeting but would be back for the August 13 Planning Commission meeting.

Mr. Boron reminded the applicants that the deadline for submittals for the August 13 meeting is Friday, July 25 at noon.

Mr. Sillies asked about the appearance of the multi-family buildings.

Mr. Tumblin, referring to the drawings he presented to Planning Commission and staff, said there would be two color schemes. They will both use the same brick, and some vinyl is proposed for the upper elevations. The base level will be brick for about 10 feet up. The lap siding will be vinyl, and the panels will be fiber cement board.

There was a lengthy discussion about the merits of fiber cement board versus vinyl and its longevity and appearance. It was agreed that the applicants would bring samples of the materials proposed to be used to the Planning Commission meeting in August.

Mr. Thompson asked about the privacy of the garages. How will access to the garages be limited to those who belong there?

Mr. Tumblin explained that the garages would be co-leased by two units and residents with bicycles, but the entry would be keyed in some way to limit access to the public.

Mr. Tumblin asked if they address all the staff comments and if they make progress with the conversations with City staff, would it be possible they could get a final vote for approval at the August meeting?

Mr. Boron said yes.

Mr. Pearson thanked the applicants for their time and said Planning Commission members looks forward to meeting with them again in August.

F. Preliminary Review
Text Amendment, Planning and Zoning Code, adding outdoor dining to O-R, Office-Residential District

Background Information & Staff Recommendation

This agenda item is a request for a text amendment to the Planning and Zoning Code to allow outdoor dining in the O-R, Office-Residential Zoning District. The request is being made by Wen Wang, owner/operator of the China Cottage restaurants. A new China Cottage restaurant is proposed for a site to the east of 610 North Main Street, Kentwood Mortgage, that is in the O-R District. A preliminary site plan for the new restaurant is included in the meeting materials.

While the request is by an individual property owner, the text amendment would be for all O-R District lands.

The O-R District permits restaurants without drive-through facilities in the list of permitted uses found in Chapter 1263 of the Planning and Zoning Code, Permitted Uses by District. The O-R District does not permit outdoor dining, an accessory use listed in the Springboro Planning and Zoning Code, to all restaurants. Currently outdoor dining is permitted in all four business districts found on the Official Zoning Map of the City of Springboro:

- LBD, Local Business District, which can be found on the West Central Avenue (SR 73) corridor in the vicinity of the City Building, and at the corner of North Main Street (SR 741) and Lytle-Five Points Road;
- HBD, Highway Business District, which overlays West Central Avenue west of Clearcreek-Franklin Road;
- CBD, Central Business District, which coincides with much of the Springboro Historic District along South Main Street; and
- UVD, Urban Village District, which overlays the area in the vicinity of the intersection of Central Avenue and Main Street.

Outdoor dining is also permitted in PUDs that permit restaurants such as the Marketplace of Settlers Walk and Village Park. The O-R District is one of two districts, the ADD-1, Austin Development District 1 is the other, that permits non-drive through restaurants but not associated outdoor dining. A copy of the Official Zoning Map is included in the meeting materials.

In addition to the site of the proposed restaurant, the O-R District overlays lands along the North Main Street corridor from Lytle-Five Points Road to Parker Drive including but not limited to the Hidden Creek assisted living facilities (1325-1345 Lytle-Five Points Road), Premier Health (630 North Main Street), Global Natural Stone (475 North Main Street), and The Academy (5-11 Sycamore Creek Drive).

Outdoor dining is regulated under Section 1264.35, Standards for Specific Uses, of the Planning and Zoning Code, a provision that establishes them as a use incidental to restaurants, where permitted, and includes site design standards. That section is included in the meeting materials.

This item is scheduled for preliminary review by the Planning Commission at the June 11 meeting. However, if Planning Commission finds this amendment acceptable it may make a formal recommendation of approval by amending the agenda. Following Planning Commission review, a recommendation to City Council will be required to formally amend the Planning and Zoning Code.

City staff supports this text amendment. Following the pandemic, outdoor dining has been more extensively used by businesses in Springboro and elsewhere, a key to their survival during 2020-2021, and thereafter as dining choices have evolved. In addition to Section 1264.35, other protections exist to regulate any potential negative effects, if any, from this use through setbacks and screening. Outdoor entertainment is not part of the text amendment request.

Discussion

Mr. Sean Stone, attorney for the applicant, and Mr. Wen Wang, applicant, were present at tonight's meeting to answer any questions from Planning Commission and staff.

Mr. Pearson asked Mr. Boron for a summary of this agenda item for a text amendment to the Planning and Zoning Code.

Mr. Boron said the applicant is building a new restaurant and he would like to include outdoor dining in his plans, but it is not currently permitted by code. Private citizens are permitted to apply for text amendments, and this is the case tonight. The applicant would like to add outdoor dining to the list of permitted uses in this O-R, Office-Residential Zoning District. The O-R allows restaurants without a drive through. It is one of only two instances where dining is permitted but not allowed to have outdoor dining associated with it.
one existing, the other one is almost complete

The area covered by this zoning district goes from the Hidden Creek Assisted Living Facility to the east all the way down along SR 741 to the Kaiser office building, crosses SR 741 and is the area where Mr. Boro's is located all the way down to the single-family homes which are now businesses. This text change would affect all the sites located in this district, not just the applicant's site.

Mr. Thompson asked what constitutes outdoor dining.

Mr. Boron said that it would have to have a restaurant, with or without a drive through and meet all the code requirements. Seating could be permanent or temporary.

Mr. Sillies asked about noise requirements.

Mr. Boron said this is not concurrent with outdoor entertainment. The City does have a noise standard for establishments that includes from where the noise is measured on the property line. If there is observable noise coming from the property line after 11:00 pm on weekends and 10:00 pm on weeknights, the noise must cease. This covers all businesses within the City. Outdoor entertainment is only allowed in certain areas, and this is not one of them.

If this text amendment is approved, then in the future when site plans are submitted for review for Mr. Weng's new restaurant, Planning Commission members will look at the options available for restrictions such as screening or a larger setback from residential properties and businesses.

Mr. Thompson asked if this text amendment approval was key to Mr. Weng's project moving forward.

Mr. Weng said outdoor dining will be included in the plans but currently it is not. He would like to marry the exterior to the natural surroundings on this site. There are a lot of trees there and he would like to keep them as a buffer to the nearby residences. Landscaping will be a big element as well.

There was a short discussion among Planning Commission members, and they agreed that outdoor dining should be permitted and would like to take a vote on the approval this evening.

Mr. Boron explained that if Planning Commission is comfortable with approving this text amendment, they could make a motion to amend the agenda for tonight to add a motion for recommendation to City Council. After approving the text amendment, the recommendation would then go before City Council for a public hearing like what occurred with the vaping amendment last year. Because this is not rezoning, the City is not required to notify anybody within a certain distance, but everyone in the City would be notified via public hearing notifications in the newspaper and on the City's website.

Mr. Harding made a motion to amend the agenda to make a formal approval to make a text amendment to the O-R District. Mr. Sillies seconded the motion.

Mr. Pearson called for roll call.

Vote: Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

Mr. Pearson said the motion was approved unanimously.

Mr. Harding make a motion to approve the Planning and Zoning Code Text Amendment adding outdoor dining to the Office-Residential Zoning. Mr. Marshall seconded the motion.

Mr. Pearson called for roll call.

Vote: Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

Mr. Pearson said the motion was approved unanimously.

Mr. Boron said that City Council will set a public hearing at the next available meeting.

Following the motion to approve the text amendment, Planning Commission members took a very preliminary look at the proposed site plans and Mr. Weng explained about some of the elements that will be included in the design.

Mr. Weng asked how he gets an address assigned to the site. He is concerned that his liquor license could expire before an actual recorded address is available.

City staff assured Mr. Weng they would work with him to get an address assigned to the site before his license comes up for renewal with the State.

VII. Guest Comments

Mr. Pearson called for guest comments. There were none.

VIII. Planning Commission and Staff Comments

Mr. Pearson asked Mr. Boron if he had any additional comments.

Mr. Boron said the next Planning Commission meeting will be held on Wednesday, August 13 at 6:00 pm in Council Chambers at the City Building, 320 West Central Avenue. The deadline for submittals is Friday, July 25 at noon.

IX. Adjournment

Mr. Pearson called for a motion to adjourn.

Mr. Thompson motioned to adjourn the June 11, 2025 Planning Commission Meeting at 8:00 pm.
Mr. Sillies seconded the motion.

Vote: Pearson, yes; Dimmitt, yes; Harding, yes; Marshall, yes; Sillies, yes; Thompson, yes; (6 yes – 0 no)

Mr. Pearson said the motion was approved unanimously.

Mr. Pearson said the motion was approved unanimously and the meeting is adjourned.

_____
Becky Iverson, Planning Commission Chairperson

_____
Dan Boron, Planner

_____
September Bee, Planning Commission Secretary

DRAFT