

Agenda
City of Springboro Planning Commission Meeting
Wednesday, June 12, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. May 8, 2024 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Final Development Plan, Bailey Farms PUD-R, Planned Unit Development-Residential, 6821 Red Lion-Five Points Road, residential subdivision
 - B. Final Approval, Site Plan Review, Seven Brew Coffee, 785 West Central Avenue, proposed drive-through coffee shop
 - C. Final Approval, Preliminary Subdivision Plan, Eastbrook Farm, Northeast Corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, residential subdivision
 - D. Preliminary Review, Rezoning Application, 500 East Street, R-2, Low Density Residential District to CBD, Central Business District
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, June 12, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Final Development Plan, 6821 Red Lion-Five Points Road, Bailey Farm PUD-R, Planned Unit Development, residential subdivision

Background Information

This is an application filed by M/I Homes of Cincinnati, LLC, seeking final development plan approval for the development of a single-family, residential subdivision. The subject property is approximately 79.9 acres in area and is located southeast of the corner of West Lower Springboro Road and Red Lion-Five Points Road. A total of 130 single-family detached residential units are proposed in the PUD-R, Planned Unit Development-Residential.

Final development plan review and approval by Planning Commission is the second stage of the PUD approval process. The first stage, rezoning and general plan approval, were completed earlier this year with the approval of the general plan by Planning Commission (February 14 meeting) and City Council (March 7). The rezoning of the property took place in 2007.

This agenda item was reviewed on a preliminary basis at the May 8 Planning Commission meeting.

The proposed final development general plan submitted for review includes 130 single-family residential lots. A total of 66 6,760-square foot lots (52 feet wide and 130 feet deep) and 64 8,060-square foot (62 feet wide and 130 feet deep) are proposed. Setbacks and other details are included in the submission.

Primary access to the site is from Red Lion-Five Point Road midway between West Lower Springboro Road, and the intersection of Red Lion-Five Points Road and Springboro Road to the south. Secondary access is provided through an extension of Cambridge Drive and the Creekside subdivision to the west. While the subject property has frontage on West Lower Springboro Road, no access is proposed. The dedication of right-of-way is needed to accommodate the development both from the City (West Lower Springboro Road) and Clearcreek Township (Red Lion-Five Point Road). The eastern edge of the subject property coincides with the City corporation line. Fairway Drive to the west will be extended into the site with a cul-de-sac and terminated with no lots.

A multiuse trail is proposed for public use along Red Lion-Five Points Road, extending through the development to West Lower Springboro Road. This trail will eventually connect with a similar trail to the south in the Clearcreek Reserve West subdivision. The bike lane on West Lower Springboro Road will be extended to the east corporation boundary concurrent to development of the Bailey Farm. Additional private trails are proposed within the development. All streets will incorporate sidewalks as provided by City code.

The proposed general plan includes 45.36 acres of open space, or 55% of the subject property land area, however this includes 18.0 acres of land proposed to be dedicated as parkland. This includes a proposal for a common area including a playground and trails around an existing pond.

Adjacent land uses include to the west the Creekside residential subdivision, on the north side of Lower Springboro Road a residential lot and beyond the Fieldstone residential subdivision. To the east in Clearcreek Township, residential lots on the north side of Lower Springboro Road and continuing to the east side of the property on the east side of Red Lion-Five Points Road in Clearcreek Township. The south side of the property coincides with the open space portion of the Clearcreek Reserve East residential subdivision in Springboro.

Adjacent zoning in the Springboro portion of the vicinity includes R-2, Low-Density Residential District, in the Creekside, Fieldstone, and Clearcreek Reserve East subdivisions, and R-1 for remaining lands in the vicinity in the City. For the Clearcreek Township vicinity, R-1, Rural Residence Zone to the north and northeast, and to the east SR-1, Suburban Residence Zone, and OSR-1, Open Space Rural Residence Zone.

Staff Recommendation

City staff recommends approval of the final development plan subject to the following comments:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
2. Coordinate with Zoning Inspector for review of development signage and compliance with Sign Code.
3. Multiuse trail to be built to AASHTO standard.
4. Label slab lots on plan.
5. Proposed cul-de-sac (turnaround) located at west end of Bailey Lane to be constructed in Phase 1. Also, the removal of the sanitary lift station and water main extension into Heatherwoode Golf Course to be constructed in Phase 1.
6. Proposed walking path through open space to be accessible to the public.
7. Roadway improvements along West Lower Springboro Road to include dedication of 40-foot half right-of-way, widen the road to 18 feet from center line of road to south, add ODOT Type 2 curb & gutter, storm sewer, sidewalk/buffered bike lane.
8. No development is to occur in the floodway and or floodplain, without prior permit approval by the City Engineer.
9. Roadway and utility improvements shall be per city specifications.
10. Details regarding the improvements along Red-Lion Five Points Road to meet requirements of Warren County/Clearcreek Township and meet the requirements of the previous annexation of the property, specifically: When the subject property is proposed to be developed, the owner will, as part of its Record Plat establish a fifty foot (50') wide buffer strip along the west side of Red Lion-Five Points Road, to be owned and maintained by the homeowners' association for the subdivision. With the filing of such record plat, the owner shall also guarantee the construction of an attractively-contoured seven foot (7') high, minimum, landscaped mound within the buffer strip, with side slopes not to exceed a grade of 3:1. The minimum height of the mound shall be measured from the existing grade of the adjoining pavement on Red Lion-Five Points Road. The buffer strip may be reduced in width to no less than 40' where the side of the mound away from Red Lion-Five Points Road is terminated into a decorative stone retaining wall. The retaining wall need not follow the lot line if it is entirely within the buffer

strip. In such event, the adjacent building lot may extend to that retaining wall. Included in the landscaping of the buffer strip shall be trees of appropriate species. Evergreen trees shall be at least 5 feet tall and deciduous trees shall be at least 1-1/2-inch caliper at the time of planting. Provide cross section of buffer and paved trail, along Red Lion Five Points Road, to confirm that 50 feet green space buffer is wide enough to meet requirements stated above. If not, revise accordingly.

11. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
12. Only 19 lots are permitted to be platted prior to second entrance.
13. Post lights shall be located on each lot, controlled by a photoelectric cell, and shall always be operable.
14. HOA documents to be reviewed and approved by City prior to recording.

B. Final Approval

Site Plan Review, 785 West Central Avenue (SR 73), proposed Seven Brew Coffee

Background Information

This agenda item is a proposal submitted by Woolpert's Cincinnati office for site plan review approval to construct a Seven Brew drive-through coffee shop at 785 West Central Avenue (SR 73). The property is the site of the now-closed Long John Silver's restaurant. The property is zoned HBD, Highway Business District, a zoning category that permits the use. This item was reviewed on a preliminary basis at the April 10 Planning Commission meeting.

While the property had direct frontage on West Central Avenue, access will be from the common drive to the Midway Plaza shopping center immediately to the west.

Existing zoning for the vicinity of the subject property is exclusively HBD, including to the north on the north side of the West Central Avenue the Sheetz gas station/convenience store/drive-through restaurant (800 West Central Avenue), and to its east a multi-tenant office building, and on the south side of West Central Avenue, McDonald's (775 West Central Avenue), and to the south and west the Midway Plaza shopping center (815-875 West Central Avenue) and its outparcels.

Staff Recommendation

City staff recommends approval of the site plan subject to the following comments:

1. Provide indication of building population at maximum shift for determination of off-street parking requirement.
2. Indicate plans for the screening of the proposed dumpster. All mechanical and other equipment to be screened.
3. Signage subject to review by Zoning Inspector outside of the site plan review process including ground, wall, and directional signage.
4. Obsolete signs currently on the property to be removed.
5. For exterior lighting plan, address the following:
 - a. Revise photometric analysis to reduce lighting levels more than those permitted for parking/circulation and under canopy areas.
 - b. Revise average to minimum (4:1 or less), and maximum to minimum (10:1 or less) ratios to meet code.

- c. Verify that color-temperature of proposed lighting does not exceed 3500 Kelvin.
- d. Proposed Cooper under canopy lighting not darksky.com compliant. Select compliant fixture or demonstrate appropriateness of lighting.
- 6. Create record plan dedicating the existing right-of-way along West Central Avenue.
- 7. Parking to be minimum 9 feet from property line (northwest corner of site does not meet).
- 8. Provide dumpster enclosure details.
- 9. C-002 – Revise Utility Notes #8. Minimum sewer slope to be 2%. Remove text “unless otherwise noted”. Revise sheet C-401 to reflect minimum slopes are met.
- 10. C-401 – Keep sanitary sewer lateral beneath storm sewer crossing. Revise slopes accordingly.
- 11. C-401 – Verify that storm sewer outlet pipe meets the 18 inches minimum crossing clearance.
- 12. The existing sanitary lateral must be 6 inches min. diameter pipe (SDR 35 or SCH 40 material) at 2% min slope. Otherwise, provide new 6 inches sanitary sewer lateral.
- 13. C-401 – Add note stating that water meter pit to meet city specifications. Show meter pit location on plan and provide standard drawing.
- 14. Landscaping within existing right-of-way is not permitted. Provide buffer landscaping of drive through by other means. Otherwise, if permitted, landscaping is not permitted on existing utilities. Show revised plan with utilities located.

C. Final Approval

Preliminary Subdivision Plan, Northeast Corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, residential subdivision

Background Information

This agenda item is a request for preliminary subdivision review of the proposed Eastbrook Farms subdivision located northeast of the intersection of West Central Avenue (SR 73) and Clearcreek-Franklin Road. The application was submitted on behalf of Eastbrook Farms, Inc., Lebanon, property owner. The proposal includes the development of 45 residential lots on 13.18 acres of land on the northern portion of the 83.12-acre Eastbrook Farm; the 83.12-acre property extends south to West Central Avenue (SR 73); there are no current plans to develop the remaining 66.94 acres on the parent lot. The proposed subdivision abuts the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions to the north. This item was reviewed on a preliminary basis at the May 8 Planning Commission meeting.

The subject property is zoned R-2, Low-Density Residential District. The R-2 District allows residential development at a density of four dwelling units per acre on lots no smaller than 9,000 square feet; the proposed subdivision is consistent with the R-2 District development standards. The applicants propose 45 residential lots along a street parallel to Whispering Pines. Access to the subdivision would be from Clearcreek-Franklin Road to the west and Evergreen Drive to the north. The subdivision proposes two stub streets to the south; one at an extension of Evergreen Drive, and another at the midpoint of the subdivision. Open space is provided with one lot in the interior of the subdivision, and on the east portion of the subject property along Twin Creek. Proposed lots range in size from 9,375 square feet (34 lots) to 14,337 square feet.

Adjacent land uses are single-family residential to the north within the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions, single-family residential to the east within the Wood Ridge subdivision, vacant land comprises the remaining 69.94 acres within the Eastbrook Farm property, and single-family residential to the west on the west side of Clearcreek-

Franklin Road both in Franklin Township and Springboro. To the northwest is the Sanctuary assisted living facility.

Adjacent zoning includes R-2 District to the north within the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions, PUD, Planned Unit Development, to east within the Wood Ridge subdivision, O, Office District, to the south for the remainder of the Eastbrook Farm property, and to the west PUD-R for the Sanctuary assisted living facility, R-2 for a lot to the south (8617 Clearcreek-Franklin) within the City, and Franklin Township R2, Rural Residence District (6593 Clearcreek-Franklin).

All property owners within 300 feet of the 83.12-acre property were notified by courtesy letter of the May 8 review, with information on how to access the subdivision application, and details about the meeting.

Staff Recommendation

City staff recommends approval of the preliminary subdivision subject to the following comments:

1. Change subdivision name to Eastbrook Farms, Section One.
2. Proposed development signage, if desired, subject to review by Zoning Inspector.
3. Verify house plans provided for May 8 meeting are to be used for final approval.
4. Architectural plans to be consistent with Section 1264.06 of Planning and Zoning Code.
5. Ensure that future roadway extension is not impeded by detention basin. Otherwise, relocate basin.
6. Only 19 lots are permitted to be platted prior to second entrance being constructed and platted.
7. Provide easement language, and exhibits, for east end of property including larger Eastbrook Farms property.
8. Provide central mailbox unit, which shall also be reviewed by postmaster.
9. HOA documents to be reviewed by City prior to recording and must be recorded prior to record plan approval by city council.

D. Preliminary Review

Rezoning, 500 East Street, from R-2, Low-Density Residential District, to CBD, Central Business District

Background Information

This agenda item is based on a request filed by Massey, LLC, property owner, seeking approval to rezone approximately 1.3 acres of land located at 500 East Street. The property, which includes two separate parcels under common ownership, is currently zoned R-2, Low-Density Residential District; the applicant is requesting rezoning to CBD, Central Business District.

The property was until recently used as a single-family residence, however the applicant earlier this spring was in the process of converting part of the structure into a bed-and-breakfast. Both single-family residences and bed-and-breakfast are permitted uses in the R-2 District. While the application states that the request is to accommodate an outdoor event space, the rezoning of property permits all permitted uses within the district. A chart of permitted uses in both the R-2 and CBD is included in the meeting materials.

The property includes two structures that appear on the Ohio Historic Inventory (OVI) prepared for the City in 1997. The OVI was used as a basis to determine the boundaries of the Springboro Historic District and protected or contributing properties within it. The first structure is a circa 1850-1860 shed on the north side of the property that is presently used for storage. The second is a circa 1860 barn that was converted into a residence in the 1980s. The shed is a contributing structure of the Springboro Historic District, however the residence is not. The Historic District's east boundary ends on the east property line of the subject properties.

The *Springboro Master Plan*, adopted by City Council in February 2022, includes recommendations for the long-range development of the community. It is divided into 16 policy areas that make specific recommendations for smaller portions of the community and are grouped together because of proximity, land use patterns, date of development and other general characteristics. Policy Area 13, Historic Code, includes the subject area. The policy area recommends a mix of uses to ensure a lively interactive district including residential, service, and retail. An excerpt of the plan addressing Policy Area 13 is included in the meeting materials.

Adjacent land uses include single-family residential uses to the southwest, west, and north. To the east is an industrial area that includes Mound Steel and High Concrete. To the south is a commercial use (110 East Mill Street) and apartment building (100 East Mill Street). Adjacent zoning includes R-2 District to the west and north, M-2, Heavy Industrial District, to the west, and CBD to the south and southwest along East Mill Street.

Following the preliminary review scheduled for the June 12 meeting, Planning Commission may authorize this item to be placed on a future Planning Commission regular meeting agenda for formal approval in the form of a recommendation to City Council.

Courtesy notification letters were sent out to all property owners within 300 feet of the subject property. A copy of the letter is included in the meeting materials. Should this proposal move forward, the same property owners will be notified of a Public Hearing of City Council on the rezoning of the property.

Staff Comments

City staff has the following comments regarding this agenda item.

1. Provide legal description of parcels. Contact City Engineer at 937-748-6184 for additional information.
2. No additional development is to occur in the floodway and/or floodplain without prior approval by the City Engineer.
3. Future development of site including structures and pavement subject to review by City staff under site plan review process prior to building code review.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, June 4, 2024 at 5:00 p.m.

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN

FINAL DEVELOPMENT PLAN

RECORD PLAN

VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner **APPLICANT NAME:** M/I Homes of Cincinnati, LLC
 Agent
 Lessee **Address:** 9349 Waterstone Blvd. Suite 100
 Signed Purchase **Address:** Cincinnati, OH 45249
Contract

Telephone No. (513) 267-4719

Fax No. () N/A

Email Address bwilkins@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Jeffery Bailey, Trustee

Address: 6821 Red-Lion Five Points Rd.

Springboro, OH 45066

Telephone No. (937) 689-2665

Property Address or General Location: 6821 Red-Lion Five Points Rd. Springboro, OH 45066

Parcel Number(s): 08122260030 & 08122010020 Acreage: 80.1

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: N/A

For Residential Proposed Density 1.623 Number of Residential Units 130

Proposed Use: 130 new for sale homes

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

4/11/24

(Date)

Brent Wilkens
Printed Name



Cincinnati Division
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
513.248.5400 **OFFICE**

April 10, 2024

Daniel J. Boron, AICP
Planner, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066

Subject: Bailey Farm – Final Development Plan
Enclosed: Proposed House Elevations and Floorplans (26 Pages)

Dear Mr. Boron,

M/I Homes is pleased to provide an Application for a Final Development Plan for Bailey Farm located at 6821 Red Lion Five Points Rd. Springboro, OH 45066. The plan is consistent with the approved General Plan and includes:

1. One hundred thirty (130) single-family detached homes as shown in the enclosed renderings. Home plans will comply with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code.
2. Typical lot sizes are 52' x 130' (6,760 sf) and 62' x 130' (8,060 sf). 42 of the 52' lots will be slab lots, 24 of the 52' lots will be basement lots and there will be 64 62' basement lots. Lots are fee simple. Front setbacks are 30', rear setbacks are 20' and the side setback is 5' on each side measured from roof overhang.
3. All streets are public in a 50' right-of way including 29' back-to-back of curb and 5' sidewalk on both sides of the internal streets.
4. The project will be built in 3 phases with phase 1 including the entrance onto Red Lion Five Points Rd. and a total of 19 lots. Phase 1 is expected to be completed in 2024 and phase 2 in 2025. Site clearing and demo of existing structures may occur with phase 1 or be separated into phases accordingly.
5. HOA owned and maintained open space totals 45.16 acres which is 56.4% of the gross acreage. Typical HOA Conditions, Covenants, and Restrictions have been provided and shall govern the maintenance and operation of all open space, retention basins, structures in open space, signage, and central mailboxes.

6. Given the size of the property at 80.1 acres and required planting of 1 tree per 3,000 sf, a total of 1,163 trees are required. A tree survey was completed for the property identifying
7. 763 existing trees (to remain) of varying diameters which provide a total credit of 1,369 trees. We are proposing to plant 317 trees within open space and front yards.
8. The public 10' hike/bike path shall be constructed outside of the right-of-way along the property frontage on Red Lion Five Points Rd. and Lower Springboro Rd.
9. The existing northern pond and proposed retention basin will have fountains installed in them.
10. The residences abutting the lots on the northeastern portion of the property will be buffered with trees.
11. A rendering of the proposed style of the playground is enclosed. Central mailboxes have been proposed to serve all residents. There is a CBU proposed to serve the residents of phase 1. If necessary, at the completion of phase 2, this can be relocated to the west where the balance of the CBU's are proposed.

We appreciate your review and comment on the proposed Final Development Plan. Should you have any questions, please contact me.

Respectfully,



Brent Wilkens

M/I Homes of Cincinnati, LLC
(513) 267-4719
bwilkens@mihomes.com



Cincinnati Division
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
513.248.5400 **OFFICE**

Conceptual Playground

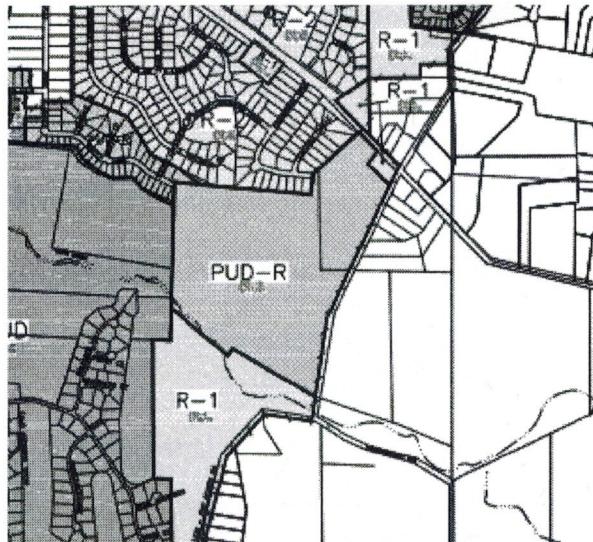


AUSTIN | CHARLOTTE | CHICAGO | CINCINNATI | COLUMBUS | DALLAS/FORT WORTH | HOUSTON | INDIANAPOLIS
MARYLAND | MINNEAPOLIS/ST. PAUL | ORLANDO | RALEIGH | SAN ANTONIO | SARASOTA | TAMPA | VIRGINIA

mihomes.com

Authorization to Discuss Bailey Property

Please allow this letter to authorize M/I Homes and its agents to discuss the Property identified below (PUD-R) with the City of Springboro, Warren County, and any other governmental jurisdictions as needed.



By: Jeff Bailey

4-9-22

Date

May 20, 2024

Daniel J. Boron, AICP
Planner, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066

Subject: Bailey Farm Staff Comments Response

Dear Mr. Boron,

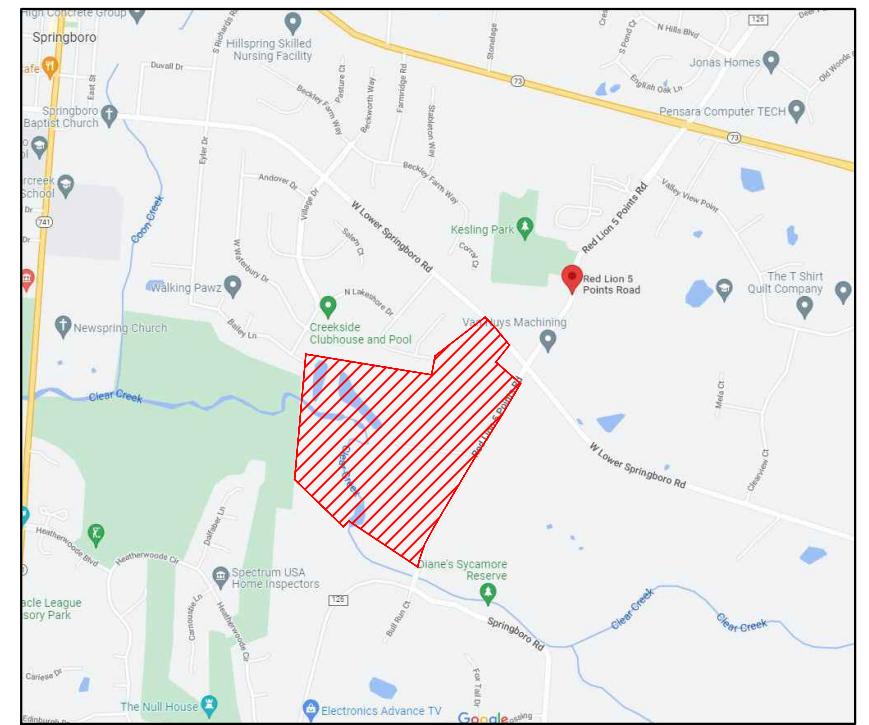
We received your staff report for the Bailey Farm Final Development Plan and provide the following responses:

City staff has the following comments on this agenda item:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access. **Noted**
2. Revise information on sheet 3 of 11 to reflect on-site open space. **Revised**
3. The following comments apply to the proposed landscaping plan:
 - a. Provide metes-and-bounds to sheet 10 of 11. **Provided**
 - b. For internal street network, 209 trees required (149 shade/evergreen, 60 ornamentals), 154 provided. Distinguish between shade and ornamentals provided. **Revised**
 - c. Landscaping proposed for street frontages and buffers to adjacent uses meets codes. Site landscaping requirement met with preservation of existing trees on the site. **Noted**
4. Coordinate with Zoning Inspector for review of development signage and compliance with Sign Code. **Noted**
5. Multiuse trail to be built to AASHTO standard. **Noted**
6. Remove proposed pond from lot split open space area. **Removed**
7. Label slab lots on plan. **Revised**
8. Proposed cul-de-sac (turnaround) located at west end of Bailey Lane to be constructed in Phase 1. Also, the removal of the sanitary lift station and water main extension into Heatherwoode Golf Course to be constructed in Phase 1. **Noted**

9. Proposed walking path through open space to be accessible to the public. **Noted**
10. Roadway improvements along West Lower Springboro Road to include dedication of 40-foot half right-of-way, widen the road to 18 feet from center line of road to south, add ODOT Type 2 curb & gutter, storm sewer, sidewalk/buffered bike lane. **Noted & shown**
11. No development is to occur in the floodway and or floodplain, without prior permit approval by the City Engineer. **Noted**
12. Roadway and utility improvements shall be per city specifications. **Noted**
13. Details regarding the improvements along Red-Lion Five Points Road to meet requirements of Warren County/Clearcreek Township and meet the requirements of the previous annexation of the property, specifically: When the subject property is proposed to be developed, the owner will, as part of its Record Plat establish a fifty foot (50') wide buffer strip along the west side of Red Lion-Five Points Road, to be owned and maintained by the homeowners' association for the subdivision. With the filing of such record plat, the owner shall also guarantee the construction of an attractively-contoured seven foot (7') high, minimum, landscaped mound within the buffer strip, with side slopes not to exceed a grade of 3:1. The minimum height of the mound shall be measured from the existing grade of the adjoining pavement on Red Lion-Five Points Road. The buffer strip may be reduced in width to no less than 40' where the side of the mound away from Red Lion-Five Points Road is terminated into a decorative stone retaining wall. The retaining wall need not follow the lot line if it is entirely within the buffer strip. In such event, the adjacent building lot may extend to that retaining wall. Included in the landscaping of the buffer strip shall be trees of appropriate species. Evergreen trees shall be at least 5 feet tall and deciduous trees shall be at least 1-1/2-inch caliper at the time of planting. Provide cross section of buffer and paved trail, along Red Lion Five Points Road, to confirm that 50 feet green space buffer is wide enough to meet requirements stated above. If not, revise accordingly. **Noted & shown**
14. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted. **Noted**
15. Only 19 lots are permitted to be platted prior to second entrance. **Noted**
16. Post lights shall be located on each lot, controlled by a photoelectric cell, and shall be operable at all times. **Noted**
17. HOA documents to be reviewed and approved by City prior to recording. **Noted**

BAILEY FARM CITY OF SPRINGBORO GENERAL PLAN



VICINITY MAP
1" = 1,000'

PROPERTY OWNERS:

① Headwaters Capital LTD
1266 E Pekin Road
Lebanon, Ohio 45036
1.2912 Acres
0812276005

② Ryls Ry S & Misty G
6498 Red Run Court
Lebanon, Ohio 45036
1.5696 Acres
0812275001

③ Davis Thomas W, Jr. & Tricia M.
6503 Fox Tail Drive
Lebanon, Ohio 45036
2.923 Acres
0812430002

④ Macduff Terrence, William & Shelly Lynn
6502 Fox Tail Drive
Lebanon, Ohio 45036
2.6972 Acres
0812430001

⑤ Clearcreek Township
5950 Clear Creek Hill Road
Springboro, Ohio 45066
6.796 Acres
0812276005

⑥ Sproat Thomas M.
PO Box 185
Springboro, Ohio 45066
33.0893 Acres
0812276004

⑦ Sproat Samuel M. & Joann
6800 Red Lion-Five Points Road
Lebanon, Ohio 45036
8.0311 Acres
0812276003

⑧ Deneppen Renée Davis
6832 Red Lion-Five Points Road
Lebanon, Ohio 45036
1.966 Acres
0812228014

⑨ Garland Brian P. & Paula
991 W Lower Springboro Road
Springboro, Ohio 45066
3.009 Acres
0812228017

⑩ Norris Jennifer L.
PO Box 94
Springboro, Ohio 45066
0.63 Acres
0812228006

⑪ Tucker Joel Andrew
6922 Red Lion-Five Points Road
Lebanon, Ohio 45036
0.752 Acres
0812228005

⑫ Smith Harold Ray & Carol
5901 Hill Road
Lebanon, Ohio 45036
0.865 Acres
0812228004

⑬ Stiles Austin J. & Conley Makayla N
6950 Red Lion-Five Points Road
Lebanon, Ohio 45036
0.594 Acres
0812228003

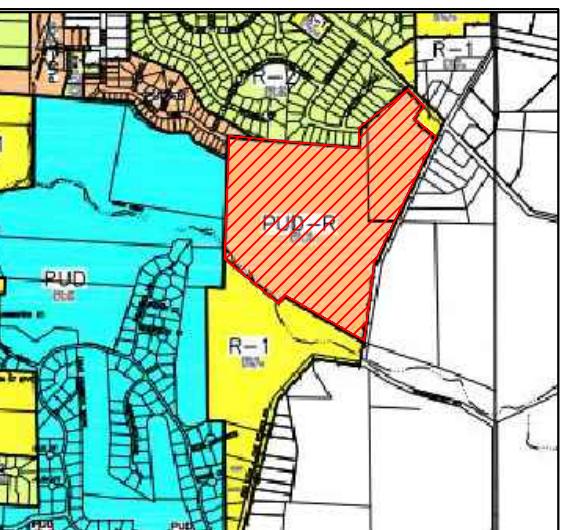
⑭ Smith Peggy Ann
1055 Lower Springboro Road
Springboro, Ohio 45066
N/A
0812228002

⑮ Graham Robert C. & Debbi
6990 Red Lion-Five Points Road
Lebanon, Ohio 45036
0.63 Acres
0812228001

⑯ McAlmond Faye
1064 Lower Springboro Road
Springboro, Ohio 45066
0.954 Acres
0812227005

⑰ Patrick Lucinda J.
236 Lake Street
Delaware, Ohio 43015
0.819 Acres
0407478006

⑱ Thomas Earl E. & Angela
40 Concord Circle
Springboro, Ohio 45066
0.328 Acres
0407477009



ZONING MAP
1" = 1,000'



ZONING LEGEND

■	(R-1) ESTATE-TYPE RESIDENTIAL DISTRICT
■	(R-2) LOW DENSITY RESIDENTIAL DISTRICT (SINGLE FAMILY)
■	(R-3) MEDIUM DENSITY RESIDENTIAL DISTRICT (SINGLE & MULTI-FAMILY)
■	(HBD) HIGHWAY BUSINESS DISTRICT
■	(LBD) LOCAL BUSINESS DISTRICT
■	(CBD) CENTRAL BUSINESS DISTRICT
■	(UVD) URBAN VILLAGE DISTRICT
■	(N-1) LIGHT MANUFACTURING DISTRICT
■	(N-2) HEAVY MANUFACTURING DISTRICT
■	(ED) EMPLOYMENT CENTER DISTRICT
■	(PUD) PLANNED UNIT DEVELOPMENT DISTRICT
■	(PUD-M) PLANNED UNIT DEVELOPMENT-MIXED USE
■	(PUD-O) PLANNED UNIT DEVELOPMENT-OFFICE
■	(PUD-B) PLANNED UNIT DEVELOPMENT-BUSINESS
■	(PUD-R) PLANNED UNIT DEVELOPMENT-RESIDENTIAL
■	(O-R) OFFICE-RESIDENTIAL DISTRICT
■	(O) OFFICE PARK DISTRICT
■	(ADD-1) AUSTIN DEVELOPMENT DISTRICT 1
■	(ADD-2) AUSTIN DEVELOPMENT DISTRICT 2

SCALE IN FEET
0 100 200 400

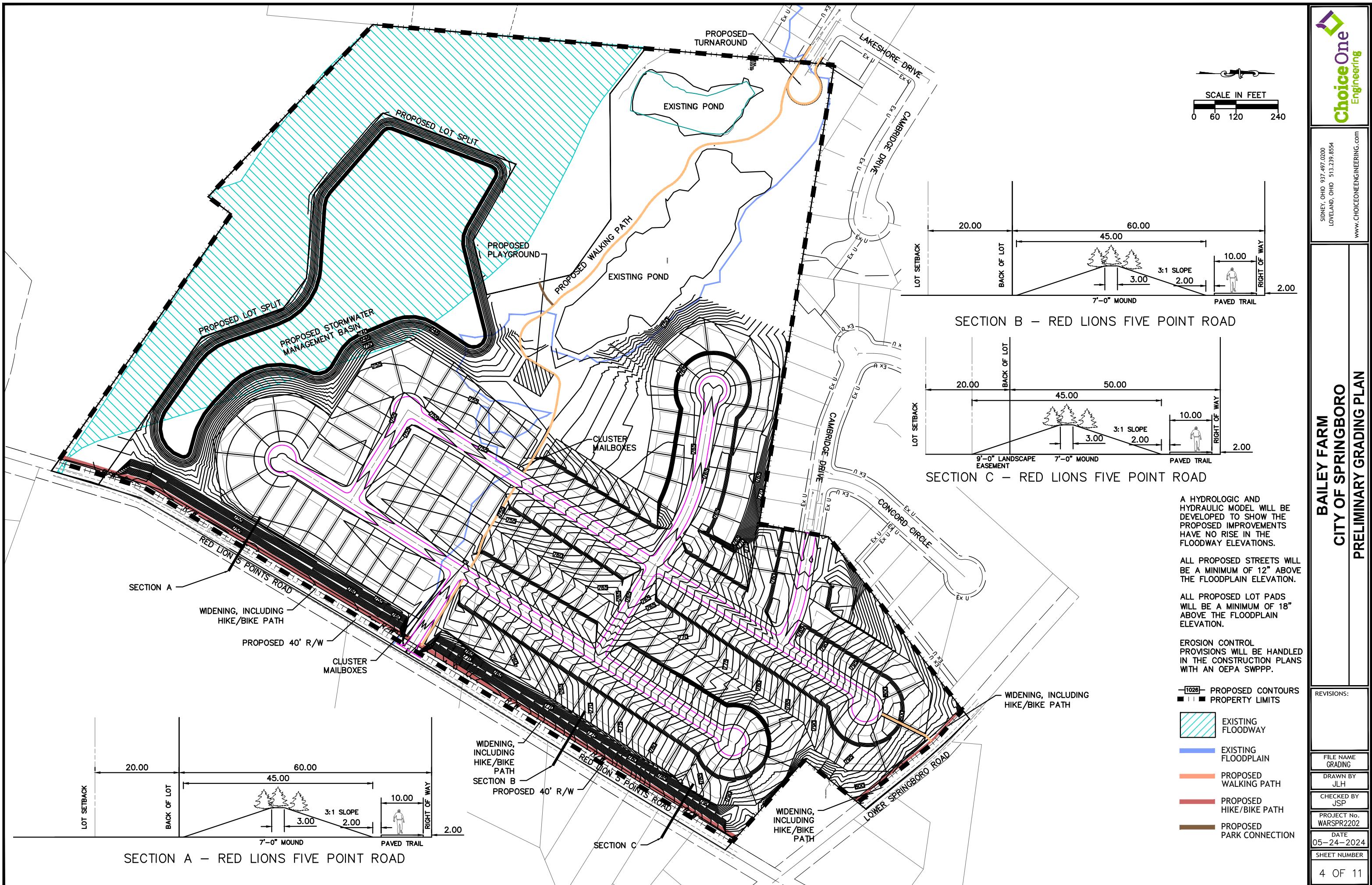
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 FILE NAME
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 DRAWN BY
 JLH
 CHECKED BY
 JSP
 PROJECT No.
 WARSPr2202
 DATE
 05-24-2024
 SHEET NUMBER
 1 OF 11





BAILEY FARM CITY OF SPRINGBORO

PRELIMINARY GRADING PLAN



**BAILEY FARM
CITY OF SPRINGBORO
PRELIMINARY UTILITY PLAN**
LEGEND

- Prop. Water Main
- Prop. Storm Manhole
- Prop. Catch Basin
- Prop. Storm Main
- Prop. Sanitary Manhole
- Prop. Sanitary Main
- Ex. Sanitary Main
- Ex. Water Main
- Setback Line

— Property Limits

— Existing Floodway

— Existing Floodplain

— Proposed Walking Path

— Proposed Hike/Bike Path

— Proposed Park Connection

REVISIONS:

FILE NAME
UTILITY

DRAWN BY
JLH

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JSP

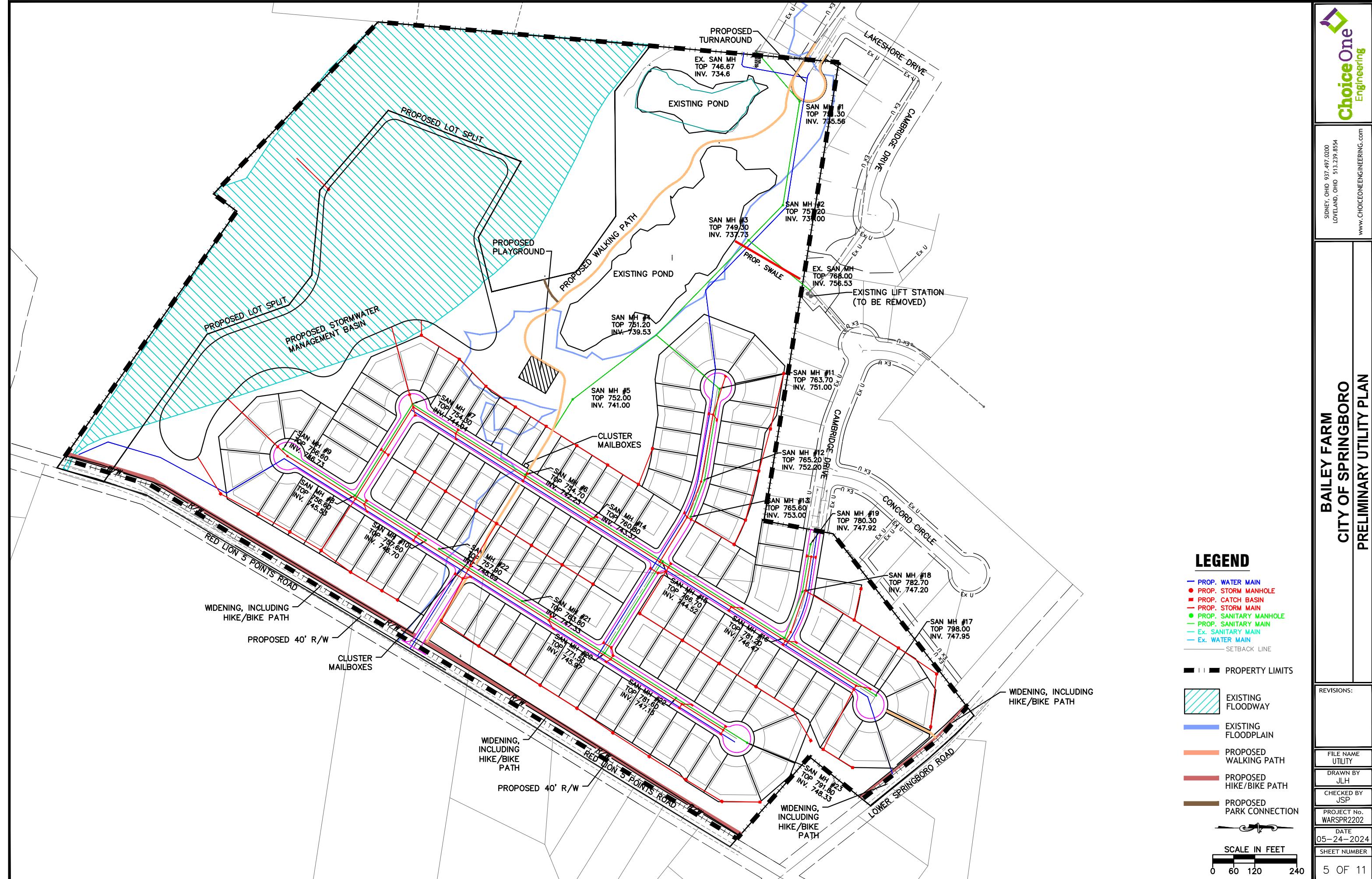
PROJECT No.
WARSPr2202

DATE
05-24-2024

SCALE IN FEET

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5 OF 11



BAILEY FARM
 CITY OF SPRINGBORO
 LOT DIMENSIONING PLAN

- ■ ■ PROPERTY LIMITS
- ■ ■ STORMWATER MANAGEMENT BASIN
- ■ ■ OPEN SPACE MAINTAINED BY HOA
- ■ ■ EXISTING FLOODWAY
- ■ ■ EXISTING FLOODPLAIN
- ■ ■ PROPOSED WALKING PATH
- ■ ■ PROPOSED HIKE/BIKE PATH
- ■ ■ PROPOSED PARK CONNECTION

REVISIONS:			
FILE NAME	SOUTH		
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DATE	05-24-2024		
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BAILEY FARM CITY OF SPRINGBORO LOT DIMENSION PLAN

REVISIONS:

FILE NAME

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PROJECT No.

DATE

SHEET NUMBER

7 OF 11

The figure is a detailed site plan for a residential development, likely a subdivision. The plan includes the following key features and details:

- Roads and Intersections:** S. Lakeshore Drive, Cambridge Drive, Lower Springboro Road, Concord Circle, and various unnamed roads marked with "Ex U" (Exit/Utility).
- Land Use:** A large green area represents natural open space. A blue line indicates a "LOADPLAIN". A red line labeled "RED LINE 5 POINTS ROAD" and "GREENSPACE BUFFER WITH MOUND" runs along the right side.
- Lot Numbers and Sizes:** Lots are numbered and measured in acres. Key lots include:
 - Lot #118: 0.227 ac.
 - Lot #105: 0.228 ac.
 - Lot #102: 0.185 ac.
 - Lot #103: 0.185 ac.
 - Lot #104: 0.245 ac.
 - Lot #106: 0.192 ac.
 - Lot #107: 0.185 ac.
 - Lot #108: 0.416 ac.
 - Lot #109: 0.230 ac.
 - Lot #110: 0.185 ac.
 - Lot #111: 0.260 ac.
 - Lot #112: 0.198 ac.
 - Lot #113: 0.197 ac.
 - Lot #114: 0.196 ac.
 - Lot #115: 0.185 ac.
 - Lot #116: 0.186 ac.
 - Lot #117: 0.208 ac.
 - Lot #118: 0.227 ac.
 - Lot #119: 0.278 ac.
 - Lot #120: 0.273 ac.
 - Lot #121: 0.287 ac.
 - Lot #122: 0.247 ac.
 - Lot #123: 0.197 ac.
 - Lot #124: 0.187 ac.
 - Lot #125: 0.185 ac.
 - Lot #126: 0.201 ac.
 - Lot #127: 0.213 ac.
 - Lot #128: 0.273 ac.
 - Lot #129: 0.304 ac.
 - Lot #130: 0.304 ac.
 - Lot #35: 0.155 ac.
 - Lot #36: 0.155 ac.
 - Lot #37: 0.155 ac.
 - Lot #38: 0.155 ac.
 - Lot #39: 0.155 ac.
 - Lot #40: 0.155 ac.
 - Lot #41: 0.155 ac.
 - Lot #42: 0.155 ac.
 - Lot #43: 0.155 ac.
 - Lot #44: 0.155 ac.
 - Lot #45: 0.155 ac.
 - Lot #46: 0.155 ac.
 - Lot #47: 0.155 ac.
 - Lot #48: 0.155 ac.
 - Lot #49: 0.155 ac.
 - Lot #50: 0.155 ac.
 - Lot #51: 0.155 ac.
 - Lot #52: 0.155 ac.
 - Lot #53: 0.155 ac.
 - Lot #54: 0.155 ac.
 - Lot #55: 0.155 ac.
 - Lot #56: 0.155 ac.
 - Lot #57: 0.155 ac.
 - Lot #58: 0.155 ac.
 - Lot #59: 0.155 ac.
 - Lot #60: 0.155 ac.
 - Lot #61: 0.172 ac.
 - Lot #62: 0.172 ac.
 - Lot #63: 0.172 ac.
 - Lot #64: 0.172 ac.
 - Lot #65: 0.172 ac.
 - Lot #66: 0.206 ac.
 - Lot #67: 0.206 ac.
 - Lot #68: 0.206 ac.
 - Lot #69: 0.206 ac.
 - Lot #70: 0.206 ac.
 - Lot #71: 0.206 ac.
 - Lot #72: 0.206 ac.
 - Lot #73: 0.206 ac.
 - Lot #74: 0.209 ac.
 - Lot #75: 0.202 ac.
 - Lot #76: 0.331 ac.
 - Lot #77: 0.282 ac.
 - Lot #78: 0.320 ac.
 - Lot #79: 0.212 ac.
 - Lot #80: 0.236 ac.
 - Lot #81: 0.185 ac.
 - Lot #82: 0.185 ac.
 - Lot #83: 0.185 ac.
 - Lot #84: 0.185 ac.
 - Lot #85: 0.253 ac.
 - Lot #86: 0.259 ac.
 - Lot #87: 0.185 ac.
 - Lot #88: 0.185 ac.
 - Lot #89: 0.185 ac.
 - Lot #90: 0.185 ac.
 - Lot #91: 0.185 ac.
 - Lot #92: 0.185 ac.
 - Lot #93: 0.185 ac.
 - Lot #94: 0.186 ac.
 - Lot #95: 0.225 ac.
 - Lot #96: 0.202 ac.
 - Lot #97: 0.291 ac.
 - Lot #98: 0.289 ac.
 - Lot #99: 0.295 ac.
 - Lot #100: 0.250 ac.
- Dimensions:** Lot dimensions are provided in feet and acres. For example, lot #118 is 100.26' x 44.90' and 0.227 ac.
- Other Features:** A pink circle highlights a corner lot with dimensions 14.65' x 4.00'. A north arrow is located in the bottom right corner.

PROPERTY LINE

PROPOSED

www.bu.edu

PROPOSED

PROPOSED

EXISTING

EXISTING

Page 10 of 10

STORMWATER MANAGEMENT

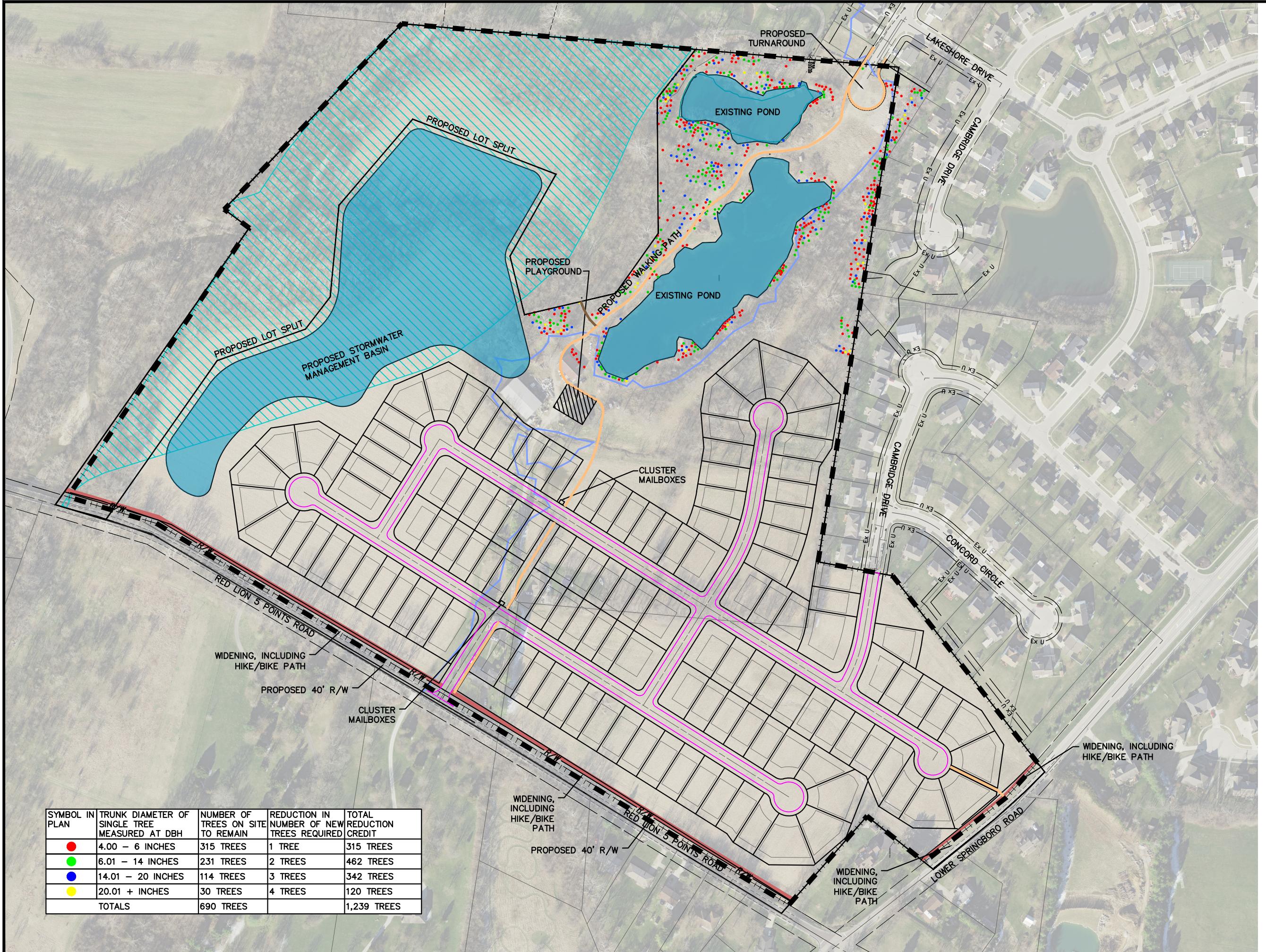
OPEN SPACE

MAINTAINED BY
HOA

SCALE IN FEET

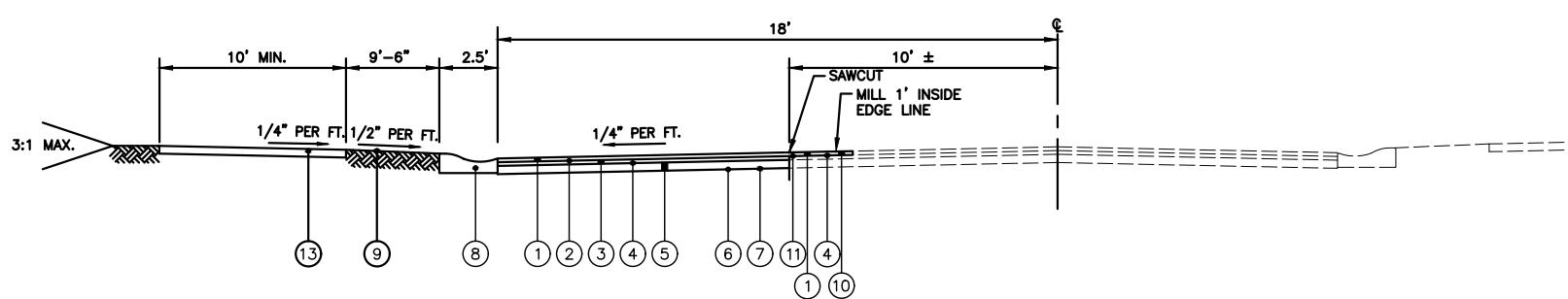
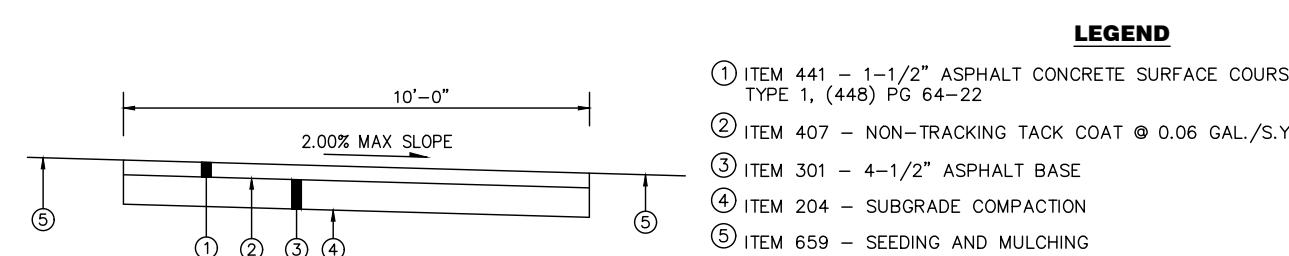
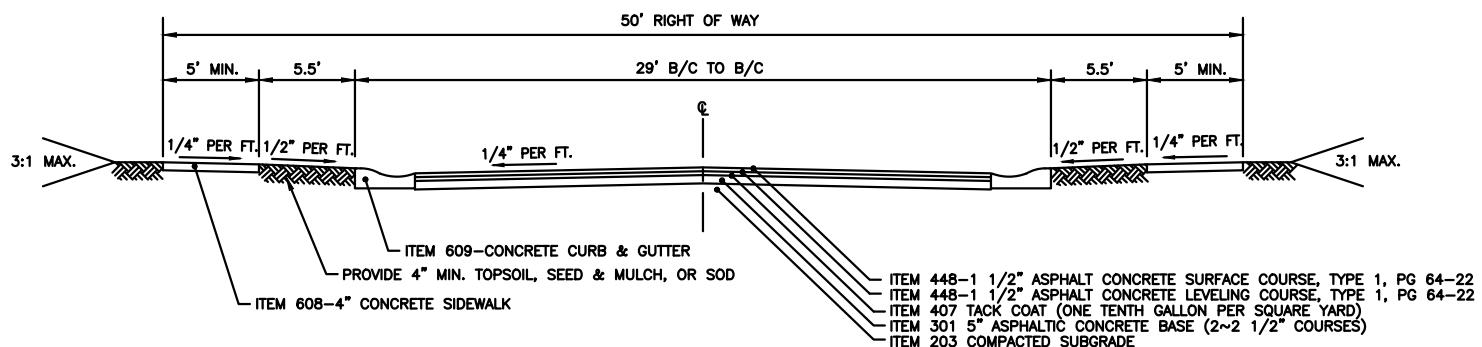


A scale bar consisting of a horizontal line with tick marks at 0, 40, 80, and 160 feet.

BAILEY FARM
 CITY OF SPRINGBORO
 EXISTING TREE LOCATION EXHIBIT


BAILEY FARM CITY OF SPRINGBORO

TYPICAL SECTION



- ① ITEM 442 - 1.5" ASPHALT CONCRETE SURFACE COURSE, 12.5 MM, TYPE A (449)
- ② ITEM 407 - TACK COAT APPLIED AT 0.04 GAL/SY
- ③ ITEM 442 - 1.5" ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ④ ITEM 407 - TACK COAT APPLIED AT 0.075 GAL/SY
- ⑤ ITEM 301 - 5" ASPHALT CONCRETE BASE
- ⑥ ITEM 204 - SUBGRADE COMPACTION
- ⑦ ITEM 204 - PROOF ROLLING
- ⑧ ITEM 609 - COMBINATION CURB AND GUTTER, TYPE 2
- ⑨ ITEM 659 - SEEDING AND MULCHING
- ⑩ ITEM 254 - PAVEMENT PLANING, ASPHALT CONCRETE (1.5")
- ⑪ ITEM 442 - VBL DEPTH ASPHALT CONCRETE INTERMEDIATE COURSE, 19 MM, TYPE A (449)
- ⑫ ITEM 608 - CONCRETE SIDEWALK
- ⑬ PROP. HIKE/BIKE PATH

REVISIONS:

FILE NAME
TYPICAL SECTION

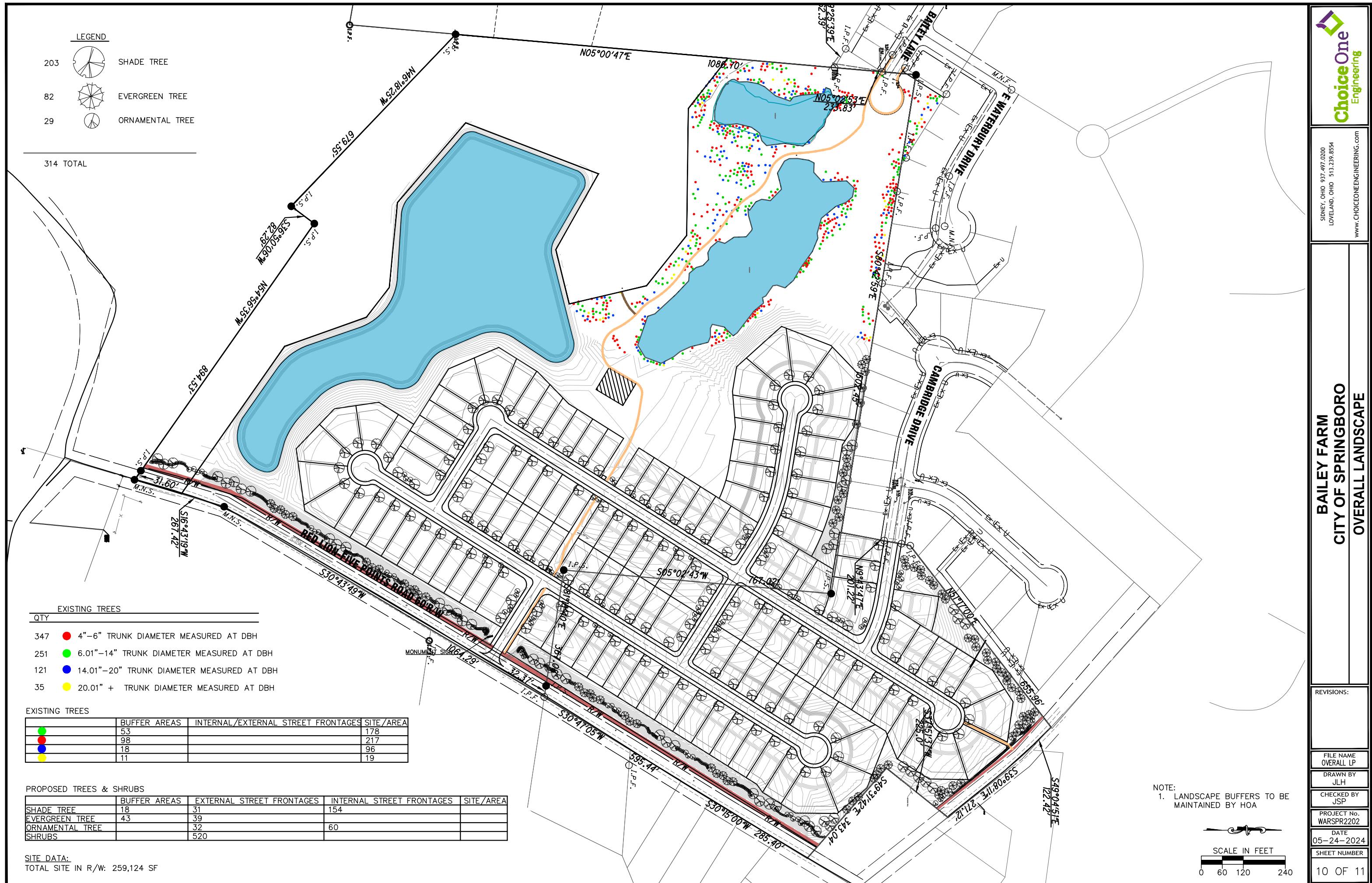
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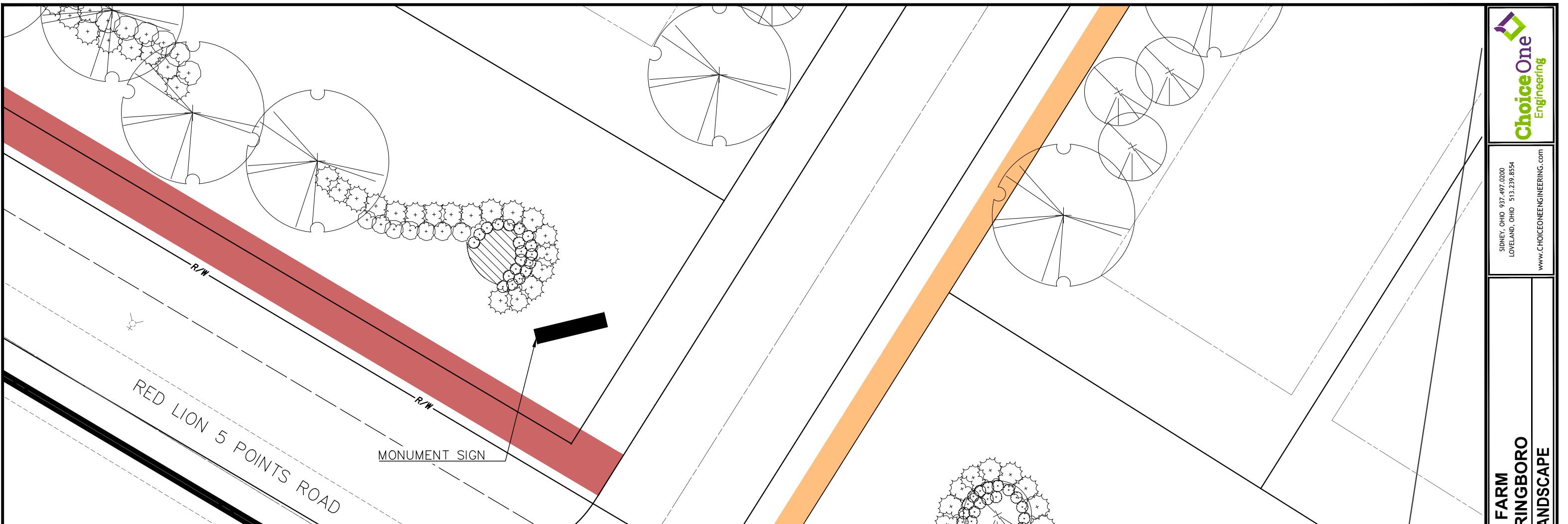
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JSP

PROJECT No.
WARSPr2202

DATE
05-24-2024

SHEET NUMBER

BAILEY FARM
 CITY OF SPRINGBORO
 OVERALL LANDSCAPE




EXAMPLE SIGN

NOTE:

1. FINAL DESIGN WILL BE WORKED OUT WITH ZONING INSPECTOR

Proposed Products – 52' Lots

- Avery – 1,476 SF
- Faulkner – 1,544 SF
- Brody – 1,626 SF
- Cameron – 1,715 SF
- Cooper – 1,776 SF
- Melville – 1,865 SF
- Ellison – 1,998 SF
- Wallace – 2,213 SF
- Dawson – 2,461 SF
- Inglewood – 2,558 SF
- Cooke – 2,624 SF
- Hampton – 2,869 SF
- Dillon – 2,913 SF
- Barrett – 3,035 SF
- Fairview – 3,322 SF

Proposed Products – 62' Lots

- Clayton – 1,927 SF
- Cheswicke – 2,188 SF
- Serenity – 2,330 SF
- Tolbert – 2,869 SF
- Ainsley II – 3,175 SF
- Nicholas – 3,390 SF
- Keating – 3,598 SF
- Monroe – 3,852 SF
- Ellsworth – 4,689 SF

- 15 Unique House Plans (8 Ranch Plans & 7 2-Story Plans)
- Elevations to be comprised of brick, stone and/or vinyl siding. All plans to meet or exceed the requirements set forth in code 1264.06 (a).
- Estimated Sales Price Range
 - \$400,000 to \$600,000
- Range of Floor Plan Sizes
 - 1,514 sf to 3,387 sf

- 10 Unique House Plans (3 Ranch Plans & 7 2-Story Plans)
- Elevations to be comprised of brick, stone and/or vinyl siding. All plans to meet or exceed the requirements set forth in code 1264.06 (a).
- Estimated Sales Price Range
 - \$500,000 to \$700,000
- Range of Floor Plan Sizes
 - 1,927 sf to 4,807 sf



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Bailey Farm

4/10/2024



AVERY



M/I HOMES

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4/10/2024

Faulkner



Elevation B - Shown w/ Opt coach lights, black windows & Brick Wainscot



Elevation A - Shown w/ Opt coach lights & Brick Wainscot



Elevation C - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,544
Bedrooms: 2-3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

Note: Other elevation models available and may be required by community. See MIHomes.com for more elevations.



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BRODY



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CAMERON



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4/10/2024

Cooper



Elevation C - Shown w/ Opt coach lights & Stone Wainscot



Elevation A - Shown w/ Opt coach lights & Brick Wainscot



Elevation B - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,776
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

Note: Other elevation materials available and may be required by community. See MiHomes.com for more elevations.



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Melville



Elevation B - Shown w/ Opt Coach Lights & Brick Wainscot



Elevation A - Shown w/ Opt Coach Lights & Brick Wainscot



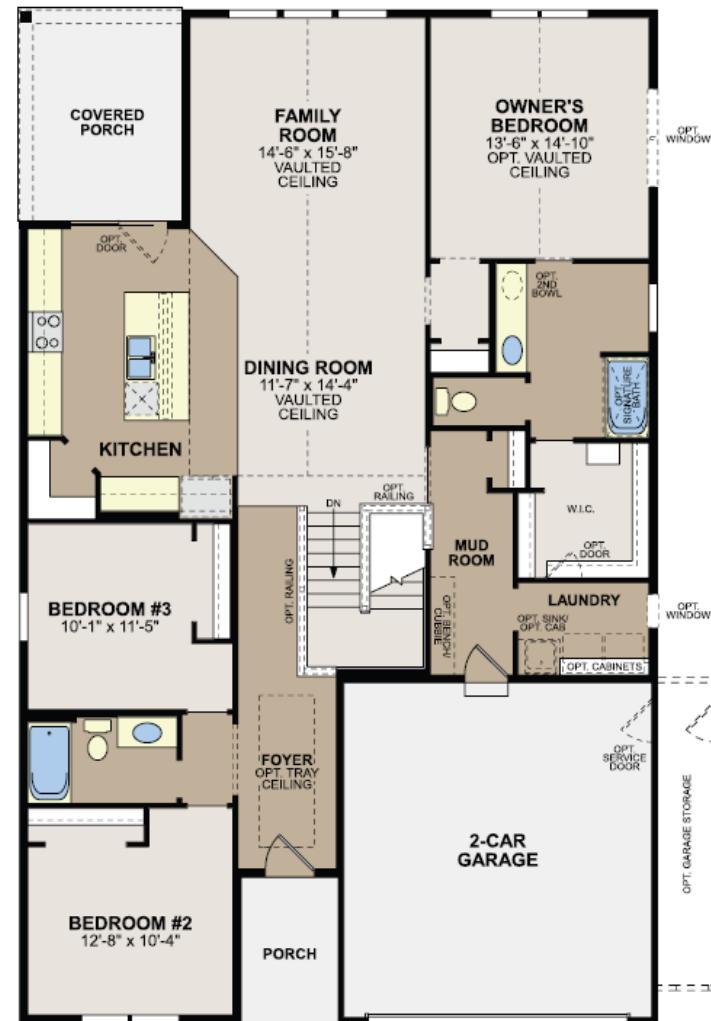
Elevation C - Shown w/ Opt Coach Lights & Brick Wainscot

Square Feet: 1,865
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

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*Note: Other elevation materials available and may be required by community. See Mihomes.com for more elevations.



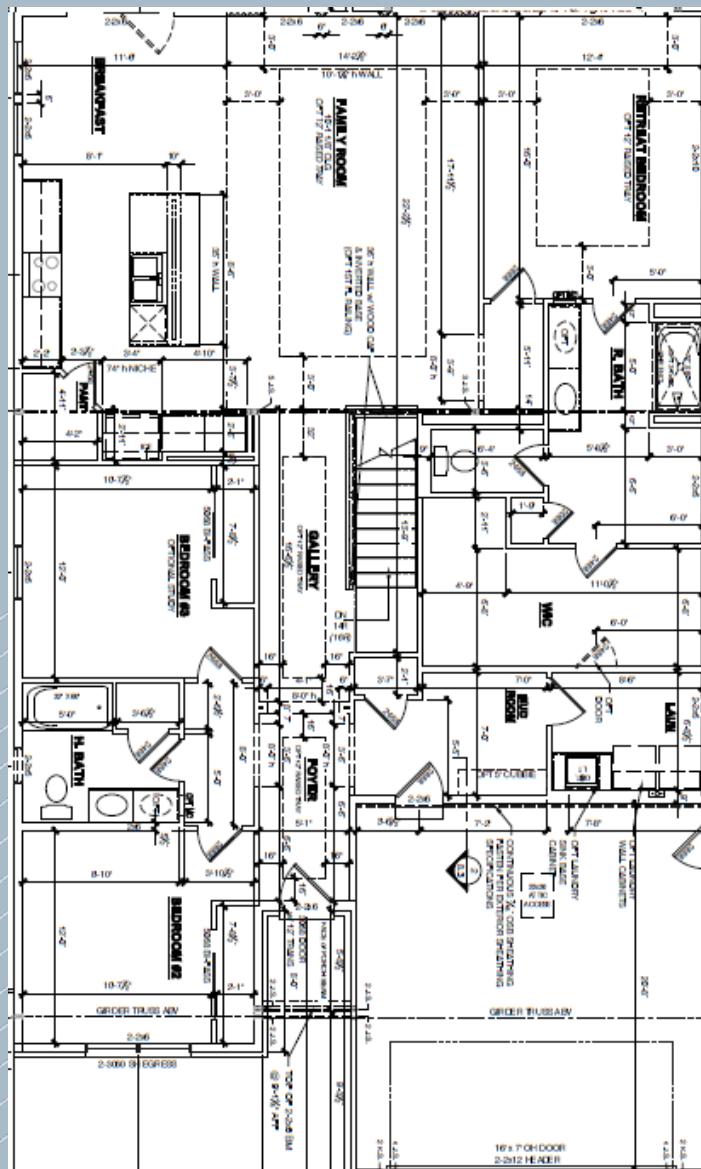
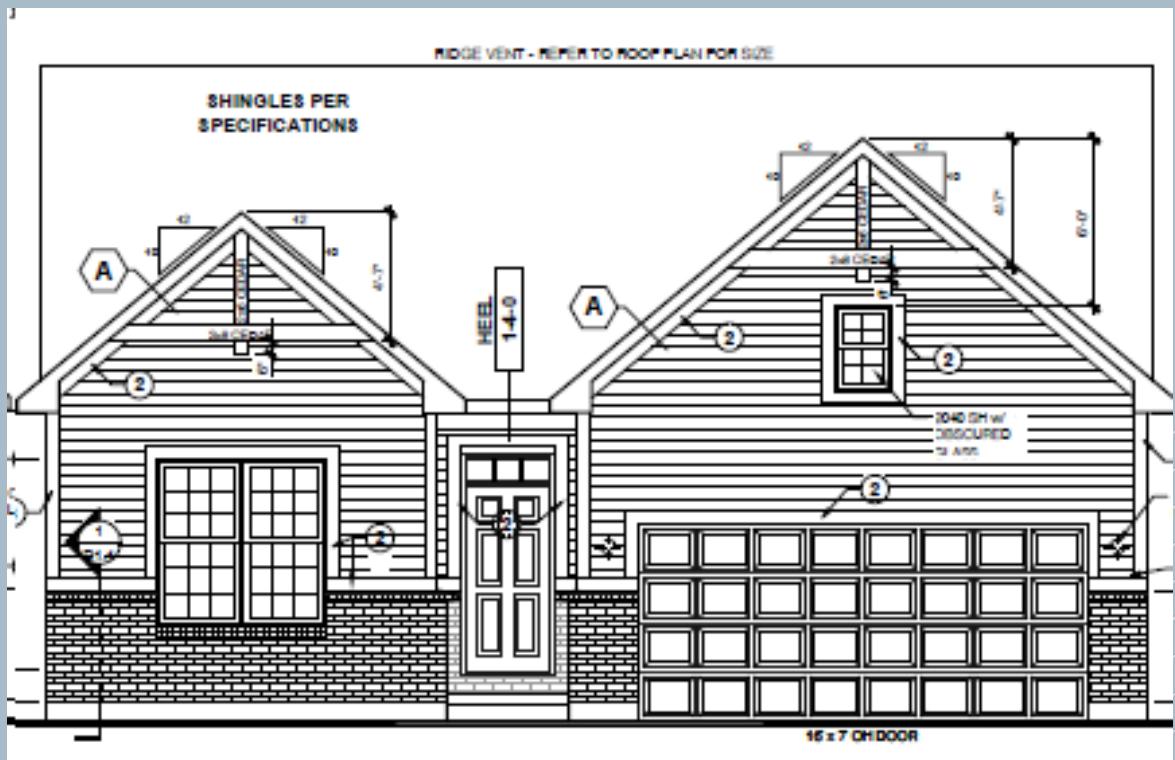
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Bailey Farm

4/10/2024



ELLISON

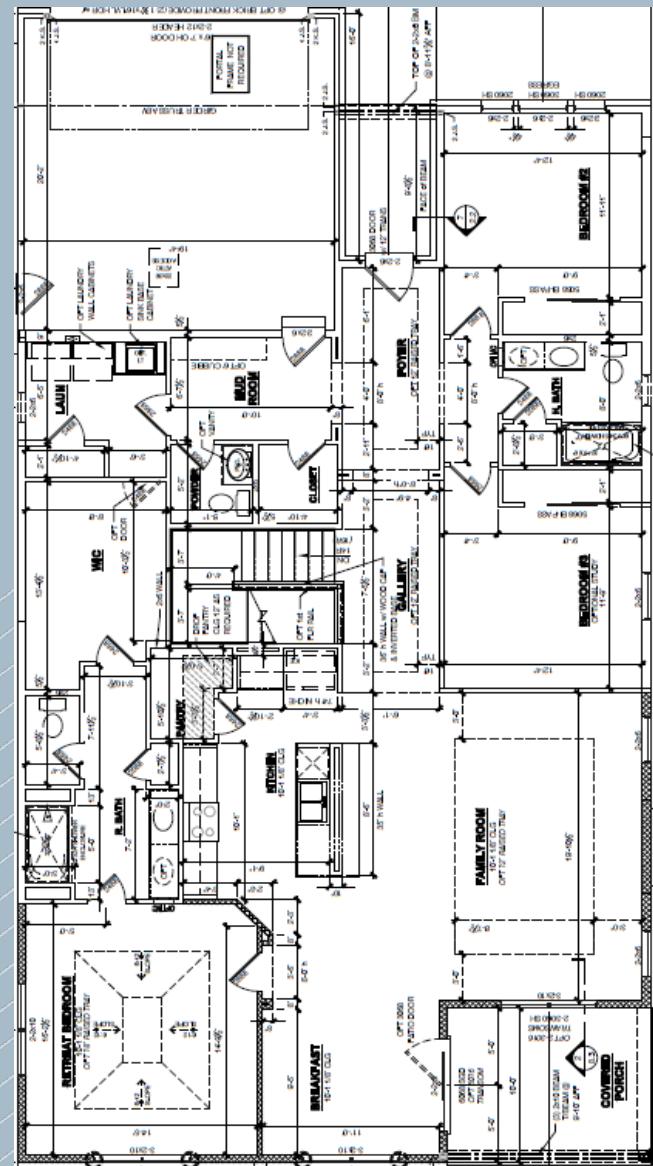
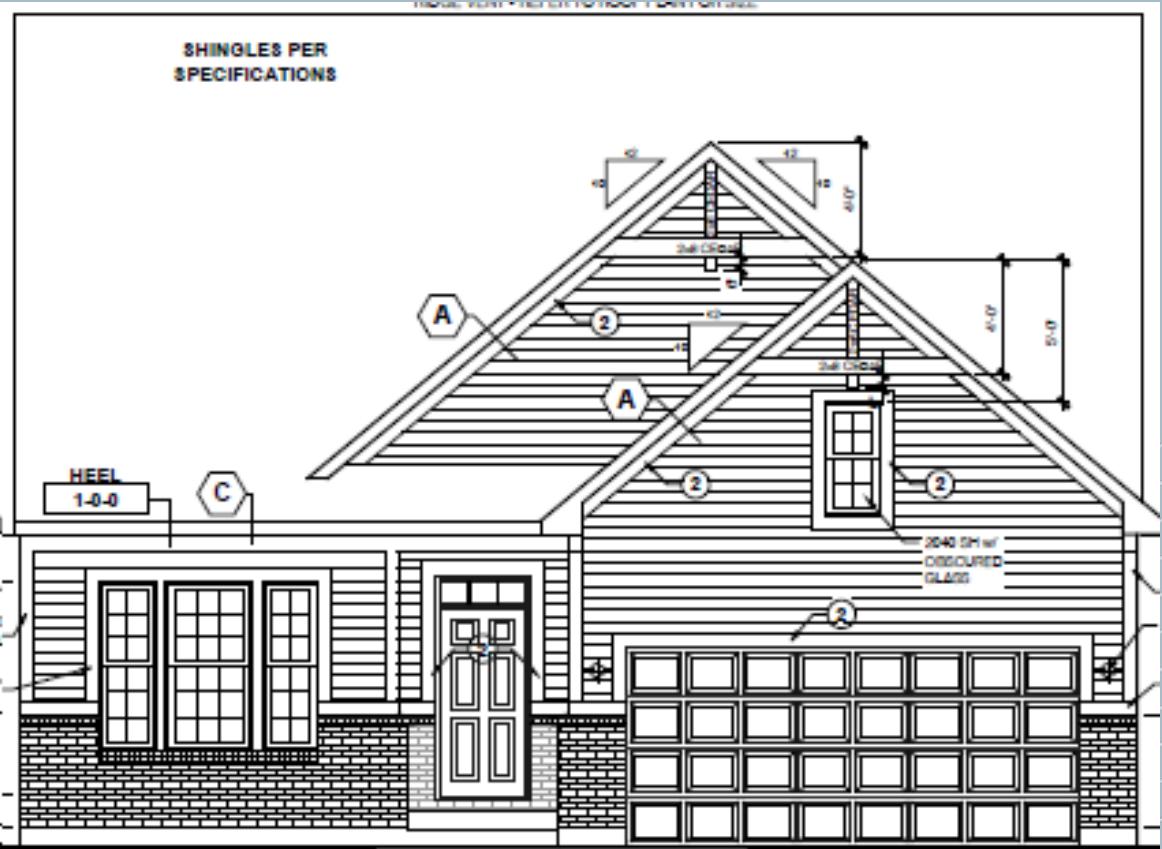


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SHINGLES PER
SPECIFICATIONS



WALLACE



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Dawson



Elevation A



Elevation D - Shown w/ Opt Stone

Square Feet: 2,461
 Bedrooms: 3
 Garages: 2
 Stories: 2

Half Baths: 1
 Garages: 2
 Stories: 2

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FIRST FLOOR



SECOND FLOOR

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4/10/2024

Inglewood



Elevation E - Shown w/ Opt Coach Lights



Elevation B - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 2,558
 Bedrooms: 3
 Full Baths: 2

Half Baths: 1
 Garages: 2
 Stories: 2



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4/10/2024

Cooke



Elevation C - Shown w/ Opt Stone and Bonus Room



Elevation A



Elevation B



Elevation E

Square Feet: 2,624
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



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4/10/2024

Hampton



Elevation B - Shown w/ Opt Coach Lights



Elevation A - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 2,869
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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Bailey Farm

4/10/2024

Dillon



Elevation C



Elevation A



Elevation B

Square Feet: 2,913

Bedrooms: 4

Full Baths: 2

Half Baths: 1

Garages: 2

Stories: 2



FIRST FLOOR



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Bailey Farm

4/10/2024



Barrett



Elevation B - Shown w/Opt Coach Lights



Elevation A - Shown w/Opt Coach Lights



Elevation C - Shown w/Opt Coach Lights



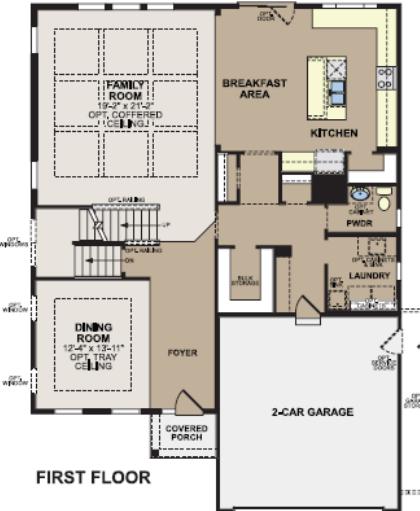
Elevation D - Shown w/Opt Coach Lights

Square Feet: 3,035
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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FIRST FLOOR



SECOND FLOOR



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Bailey Farm

4/10/2024

Fairview



Elevation E - Shown w/ Opt Coach Lights



Elevation A - Shown w/ Opt Coach Lights



Elevation B - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 3,313
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



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4/10/2024



Clayton



Elevation C



Elevation B



Elevation D

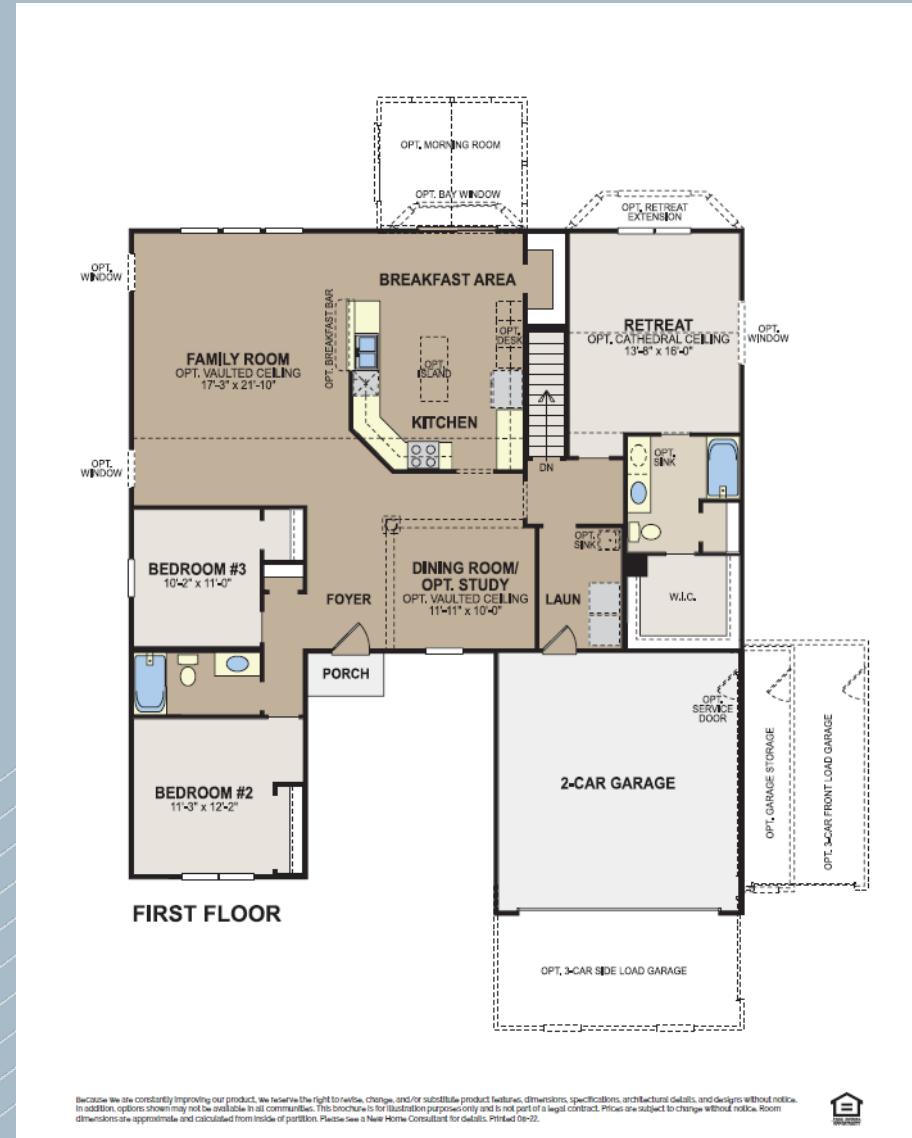


Elevation E - Shown w/Opt Stone

Square Feet: 1,927
 Bedrooms: 3
 Full Baths: 2

Half Baths: 0
 Garages: 2
 Stories: 1

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Bailey Farm

4/10/2024

Cheswickie



Elevation F - Shown with Opt. Dormer



Elevation D - Shown w/ Opt. Stone



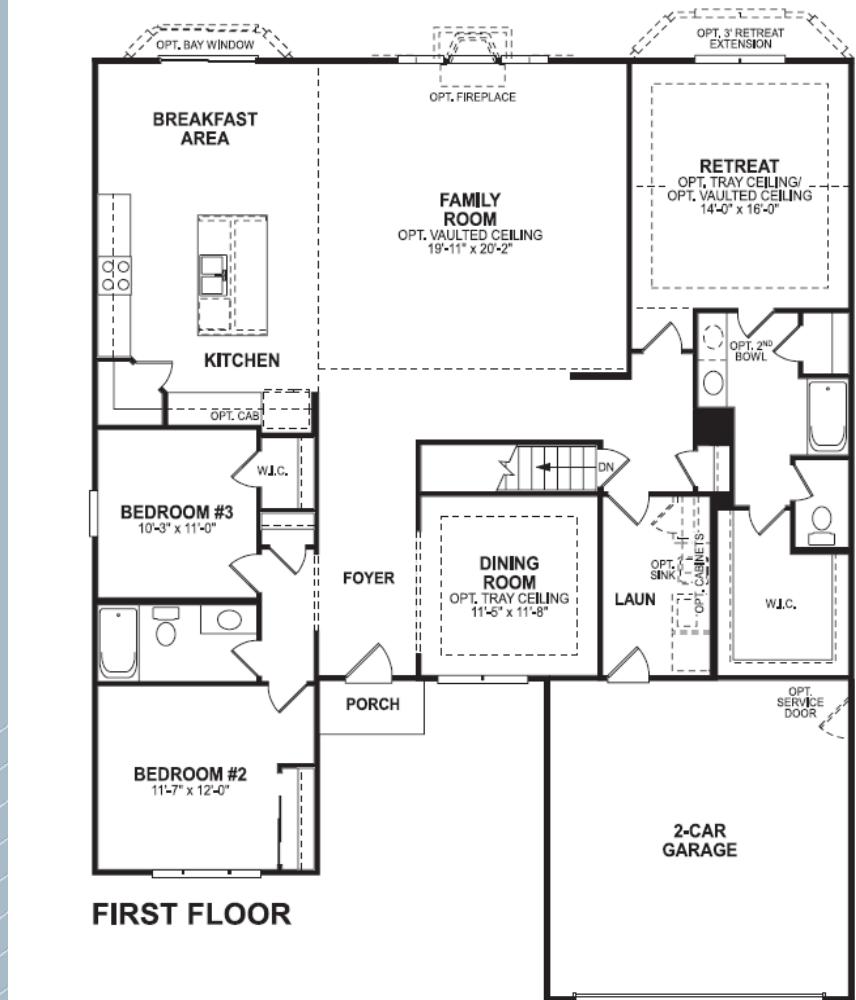
Elevation E - Shown w/ Opt. Dormers



Elevation G - Shown w/ Opt. Stone and Dormer

Square Feet: 2,188
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



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Bailey Farm

4/10/2024

Serenity



Elevation D - Shown w/ Opt Stone and Metal Roof



Elevation A - Shown w/ Opt Brick



Elevation B - Shown w/ Opt Full Brick Front



Elevation C - Shown w/ Opt Stone



Elevation E

Square Feet: 2,349
 Bedrooms: 3
 Full Baths: 2

Half Baths: 1
 Garages: 2
 Stories: 1



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Bailey Farm

4/10/2024

Tolbert



Elevation D - Shown w/Opt Garage Door



Elevation A - Shown w/Opt Garage Door



Elevation B - Shown w/Opt Garage Door

Square Feet: 2,869
 Bedrooms: 3
 Full Baths: 2

Half Baths: 1
 Garages: 2
 Stories: 2



FIRST FLOOR



SECOND FLOOR

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M/I HOMES

Bailey Farm

4/10/2024

Ainsley II



Elevation D - Shown w/Opt Stone, Garage Door Windows, and Metal Roof on Bay



Elevation A



Elevation C - Shown w/Opt Study



Elevation E

Square Feet: 3,175
 Bedrooms: 4
 Full Baths: 2

Half Baths: 1
 Garages: 3
 Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024

Nicholas



Elevation F - Shown w/Opt Stone and Garage Windows



Elevation G

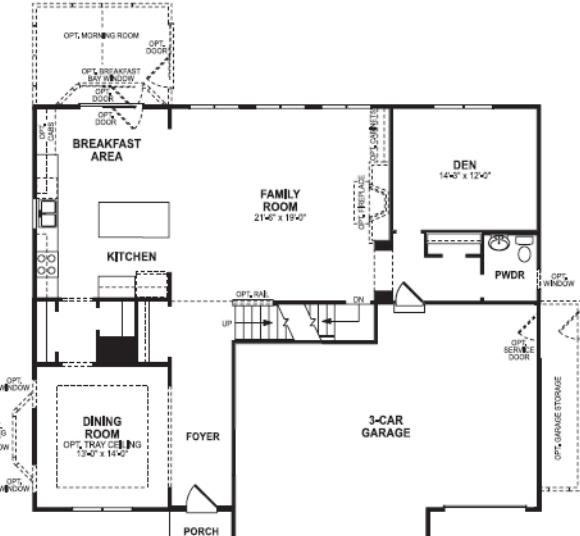


Elevation H - Shown w/Opt Brick and Stone

Square Feet: 3,390
 Bedrooms: 4
 Full Baths: 2

Half Baths: 1
 Garages: 3
 Stories: 2


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FIRST FLOOR



SECOND FLOOR

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M/I HOMES

Bailey Farm

4/10/2024

Keating



Elevation C - Shown w/Opt Study, Stone, and Garage Doors



Elevation D - Shown w/Opt Garage Door Windows and Study



Elevation F - Shown w/Opt Stone and Garage Door Windows

Square Feet: 3,598
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Bedrooms: 3
Stories: 2

M/I HOMES
Welcome to Better



FIRST FLOOR



SECOND FLOOR

Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details, and designs without notice. In addition, options shown may not be available in all communities. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Please see a New Home Consultant for details. Printed 05-22.



M/I HOMES

Bailey Farm

4/10/2024

Monroe



Elevation B - Shown w/ Opt Garage Doors and Coach Lights



Elevation A



Elevation C - Shown w/ Opt Stone



Elevation D - Shown w/ Opt Stone

Square Feet: 3,852
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2



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M/I HOMES

Bailey Farm

4/10/2024

Ellsworth



Elevation C - Shown w/Opt Stone and Garage Doors



Elevation A - Shown w/Opt Garage Doors and Coach Lights

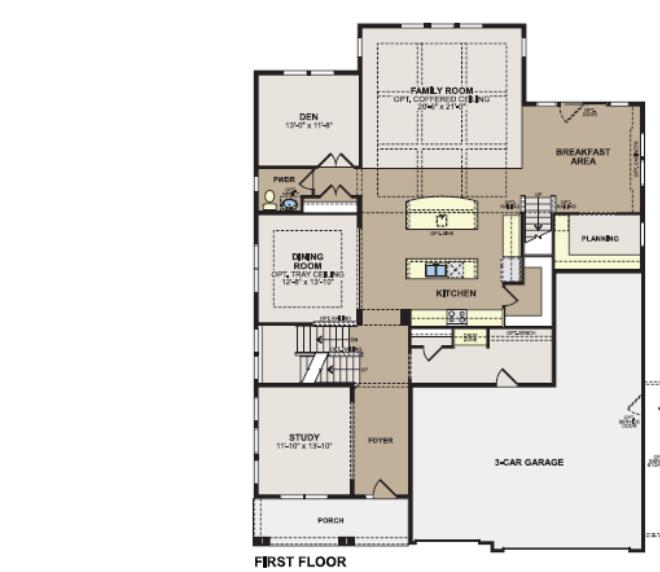


Elevation B - Shown w/Opt Garage Doors and Coach Lights

Square Feet: 4,689
 Bedrooms: 4
 Full Baths: 3

Half Baths: 1
 Garages: 3
 Stories: 2


M/I HOMES
Welcome to Better



FIRST FLOOR



SECOND FLOOR

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M/I HOMES

Bailey Farm

4/10/2024

Hyde Park



Elevation C - Shown w/ Opt Brick and Coach Lights



Elevation A - Shown w/Opt Coach Lights



Elevation B - Shown w/ Opt Brick and Coach Lights



Elevation D - Shown w/ Opt Brick and Coach Lights



Elevation E - Shown w/ Opt Coach Lights

Square Feet: 3,372
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 2

M/I HOMES
Welcome to Better



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M/I HOMES

Bailey Farm

4/10/2024

CITY OF SPRINGBORO PLANNING COMMISSION

**Application
Case #**

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void.

Owner **APPLICANT'S NAME:** Woolpert (Engineer/Agent)
 Agent Woolpert Representative: Sarah Kramer
 Lessee 1203 Walnut St, 2nd Floor, Cincinnati, OH 45202
 Signed Purchase **Telephone No.** (513) 527-2531
Contract **Fax No.** (____) _____
Email Address sarah.kramer@woolpert.com

PROPERTY OWNER'S NAME: Springboro-Harrison Ltd.

Address: 250 Civic Center Drive, Suite 500, Columbus, OH 43215

Telephone No. (614) 744-2218

Address of Property: 785 W Central Ave, Springboro, OH 45066 Lot Number: OUTLOT 3
Existing Use: Restaurant Zoning District: HBD
Proposed Use:
Commercial - drive-through facility

NOTE: Applicant will furnish fifteen (17) copies of plans with attached requirements. **Please note that all plans submitted with this proposal must be pre-folded.** The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.

Sh K

03.21.2024

(Signature of Applicant and/or Agent)

(Date)

March 20, 2024

Via Email

City of Springboro
320 W Central Avenue
Springboro, OH 45066

RE: Owner's Authorization Letter

I, Don Leathery, as authorized representative of Springboro-Harrison, Ltd., an Ohio limited partnership (the "Company"), which Company is the owner of the real property and improvements located at 785 W Central Ave, Springboro, OH 45066, and being Parcel ID # 0420400005, in the Midway Plaza, hereby authorize Motley 7 Brew, LLC, a Washington limited liability company ("Tenant") & Woolpert (the "Engineer") to submit applications on this parcel for site plan approvals and building permits on the owner's behalf, required for Tenant's proposed construction of a Motley 7 Brew coffee establishment within said parcel. Tenant and Engineer may also attend meetings on behalf of the owner and the project.

Sincerely,

Don Leathery

Name

Don Leathery

Signature

3/20/24

7 Brew - Springboro, OH

Legend

arcreek Franklin Rd

Proposed
Project
Area



MOTLEY 7 BREW, LLC

The logo for Woolpert consists of a stylized 'W' mark above the company name 'WOOLPERT' in a bold, sans-serif font. Below the name is the company's address: '1203 Walnut Street, 2nd Floor' on the first line and 'Cincinnati, OH 45202' on the second line, followed by the phone number '513.272.8300' on the third line.

7 BREW

SPRINGBORO, OH

785 W CENTRAL AVENUE SPRINGBORO, OH

PRELIMINARY MAY 24, 2024

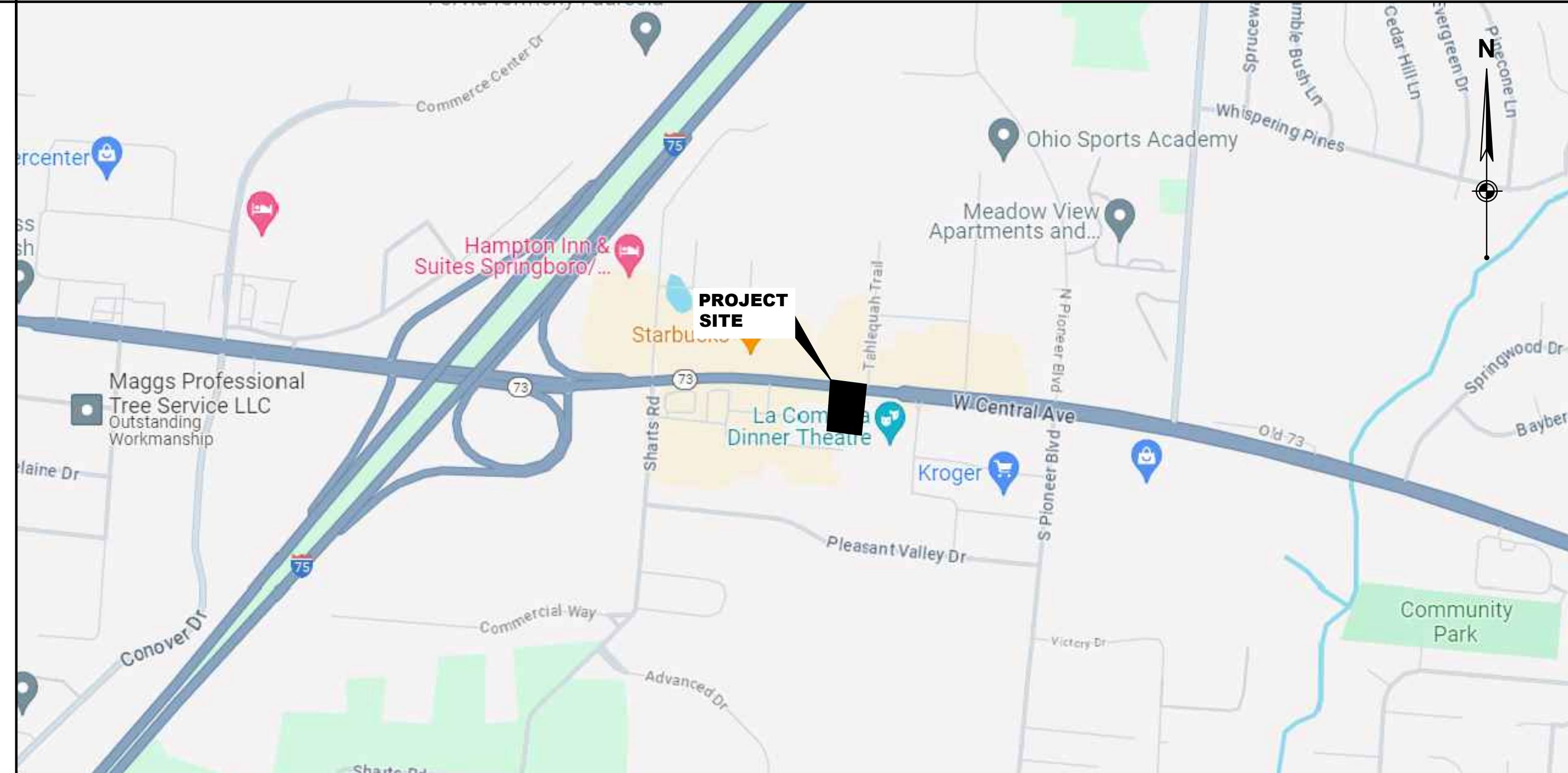
PROJECT TEAM

VICINITY MAP

NOT TO SCALE



1203 Walnut Street
2nd Floor
Cincinnati, OH 45202
513.272.8300



SHEET INDEX

FILLED CIRCLE INDICATES INCLUDED IN ISSUANCE	LATEST ISSUANCE NUMBER	LATEST ISSUANCE DATE	SHEET NUMBER	SHEET TITLE
•	-	05/24/2024	C-001	COVER SHEET
•	-	05/24/2024	C-002	GENERAL NOTES
•	-	05/24/2024	C-101	EXISTING CONDITIONS & DEMO PLAN
•	-	05/24/2024	C-201	SITE PLAN
•	-	05/24/2024	C-211	STRIPING PLAN
•	-	05/24/2024	C-301	GRADING PLAN
•	-	05/24/2024	C-311	EROSION CONTROL PLAN
•	-	05/24/2024	C-312	EROSION CONTROL NOTES & DETAILS
•	-	05/24/2024	C-401	UTILITY PLAN
•	-	05/24/2024	C-601	LANDSCAPE PLAN
•	-	05/24/2024	C-701	PHOTOMETRIC PLAN
•	-	05/24/2024	C-702	PHOTOMETRIC DETAILS
•	-	05/24/2024	C-801	DETAILS
•	-	05/24/2024	C-802	DETAILS

MOTLEY 7 BREW, LLC
7 BREW
SPRINGBORO, OH

PROJECT NO: 10020112.03
DATE ISSUED: 05/24/2024

SHEET NAME:
COVER SHEET

SHEET NO:

C-001

GENERAL NOTES

- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER/CONSTRUCTION MANAGER IMMEDIATELY.
- DATED SITE INFORMATION AND TOPOGRAPHIC SURVEY WAS PREPARED BY NEFF & ASSOCIATES, DATED 02/09/2024, ANY SITE CHANGES/MODIFICATIONS MADE AFTER THIS SURVEY ARE NOT REFLECTED IN THESE PLANS. CONTRACTOR TO NOTIFY WOOLPERT, INC. OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION ITEMS INDICATED AS PER RECORDS AND OUTSIDE THE SURVEY LIMITS ARE BASED ON VARIOUS RECORD DRAWINGS PROVIDED BY THE OWNER. WOOLPERT IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES (INCLUDING THOSE LABELED PER RECORDS) PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS. INFORM ARCHITECT/ENGINEER/CONSTRUCTION MANAGER OF ANY CONFLICTS DEDIMENTAL TO THE DESIGN INTENT.
- 48 DAYS PRIOR TO COMMENCEMENT OF DIGGING, CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: THE OHIO UTILITY PROTECTION SERVICES 811, AND ALL OTHER AGENCIES THAT MAY HAVE UNDERGROUND UTILITIES WITHIN THE PROJECT LIMITS AND ARE NON-MEMBERS OF OHIO UNDERGROUND PROTECTION SERVICES.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL INDENIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL STATE, & FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO COMMENCING WORK.
- ANY WORK PERFORMED IN SPRINGBORO RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE SPRINGBORO REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK, SCHEDULE NECESSARY INSPECTIONS, AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS.
- THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE OHIO ENVIRONMENTAL PROTECTION AGENCY FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS. OWNER WILL OBTAIN NPDES PERMIT.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY THE CITY OF SPRINGBORO AND THE OHIO EPA.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION ACTIVITIES, UNLESS GRADED, ARE TO REMAIN SO, SHALL BE SEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH SPECIFICATIONS. IF NO SPECIFICATIONS ARE SUPPLIED, USE ODOT SPECIFICATION ITEM 659.
- ITEM NUMBERS REFER TO THE ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS, AND ALL CONSTRUCTION WORK SHALL BE DONE ACCORDING TO SAID SPECIFICATIONS AND IN ACCORDANCE WITH APPLICABLE STANDARDS OF THE CITY OF SPRINGBORO. WHEN IN CONFLICT, THE CITY REQUIREMENTS SHALL PREVAIL.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
- THE CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- BEFORE INSTALLATION OF STORM SEWER, SANITARY SEWER, ELECTRICAL CONDUIT, WATERLINE OR ANY OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ARCHITECT/ENGINEER/CONSTRUCTION MANAGER OF ANY CONFLICTS. THE DESIGN ENGINEER WILL BE HELD HARMLESS IF NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- ADJUST OR RECONSTRUCT ALL EXISTING CASTINGS, CLEANOUTS, ETC. WITHIN PROJECT AREA TO MEET PROPOSED GRADE AS REQUIRED.
- CONTRACTOR TO REMOVE & REPLACE PAVEMENT AS SPECIFIED.
- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. RELOCATE EXISTING UTILITIES AS INDICATED, OR AS NECESSARY FOR CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVED SURFACES.
- SITE WORK CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH TO ALL SURFACES. SITE WORK CONCRETE SHALL BE CLASS I (4,000 PSI @ 28 DAYS) UNLESS OTHERWISE NOTED.
- ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALK, CURB, LANDSCAPING, UTILITIES, AND ANY OTHER ITEMS TO REMAIN, WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
- SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, BUILDING, WALL, EDGE OF PAVEMENT, OR COLUMN LINE UNLESS OTHERWISE NOTED.
- COORDINATES ARE FOR BUILDING COLUMNS, EXTERIOR BUILDING WALLS, CENTERS OF DRIVEWAYS, CENTER OF SANITARY SEWER MANHOLES, AND CENTER OF STRUCTURES PLACED SIX INCHES INSIDE FACE OF CURB FOR DRAIN INLETS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON-SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- REFER TO THE ARCHITECTURAL, PLUMBING & ELECTRICAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS AND PRECISE BUILDING DIMENSIONS.
- THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH THE CITY OF SPRINGBORO. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO, INCREASED IMPERVIOUS PAVEMENT, ADDITION/DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, LANDSCAPING, ETC.
- SITE SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

DEMOLITION NOTES

- ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE SPECIFIED WITHIN THIS CONSTRUCTION SET AND/OR PROJECT MANUAL. THIS INCLUDES WALLS AND FOOTINGS, CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIALS AND COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD BY THE CONTRACTOR.
- NO TREES SHALL BE REMOVED, NOR VEGETATION DISTURBED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- TREE PROTECTION FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF SPRINGBORO STANDARDS - OR - IN ACCORDANCE WITH THE DETAILED DRAWINGS. DO NOT OPERATE OR STORE EQUIPMENT, NOR HANDLE OR STORE MATERIALS WITHIN THE DRIP LINES OF THE TREES SHOWN TO REMAIN.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION FROM DAMAGE DURING CONSTRUCTION ACTIVITIES. USE A CLOTH BAGGING OR SAVING OF ROOTS, SKINNING OR BRUSHING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS SOIL, OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED. ALL DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
- ALL UTILITY DISCONNECTION, REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY. LOCAL UTILITY CONTACTS ARE PROVIDED ON THIS SHEET.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR OBTAINS PRIOR LEGAL WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- EROSION & SEDIMENT CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE PROPERLY INSTALLED AND FUNCTIONING PROPERLY PRIOR TO INITIALIZATION OF DEMOLITION ACTIVITIES.
- ASBESTOS OR HAZARDOUS MATERIAL ARE NOT EXPECTED. IF FOUND ON SITE, SUCH MATERIALS SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS DURING ALL DEMOLITION AND CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND FEATURES TO REMAIN. ANY ITEMS TO REMAIN THAT HAVE BEEN DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS, FAA REGULATIONS, AND AS REQUIRED BY LOCAL GOVERNMENT IN AND AROUND STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- PROVIDE STRAIGHT, FULL DEPTH, AND NEAT SAW CUTS OF EXISTING PAVEMENT WHERE INDICATED ALONG LIMITS OF PAVEMENT DEMOLITION.
- ALL UTILITY AND STRUCTURE REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED AND PROPERLY DOCUMENTED BY A CERTIFIED PROFESSIONAL, WHEN APPLICABLE, WITH THE APPROPRIATE UTILITY COMPANY, MUNICIPALITY AND/OR AGENCY. DEMOLITION OF REGULATED ITEMS MAY INCLUDE, BUT NOT LIMITED TO WELLS, ASBESTOS, UNDERGROUND STORAGE TANKS, SEPTIC TANKS AND ELECTRIC TRANSFORMERS. DEMOLITION CONTRACTOR SHALL ADHERE TO ANY APPROPRIATE REGULATIONS FOR REMOVAL OF REGULATED ITEMS AND OBTAIN APPROVALS. ENVIRONMENTAL STUDIES MAY INCLUDE, BUT ARE NOT LIMITED TO PHASE I ESA, PHASE II ESA, WETLAND AND STREAM DELINEATION AND ASBESTOS SURVEYS. ALL APPLICABLE ENVIRONMENTAL STUDIES SHALL BE MADE AVAILABLE UPON REQUEST.
- ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE AREA THAT ARE INDICATED TO BE DEMOLISHED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW SUBGRADE OR REGRADE IF THE GROUTING, CONCRETE, AND COMPACTED SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE AREAS TO RECEIVE LANDSCAPING.
- THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION ACTIVITIES.

SITE EARTHWORK NOTES

- ALL PROPOSED GRADES SHOWN ARE FINAL GRADES, TOP OF GROUND LEVEL, OR TOP OF PAVEMENT, OR GRADE ELEVATION AT THE DRAWDOWN POINT, UNLESS INDICATED OTHERWISE.
- REFER TO AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY OTHERS.
- SITE BUILDING PAD EXCAVATION AND CONSTRUCTION TO BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. BUILDING PAD PREPARATION SHALL BEGIN BY CLEARING AND REMOVAL OF UNSUITABLE MATERIAL FROM PAD SITE, THEN PLACEMENT AND COMPACTION OF BACKFILL MATERIAL PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
- CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION & SEDIMENT CONTROL PLAN PREPARED FOR THIS PROJECT.
- EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDERCUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
- CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- PLACE TOPSOIL OVER THE SUBGRADE OF UNPAVED, DISTRIBUTED AREAS TO A DEPTH INDICATED ON THE LANDSCAPE PLANS (4" MINIMUM).
- PAVEMENT SLOPES ACROSS ACCESSIBLE PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE MAXIMUM 2% AND SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
- ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN, UNLESS NOTED OTHERWISE.
- COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED, AND INSPECTED BY AN APPROVED TESTING LABORATORY OR AN INSPECTOR FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK BY IMPORTING OR EXPORTING AS NECESSARY TO ACHIEVE DESIGN GRADES AND SPECIFICATIONS.

UTILITY NOTES

- ALL PROPOSED UTILITY LINES AND EXTENSIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SPRINGBORO SPECIFICATIONS. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE APPROPRIATE AGENCIES.
- PROVIDE STORZ FIRE DEPARTMENT CONNECTION WITH 30 DEGREE TURN DOWN PER LOCAL FIRE DEPARTMENT REQUIREMENTS. UNDERGROUND PIPING SERVING REMOTE FIRE DEPARTMENT CONNECTION SHALL BE DUCTILE IRON PIPING WITH RUBBER-GASKET PUSH-ON JOINTS. ABOVE GROUND CONNECTIONS SHALL BE 12" DIAMETER DUCTILE IRON PIPE WITH 12" DIAMETER FLANGE ABOVE GRADE AT TRANSITION. PROVIDE CONCRETE THRUST BLOCKING AT ALL CHANGES OF DIRECTION AND MOUNT FIRE DEPARTMENT CONNECTION PIPING IN A 12" X 12" CONCRETE PAD 4" THICK. PROVIDE BALL DRIP VALVE AT BASE OF VERTICAL PIPING SERVING FIRE DEPARTMENT CONNECTION AND SURROUND WITH PEA GRAVEL.
- THE CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON TOPOGRAPHIC SURVEYS AND RECORD DRAWINGS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND MOTLEY 7 BREW AS SOON AS POSSIBLE FOR INSTRUCTIONS. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- MANTAIN MINIMUM 10' FOOT HORIZONTAL AND MINIMUM 18-INCH VERTICAL SEPARATION BETWEEN SANITARY SEWER, STORM SEWER AND WATER SUPPLY LINE, UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO PAVEMENT CONSTRUCTION.
- ALL TRENCH SPOILS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED.
- SANITARY SEWER SHALL BE PVC-SDR 35 PER ASTM D-3034 OR APPROVED EQUAL (CONFORMING TO SPRINGBORO SEWER DEPARTMENT RULES AND REGULATIONS) INSTALLED AT A MINIMUM SLOPE OF TWO PERCENT (2.00%) UNLESS OTHERWISE NOTED. SANITARY SERVICE SHALL BE INSTALLED AT A MINIMUM DEPTH OF FOUR FEET (4') UNLESS OTHERWISE NOTED. A MINIMUM OF 18' CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE & STORM SEWER CROSSINGS. SANITARY SERVICE JOINTS SHALL CONFORM TO ASTM D-3212.
- SANITARY SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATES NOT TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, AASHTO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.
- DISTANCES SHOWN FOR BOTH SANITARY AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE. CONTRACTOR RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH. COORDINATES FOR STORM & SANITARY STRUCTURES ARE SHOWN TO THE CENTER STRUCTURE. UNLESS OTHERWISE NOTED.
- ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
- ADJUST ALL EXISTING UTILITY SURFACE FEATURES INCLUDING BUT NOT LIMITED TO CASTINGS, VALVE BOXES, PEDESTALS, CLEANOUTS, ETC. TO MATCH PROPOSED FINISHED GRADES, UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL IMPROVEMENTS. INCLUDE AT LEAST TWO DIMENSIONS TO EACH VALVE AND MANHOLE FROM OWN SITE FEATURES. DRAWINGS SHALL INCLUDE HORIZONTAL AND VERTICAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES ENCOUNTERED.
- MECHANICAL/ELECTRICAL CONTRACTORS SHALL BRING ALL UTILITIES 5' OUTSIDE BUILDING WALL. COORDINATE WITH CONSTRUCTION MANAGER/ARCHITECT/ENGINEER/OWNER.
- ALL WATERLINE CROSSINGS SHALL MAINTAIN A VERTICAL SEPARATION OF 18" MINIMUM. SANITARY SEWER SHALL BE LOCATED A MINIMUM OF 18" BELOW WATERLINE AT ALL CROSSINGS. WATERLINE SHALL BE LOCATED A MINIMUM OF 10' HORIZONTALLY FROM ANY SANITARY SEWER OR STORM SEWER. ALL MEASUREMENTS SHALL BE TAKEN FROM OUTSIDE OF SEWER PIPE TO THE OUTSIDE OF WATERLINE PIPE. ONE FULL LENGTH OF WATERLINE PIPE SHALL BE LOCATED AT ALL CROSSINGS TO ENABLE BOTH JOINTS TO BE LOCATED AS FAR FROM SEWER AS POSSIBLE.
- ALL WATER SERVICE PIPE SIZES 3" THRU 12" SHALL BE DUCTILE IRON PIPE CLASS 51, 52, 53, PVC C-900 OR PVC C909 PIPE PER LOCAL JURISDICTION, FROM WATERMAIN THRU METER SETTING(S) INCLUDING THE METER BYPASS.
- ALL WATER SERVICE PIPE, 2" AND SMALLER, SHALL BE K SOFT COPPER.
- ALL WATER SERVICE PIPE, 2" AND SMALLER, SHALL BE K SOFT COPPER FROM WATERMAIN THRU CURB STOP. K SOFT COPPER OR SPRINGBORO WATER DEPARTMENT APPROVED POLYTUBING FROM CURB STOP THRU METER SETTING IN BUILDING.
- WATERLINE IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATES NOT TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, AASHTO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.

STORM DRAINAGE NOTES

- DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF PIPING, UNLESS OTHERWISE NOTED. CONTRACTOR RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE REGULATING AGENCIES CONCERNING INSTALLATION, INSPECTION AND APPROVAL OF THE STORM DRAINAGE SYSTEM CONSTRUCTION.
- ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING COLLECTION AND CONVEYANCE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- ANY FIELD TILE CUT IN EXCAVATION, WHICH DRAINS AN OFFSITE AREA, MUST BE TIED INTO THE STORM DRAINAGE SYSTEM.
- FOR EXACT LOCATION OF DOWNSPOUTS AND ROOF DRAINS, CONTRACTOR IS TO COORDINATE WITH ARCHITECTURAL AND PLUMBING DRAWINGS.
- ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER.
- THE CONTRACTOR IS TO CONSTRUCT CURBS, CATCH BASINS, DOWNSPOUTS, PIPING AND CONNECTION ETC. AS REQUIRED TO CONVEY THE ROOF AND PAVED SURFACE DRAINAGE TO THE DETENTION BASIN.
- ALL STORM STRUCTURES ARE ODOT TYPES UNLESS OTHERWISE INDICATED.
- ALL CATCH BASINS AND MANHOLES WITH A DEPTH GREATER THAN 4-FEET SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF ODOT SPECIFICATION ITEM 604.
- STORM SEWER PIPE LABELED "SD" SHALL BE ONE OF THE FOLLOWING: CONTECH ULTRA FLO ALUMINIZED CORRUGATED METAL, ODOT ITEM 707.01, 707.02, HIGH DENSITY POLYETHYLENE PER ODOT ITEM 707.33, OR REINFORCED CONCRETE PIPE, ODOT ITEM 706.02. ALL STORM SEWER TO BE SMOOTH Walled, WITH A MANNINGS COEFFICIENT OF 0.012-0.013. STORM SEWER PIPE LABELED "TCP" SHALL BE REINFORCED CONCRETE PIPE, ODOT ITEM 706.02. ALL STORM SEWER IS TO BE INSTALLED PER ODOT ITEM 603.
- STORM SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATES NOT TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, AASHTO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.

CONTACTS:

CIVIL ENGINEER
WOOLPERT
SARAH KRAMER, PE
1203 WALNUT STREET, 2ND FLOOR
CINCINNATI, OH 45202
513.527.2531
SARAH.KRAMER@WOOLPERT.COM

STORMWATER
CITY OF SPRINGBORO
320 W CENTRAL AVENUE
SPRINGBORO, OH 45066
MARY GUVAR
937.748.9721
MARKD@CITYOFSPRINGBORO.COM

TELECOMMUNICATIONS
ALTA FIBER
513.566.4101

ELECTRIC
DURE ENERGY
130 EAST FORTH STREET
CINCINNATI, OH 45202
877.700.3855

PROJECT NO: 1002112.03
DATE ISSUED: 05/24/2024
DESIGNED BY: TAB
DRAWN BY: CMB
CHECKED BY: SRK

A SHEET NAME:
GENERAL NOTES

Ohio Utilities Protection Service
Call 811
before you dig

SHEET NO:
C-002

W
WOOLPERT
1203 Walnut Street, 2nd Floor
Cincinnati, OH 45202
513.272.8300

PARCEL NO. 0420377014
SPRINGBORO-HARRISON LTD.
BOOK 1083, PG. 750
HBD ZONE

FIRST ADDITION TO MIDWAY BUSINESS PARK
REPLAT OF LOT 1-MIDWAY BUSINESS PARK & PART OF
13.0812 AC. REMAINDER
P.V. 75, PG. 30

WEST CENTRAL AVENUE (S.R. 73)
(WIDTH VARIES)
(A PUBLIC ROADWAY)

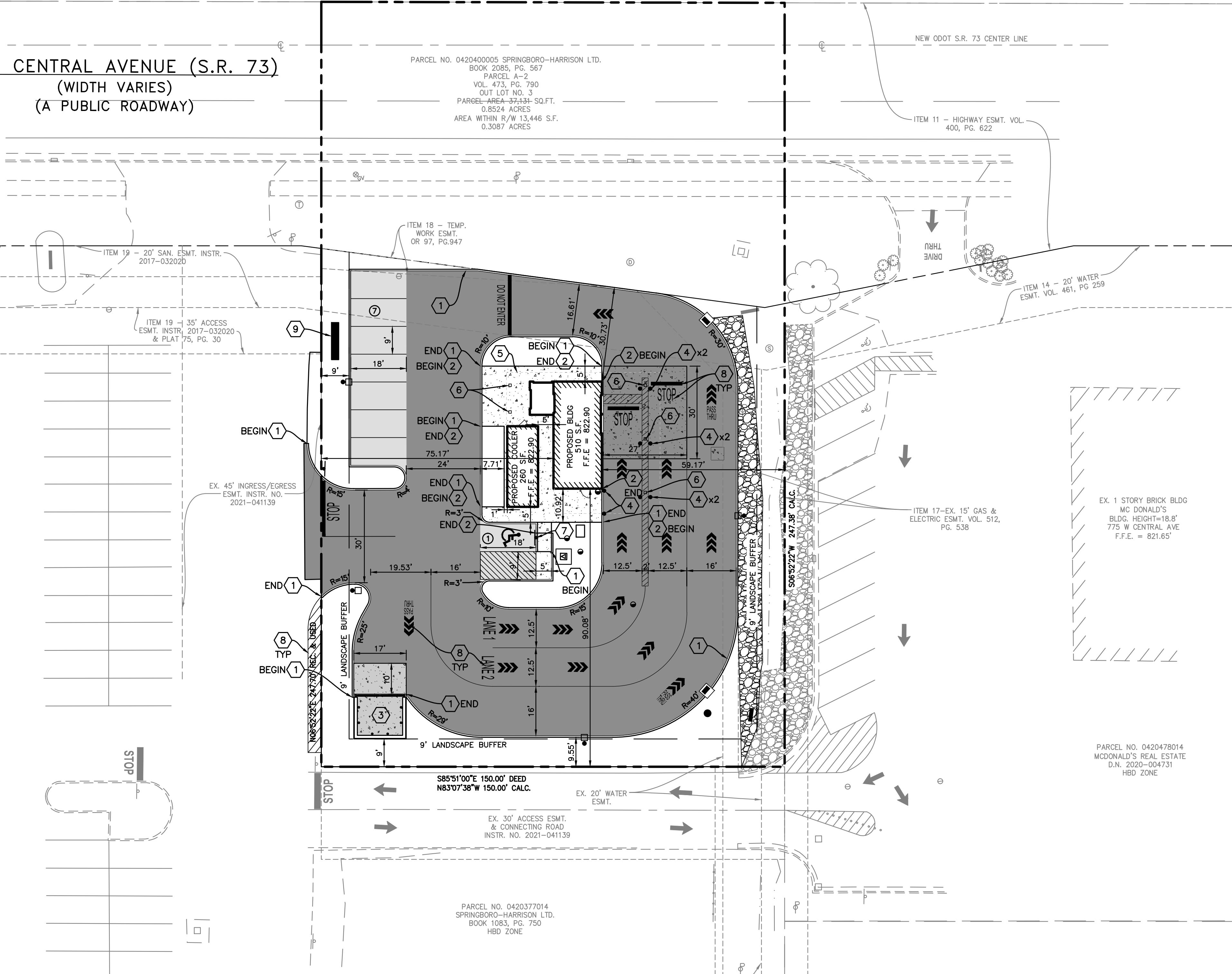
N85°43'34" W 150.00' DEED
S83°00'12" E 150.00' CALC.

PARCEL NO. 0420400005 SPRINGBORO-HARRISON LTD.
BOOK 2085, PG. 567
PARCEL NO. 2
VOL. 473, PG. 790
OUT LOT NO. 3
PARCEL AREA: 37.131 SQ.FT.
0.8524 ACRES
AREA WITHIN R/W 13,446 S.F.
0.3087 ACRES

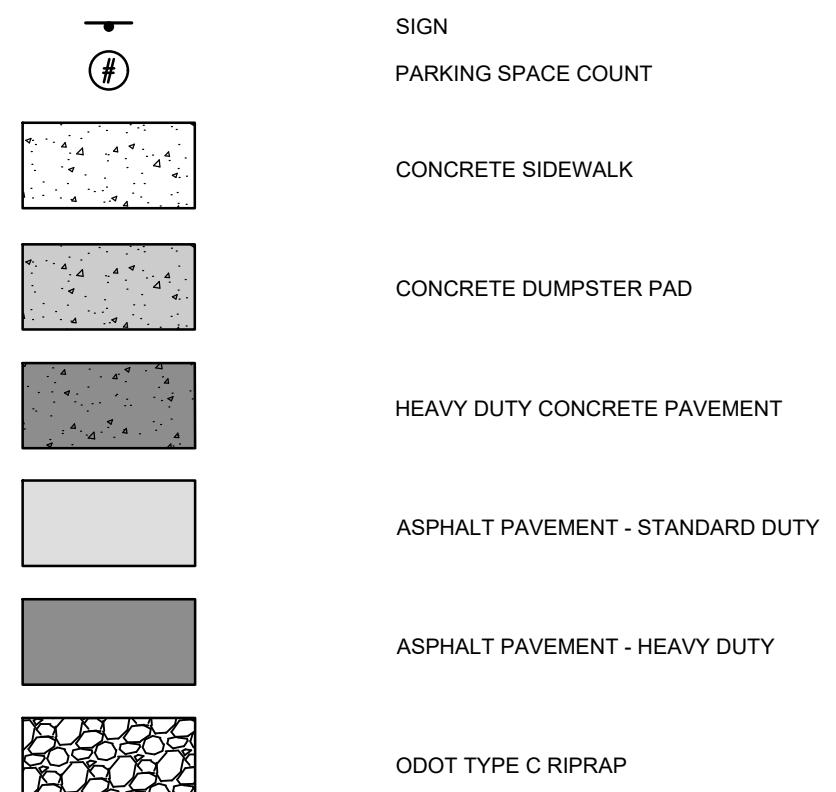
ORIGINAL S.R. 73 CENTER LINE

NEW ODOT S.R. 73 CENTER LINE

ITEM 11 - HIGHWAY ESMT. VOL.
400, PG. 622



LEGEND



NOTES

- SEE SHEET C-002 FOR GENERAL NOTES.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- ALL CURB RADII SHALL BE 5' UNLESS NOTED OTHERWISE.

KEYNOTES

- 6" ODOT TYPE 6 CURB. SEE DETAIL ON SHEET C-801.
- 6" INTEGRAL CURB. SEE DETAIL ON SHEET C-801.
- DUMPSTER PAD AND ENCLOSURE. SEE SHEET C-801 FOR CONCRETE PAD DETAIL AND ARCHITECTURAL PLANS FOR DUMPSTER DETAILS.
- BOLLARD. SEE DETAIL ON SHEET C-801.
- BUILDING CANOPY OUTLINE SHOWN FOR REFERENCE. CANOPY TO BE INSTALLED ON-SITE.
- CANOPY COLUMN LOCATIONS.
- ADA PARKING SIGN. SEE DETAIL ON SHEET C-802.
- PAVEMENT MARKING. SEE C-211 - STRIPING PLAN.
- MONUMENT SIGN. CONTRACTOR TO RUN POWER AND POUR FOUNDATION. SEE SIGNAGE PACKAGE FOR DETAILS.

SITE DATA

ZONE	HBD (HIGHWAY BUSINESS DISTRICT)
TOTAL SITE AREA	0.85 ACRES
PROPOSED USE	COMMERCIAL DRIVE-THRU
PROPOSED BUILDING AREA	510 S.F.
MAXIMUM BUILDING HEIGHT	40'
PROPOSED BUILDING HEIGHT	19'-8"
PARKING SPACE SIZE REQUIRED	9' X 18'
PARKING SPACE SIZE PROVIDED	9' X 18'
TYPICAL DRIVE AISLE (ONE WAY)	16'
TYPICAL DRIVE AISLE (TWO WAY)	24'
PARKING SPACES REQUIRED	1 SPACE PER 400 SQ. FT. 537 SQ. FT. / 400 SQ. FT. = 2 SPACES
PARKING SPACES PROVIDED	8 SPACES
ADA SPACES PROVIDED	VAN SPACES
	1 SPACE

OWNER
SPRINGBORO-HARRISON LTD
5 E LONG ST, SUITE 1200
COLUMBUS, OH 43215
DON LEATHERY
614.224.4440

OWNER SIGNATURE

DEVELOPER
MOTLEY 7 BREW, LLC
111 W 39TH ST
VANCOUVER, WA 98660
DAVID GRAY
360.694.7855 EX172
DGRAY@ANCHORPOINTMG.COM

DESIGNER
WOOLPERT
SARAH KRAMER, PE
1203 WALNUT STREET, 2ND FLOOR
CINCINNATI, OH 45202
513.527.2331
SARAH.KRAMER@WOOLPERT.COM

MOTLEY 7 BREW, LLC
7 BREW
SPRINGBORO, OH
785 W CENTRAL AVENUE
SPRINGBORO, OH 45066

PROJECT NO: 10020112.03
DATE ISSUED: 05/24/2024
DESIGNED BY: TAB
DRAWN BY: CMB
CHECKED BY: SRK

SHEET NAME:
SITE PLAN

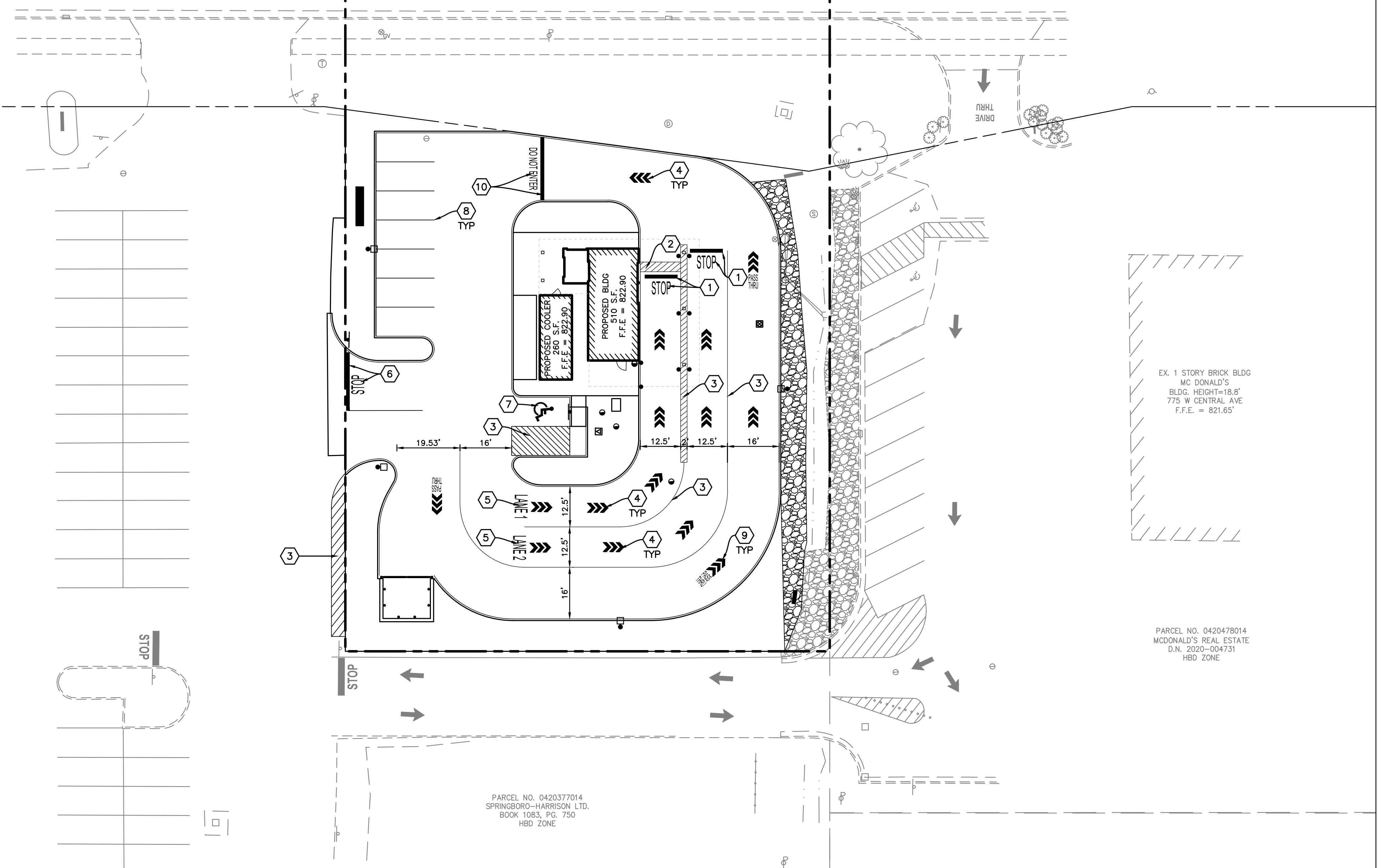
Ohio Utilities Protection Service
Call 811
before you dig
GRAPHIC SCALE IN FEET
0 20 40 60
SHEET NO:
C-201

WEST CENTRAL AVENUE (S.R. 73)
 (WIDTH VARIES)
 (A PUBLIC ROADWAY)

PARCEL NO. 0420400005 SPRINGBORO-HARRISON LTD.
 BOOK 2085, PG. 567
 PARCEL A-2
 VOL. 473, PG. 790
 OUT LOT NO. 3
 PARCEL AREA: 37,131 SQ.FT.
 0.8524 ACRES
 AREA WITHIN R/W 13,446 S.F.
 0.3087 ACRES

ORIGINAL S.R. 73 CENTER LINE

NEW ODOT S.R. 73 CENTER LINE



NOTES

- SEE SHEET C-002 FOR GENERAL NOTES.
- EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PROVIDED BY NEFF & ASSOCIATES.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.

KEYNOTES

- 12-INCH SOLID RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED.
- ALIGN 4-INCH SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING.
- 4-INCH SOLID BLUE PAVEMENT MARKER, TYPICAL. MIDLINES SPACE AT 24-INCHES O.C.
- SOLID WHITE TRIPLE ARROW PAVEMENT MARKER. SEE DETAIL ON SHEET C-801.
- 48-INCH TALL "LANE #" PAINTED IN WHITE.
- 12-INCH SOLID WHITE STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN WHITE.
- BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL. SEE DETAIL ON SHEET C-801.
- 4-INCH SOLID, WHITE, PAINTED PARKING STRIPE.
- 24-INCH TALL "PASS THRU" PAINTED IN WHITE.
- 12-INCH SOLID WHITE STOP BAR WITH 48-INCH TALL "DO NOT ENTER" TEXT PAINTED IN WHITE.

MOTLEY 7 BREW, LLC
7 BREW
 SPRINGBORO, OH

785 W CENTRAL AVENUE
 SPRINGBORO, OH 45066

PROJECT NO: 10020112.03
 DATE ISSUED: 05/24/2024
 DESIGNED BY: TAB
 DRAWN BY: CMB
 CHECKED BY: SRK

SHEET NAME: STRIPING PLAN

SHEET NO: C-211

Ohio Utilities Protection Service
Call 811
 before you dig

0 20 40 60
 GRAPHIC SCALE IN FEET

SHEET NO:

C-211

WOOLPERT
 1203 Walnut Street, 2nd Floor
 Cincinnati, OH 45202
 513.272.8300

LEGEND

EXISTING 1' CONTOUR
EXISTING 5' CONTOUR
PROPOSED 1' CONTOUR
PROPOSED 5' CONTOUR
STORM SEWER
STORM STRUCTURES
STORM STRUCTURE ID
SPOT ELEVATION
TC: TOP OF CURB ELEVATION
BC: BOTTOM OF CURB ELEVATION
MATCH EXISTING
TC: MATCH EXISTING TOP OF CURB ELEVATION
BC: MATCH EXISTING BOTTOM OF CURB ELEVATION

NOTES

1. SEE SHEET C-002 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
3. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD OR GREEN AREAS.

KEYNOTES

1. ADJUST UTILITY STRUCTURE TO GRADE.

NUMBER	DATE	DESCRIPTION
		ISSUE DATE

MOTLEY / BREW, LLC 7 BREW SPRINGBOOQ OH

785 W CENTRAL AVENUE
SPRINGBORO, OH 45066

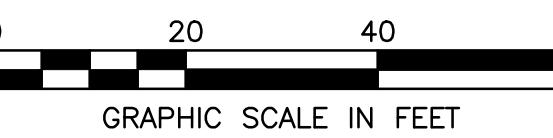
PROJECT NO:	10020112.03
DATE ISSUED:	05/24/2024
DESIGNED BY:	TAB
DRAWN BY:	CMB

SHEET NAME:
GRADING PLAN

SHEET NO.:

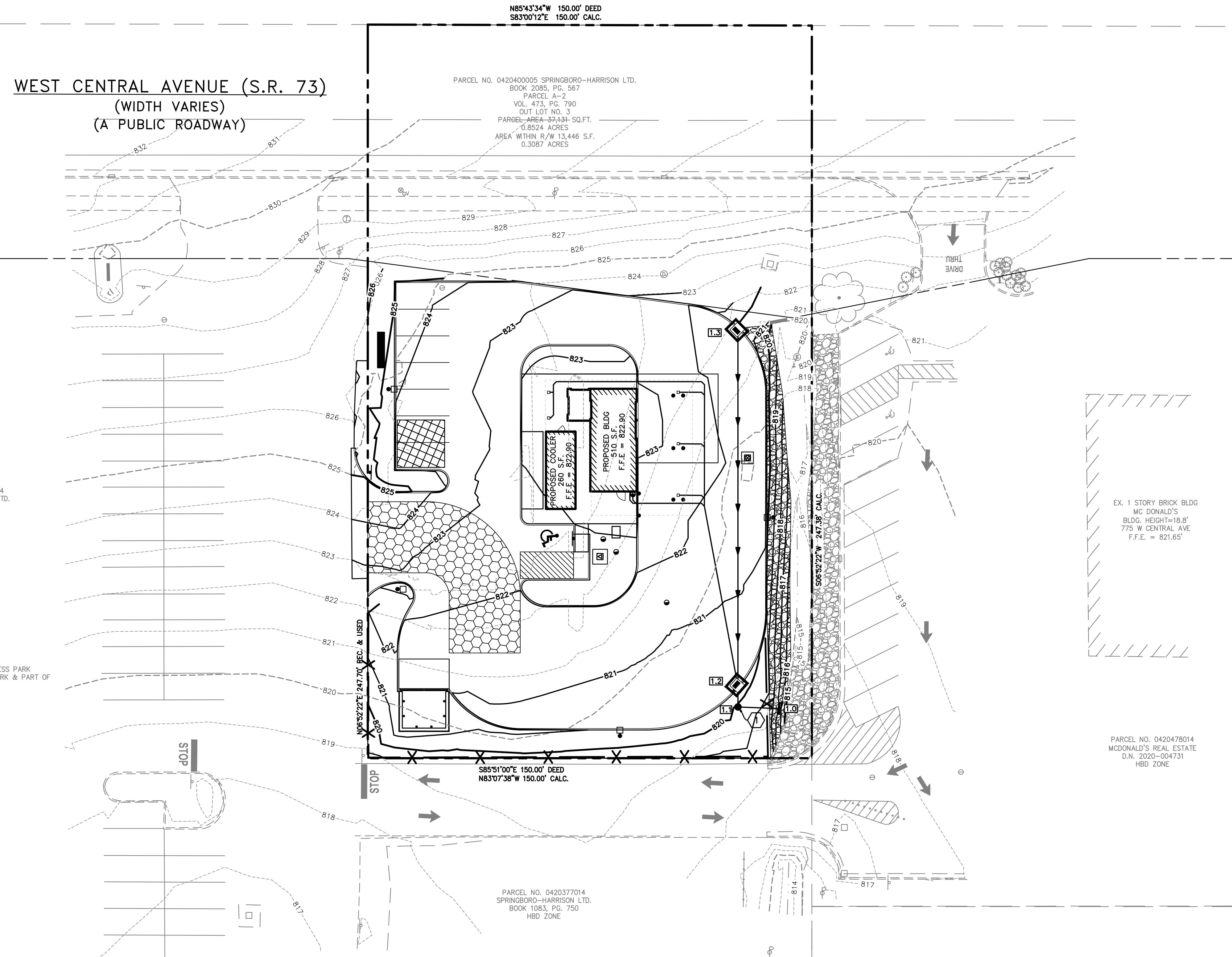
STREET NO.

The logo for Ohio Utilities Protection Service. It features the company name in a black, sans-serif font at the top. Below it, the words 'Call 811' are written in a large, bold, black font. To the right of the '11' is a black silhouette of a shovel. Below 'Call 811' is the tagline 'before you dig' in a smaller, black, sans-serif font.



GRAPHIC SCALE IN FEET

STREET NO.



LEGEND

799	EXISTING 1' CONTOUR
800	EXISTING 5' CONTOUR
799	1' CONTOUR
800	5' CONTOUR
→	STORM SEWER
X	SILT FENCE
—	6' TEMPORARY CONSTRUCTION FENCE
○	STORM STRUCTURES
□	STORM STRUCTURE I.D.
□	INLET PROTECTION
■	TEMPORARY CONSTRUCTION ENTRANCE
■	TEMPORARY CONCRETE WASHOUT
■	PERMANENT ODOT TYPE C RIPRAP

NOTES

- SEE SHEET C-002 FOR GENERAL NOTES.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- SEE SHEET C-312 FOR EROSION CONTROL NOTES AND DETAILS.
- CONSTRUCTION FENCE AND SILT FENCE ARE SHOWN ON PLAN SCHEMATICALLY. ADJUST AS NECESSARY.

KEYNOTES

- WATER QUALITY STRUCTURE.

SEQUENCING NOTES

- FIELD MARK LIMITS OF DISTURBANCE.
- INSTALL STABILIZED TEMPORARY CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCE.
- CLEAR AND GRUB THE SITE AND REMOVE TOPSOIL WITHIN THE AREAS OF PROPOSED GRADING ON-SITE AND MOVE TO STOCKPILE.
- CONTRACTOR TO CREATE A STABILIZED STAGING AREA, TEMPORARY PARKING AREA AND STORAGE AREA INCLUDING DESIGNATED LOCATIONS FOR DUMPSTERS, SANITARY WASTE UNITS, AND CONCRETE WASHOUT AREA.
- START ROUGH GRADING AND CONSTRUCTION OF PARKING AREA AND BUILDING PAD.
- CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- BEGIN FINAL GRADING OPERATIONS. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- INSTALL UTILITIES, STORM SEWERS, AND CURBS.
- INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES AS THEY ARE INSTALLED.
- PREPARE SITE FOR PAVING AND INSTALL PERMANENT PAVEMENT AREAS.

SEQUENCING NOTES

- EX. 1 STORY BRICK BLDG
 MC DONALD'S
 BLDG. HEIGHT=18.8'
 775 W CENTRAL AVE
 F.F.E. = 821.65'
- EXAMPLE OF GRADING ON-SITE AND MOVE TO STOCKPILE. DISTURBED AREA MAY REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.
- EXAMPLE OF GRADING ON-SITE AND MOVE TO STOCKPILE. DISTURBED AREA MAY REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.
- CONTRACTOR TO CREATE A STABILIZED STAGING AREA, TEMPORARY PARKING AREA AND STORAGE AREA INCLUDING DESIGNATED LOCATIONS FOR DUMPSTERS, SANITARY WASTE UNITS, AND CONCRETE WASHOUT AREA.
- BEGIN EXCAVATION FOR DETENTION POND AND ROUGH GRADING OF PAVEMENT AREAS AND BUILDING PAD.
- BEGIN STORM SEWER AND INLETS. INSTALL PROPOSED INLET PROTECTION AS STORM INLETS ARE INSTALLED.
- CESSION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- BEGIN FINAL GRADING OPERATIONS. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- PREPARE SITE FOR PAVING AND INSTALL PERMANENT PAVEMENT AREAS.
- NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA MAY REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.
- COMPLETE GRADING, REPLACE TOPSOIL, AND INSTALL PERMANENT SEEDING, SLOPE PROTECTION AND PLANTINGS. RESTORE PERIMETER AREAS TO MATCH EXISTING CONDITIONS AND AS PRESCRIBED. STABILIZE DISTURBED AREAS. VEGETATED AREAS MUST ACHIEVE A MINIMUM UNIFORM 75% PERENNIAL VEGETATIVE COVER OVER THE ENTIRE DISTURBED AREA TO BE STABILIZED.
- CONTINUE DAILY MAINTENANCE AND INSPECTIONS UNTIL APPROVED BY OWNER AND/OR ENGINEER TO TERMINATE PERMIT COVERAGE.

MOTLEY 7 BREW, LLC
7 BREW
 SPRINGBORO, OH

785 W CENTRAL AVENUE
 SPRINGBORO, OH 45066

PROJECT NO: 10020112.03
 DATE ISSUED: 05/24/2024
 DESIGNED BY: TAB
 DRAWN BY: CMB
 CHECKED BY: SRK

SHEET NAME: EROSION CONTROL PLAN

SHEET NO: C-311

Ohio Utilities Protection Service
Call 811
 before you dig

0 20 40 60
 GRAPHIC SCALE IN FEET

LEGEND

	SANITARY
	STORM
WTR	WATER
UE	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELEPHONE
	CATCH BASIN
	CLEANOUT

NOTES

1. SEE SHEET C-002 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
3. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND MEP PLANS FOR CONTINUATION INTO BUILDING.
4. ALL PROPOSED PIPE SLOPES SHOWN ARE MINIMUM REQUIRED. CONTRACTOR SHALL CONFIRM ACTUAL SLOPES REQUIRED BASED ON EXISTING INVERT ELEVATIONS.
5. CONTRACTOR TO PRACTICE CAUTION WHEN WORKING IN AREA OF EXISTING UTILITIES.

KEYNOTES

1. CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS. CONTRACTOR TO VERIFY LOCATION, SIZE, AND ELEVATION OF UTILITY AT PROPOSED CONNECTION POINT.
2. MINIMUM 18" VERTICAL CLEARANCE AT UTILITY CROSSING.
3. (1)~4" SECONDARY UNDERGROUND ELECTRIC. ROUTING OF PROPOSED ELECTRIC UTILITY AND POINT OF CONNECTION SHOWN IS APPROXIMATE. CONTRACTOR TO COORDINATE WITH ELECTRIC UTILITY PROVIDER TO DETERMINE FINAL LOCATION PRIOR TO INSTALLATION OF ELECTRIC SERVICE LINE.
4. (2)~2" UNDERGROUND TELEPHONE. ROUTING OF PROPOSED COMMUNICATION UTILITY AND POINT OF CONNECTION SHOWN IS APPROXIMATE. CONTRACTOR TO COORDINATE WITH COMMUNICATION UTILITY PROVIDER TO DETERMINE FINAL LOCATION PRIOR TO INSTALLATION OF COMMUNICATION SERVICE LINE.
5. 1" WATER SERVICE LINE. INSTALL AT A MINIMUM DEPTH OF 48".
6. 1" WATER METER & VALVE.
7. 125 GALLON SCHIER GB-75 GREASE INTERCEPTOR WITH TRAFFIC RATED CAST IRON COVER, PER MEP PLANS.
8. 8" PVC SDR-35 DOWNSPOUT AT 1% SLOPE.
9. PAD MOUNTED TRANSFORMER, SEE MEP PLANS.
10. 4" UNDER DRAIN, SEE DETAIL DD-1 ON C-804.
11. 4" PVC CONNECTION FOR SUMP PUMP DISCHARGE AT 1% MINIMUM SLOPE).
12. CONTRACTOR TO FIELD VERIFY EXISTING SANITARY SERVICE CONNECTION AND REUSE. IF THE EXISTING SERVICE CONNECTION CANNOT BE LOCATED OR REUSED, ADD NEW CONNECTION AS SHOWN ON PLANS.
13. CONCRETE ENCASE STORM PIPE.

SANITARY STRUCTURE TABLE

STRUCTURE ID	DESCRIPTION	RIM	INVERT
1.0	CONNECT TO EXISTING SERVICE CONNECTION	N/A	6" = 809.80 (W)
1.1	VERTICAL BEND	N/A	6" = 818.30 (W) 6" = 818.30 (E)
1.2	CLEAN OUT	821.39	6" = 818.89 (NW) 6" = 818.89 (E)
1.3	CLEAN OUT	822.78	6" = 819.21 (NW) 6" = 819.21 (SE) 6" = 819.21 (N)
1.4	CLEAN OUT	822.92	6" = 819.40 (N) 6" = 819.40 (SE)
1.5	BUILDING CONNECTION	N/A	6" = 819.90 (S)
1.6	GREASE INTERCEPTER	N/A	6" = 819.41 (N)
1.7	BUILDING CONNECTION	N/A	6" = 819.90 (S)

MOTLEY 7 BREW, LLC

7 BREW

SPRINGBORO, OH

PROJECT NO: 10020112.03
DATE ISSUED: 05/24/2024

DESIGNED BY: TAB
DRAWN BY: CMB
CHECKED BY: SPK

SHEET NAME:
UTILITY PLAN

SHEET NO:

C-401

The logo for Ohio Utilities Protection Service. It features the company name in a black, sans-serif font at the top. Below it is a large, bold 'Call 811' in black. A black silhouette of a shovel is positioned behind the '11'. A thick black swoosh starts from the end of the '11' and curves down and to the right. In the bottom right corner of the swoosh, there is a small vertical rectangle with the number '0' in it.



before you dig



GRAPHIC SCALE IN FEET

Digitized by srujanika@gmail.com

SHEET NO:

C-401

Luminaire Schedule					
SYMBOL	QTY	ARRANGEMENT	LLF	DESCRIPTION	LUM. WATTS
	61	Single	0.900	SMD6R69SWH - 3000K	8.9
	4	Single	1.000	DSX1 LED P3 30K BLC MVOLT	102
	1	Single	0.900	VWPx-L30-730-T3-xxx-CGL-DIM-UNV	27

CALCULATION SUMMARY						
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN	
-	N.A.	N.A.	N.A.	N.A.	N.A.	
PROPERTY LINE	N.A.	0.8	0.0	N.A.	N.A.	
PAVEMENT	3.96	29.7	0.2	19.80	148.50	

MOUNTING HEIGHT (MH) VARIES SEE FIXTURE LABEL ON PLAN

HORIZONTAL MEASUREMENTS TAKEN ALONG A HORIZONTAL PLANE AT GRADE

REFER TO ARCHITECTURAL DESIGN PLANS FOR LIGHT POLE BASE DETAIL.

N

PROJECT NO: 10020112.03
DATE ISSUED: 05/24/2024
DESIGNED BY: TAB
DRAWN BY: CMB
CHECKED BY: SRK

SHEET NAME:
PHOTOMETRIC PLAN

SHEET NO:

C-701

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner APPLICANT NAME: Bayer Becker
 Agent
 Lessee Address 6900 Tylersville Road, Suite A
 Signed Purchase Contract Mason, Ohio 45040

Telephone No. (513) 492-9832

Fax No. ()

Email Address johndelverne@bayerbecker.com

PROPERTY OWNER NAME (IF OTHER): Eastbrook Farms Inc.

Address: 3000 Henkle Dr.
Lebanon, OH 45036

Telephone No. (513) 932-6090

Property Address or General Location: Clearcreek Franklin Rd & W Central Ave

Parcel Number(s): 0414301005 Zoning District: R-2

Proposed Use: R-2 low density single family residential

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

(Signature of Applicant and/or Agent) (Date)

John S. Del Verne, P.E.

Printed Name

City of Springboro Planning Commission

Preliminary Review Submission Requirements for Site Plan Review Process

The following information is needed in support of the preliminary review of plans as part of the Site Plan Review process.

Visit the City of Springboro website for application form at

<https://www.cityofspringboro.com/199/Applications>. Contact City staff at (937) 748-6183 for fee information.

Visit the Planning Commission page on the City website for updated meeting and deadline information at

<https://www.cityofspringboro.com/283/Planning-Commission>.

1. Six (6) copies drawn to a scale not smaller than forty (40) feet to an inch. All paper plan sets to be collated and folded. All drawings to include a graphic scale matched to the subject matter.
2. A pdf version of the site plan prepared in 11-inch by 17-inch format.
3. Signature of the Owner or duly authorized officer, or a letter of authorization from the property for third parties to present plans to the City.
4. Vicinity sketch showing location of site in relation to surrounding street system. Show an arrow pointing north.
5. Color rendition of each elevation, drawn to scale, clearly indicating exterior building materials and including a materials board. Indicate building size, location, height, and floor area for proposed buildings as well as existing ones to be retained.
6. Boundary lines including bearing and distances. Also indicate location of proposed buildings with distances to adjacent property lines.
7. Existing topography and contours with one-foot intervals.
8. Existing vegetation on the site including vegetation proposed to remain. Dimension all vegetation larger than 4 inches dbh. Also indicate all streams, lakes, or ponds and man-made features such as existing roads and structures with indications as to which are to be retained and which are to be altered.
9. Proposed streets, driveways, parking spaces, loading spaces, sidewalks, with indication of direction of travel for one-way streets, if any.
10. Development standards for the site including setbacks, building heights, and off-street parking calculations including parking required and proposed.
11. Existing zoning of the property and for properties immediately adjacent.
12. Proposed and specific usage of land and all structures thereon including projected building occupancy at build out.
13. Additional information required by City Code as directed by City staff.

See also Final Approval Submission Requirements for Site Plan Review including those related to traffic impact, exterior lighting, landscaping, and other site plan elements as outlined in Chapter 1284, Site Plan Review, of the Planning and Zoning Code. For more information, visit

<https://www.cityofspringboro.com/210/Ordinances-Laws>.

Revised September 2020.

City of Springboro Planning Commission

Final Approval Submission Requirements for Site Plan Review Process

The following information is needed in support of the preliminary review of plans as part of the Site Plan Review process.

Visit the City of Springboro website for application form at

<https://www.cityofspringboro.com/199/Applications>. Contact City staff at (937) 748-6183 for fee information.

Visit the Planning Commission page on the City website for updated meeting and deadline information at

<https://www.cityofspringboro.com/283/Planning-Commission>.

1. Six (6) copies drawn to a scale not smaller than forty (40) feet to an inch. All paper plan sets to be collated and folded. All drawings to include a graphic scale matched to the subject matter.
2. A pdf version of the site plan prepared in 11-inch by 17-inch format.
3. Signature of the Owner or duly authorized officer, or a letter of authorization from the property for third parties to present plans to the City.
4. Vicinity sketch showing location of site in relation to surrounding street system. Show an arrow pointing north.
5. Color rendition of each building elevation, drawn to scale, clearly indicating exterior building materials, and samples board of all exterior building materials.
6. Elements pertaining to contours, drainage, design, etc. to be prepared and certified by a professional engineer or landscape architect licensed in the state of Ohio.
7. The legal description of the land included on the site plan or boundary dimensions based upon a field survey, and the names, addresses and telephone numbers of the owner, developer and designer.
8. Boundary lines including bearing and distances. Also indicate location of proposed buildings with distances to adjacent property lines.
9. Existing and proposed grades and drainage systems and structures with topographic contours at intervals not exceeding:
 - a. One foot for slopes zero degrees to six degrees
 - b. Two feet for slopes six degrees to eighteen degrees; and
 - c. Five feet for slopes over eighteen degrees
 - d. Elevation and contours shall be based upon USGS datum and identify benchmark utilized.
10. Existing vegetation on the site including vegetation proposed to remain. Dimension all vegetation larger than 4 inches dbh. Also indicate all streams, lakes, or ponds and man-made features such as existing roads and structures with indications as to which are to be retained and which are to be altered.
11. Existing zoning of the property and for properties immediately adjacent.
12. Development standards for the site including setbacks, building heights, and off-street parking calculations including parking required and proposed. Also indicate information on proposed building placement relative to existing/proposed property lines.
13. Shape, size, location, height and floor area of all existing and proposed structures, and the estimated finished ground and basement floor grades with indication as to which are to be retained and which are to be removed.
14. Proposed streets, driveways, parking spaces, loading spaces and sidewalks, section and geometric. The width of streets, drives and sidewalks and total number of parking spaces.
15. Location and size of all existing and proposed public and private utilities, sanitary services and waste disposal facilities with indications as to which shall be retained/ removed.
16. Proposed and specific usage of land and all structures thereon including projected building occupancy at build out.
17. Location and dimensions of all on-site recreation areas and type of recreation to be conducted thereon.
18. All proposed landscaping, mounding, fences or walls.

19. Location, intensity and orientation and catalog cuttings of all exterior lighting. All exterior lighting shall have a maximum 3500° Kelvin color-temperature. Provide in foot-candles the luminance level produced by the proposed lighting.
20. Detailed plans of all drainage including as to how staging is to proceed.
21. Erosion and sediment control measures.
22. If staged development, general indication as to how staging is to proceed.
23. Any other information necessary to establish compliance with this or any other ordinance.
24. An "AS BUILT" drawing showing as built location and elevations of all improvement shall be submitted prior to the issuance of an occupancy permit.
25. Additional information required by City Code as directed by City staff.

See also Final Approval Submission Requirements for Site Plan Review including those related to traffic impact, exterior lighting, landscaping, and other site plan elements as outlined in Chapter 1284, Site Plan Review, of the Planning and Zoning Code. For more information, visit

<https://www.cityofspringboro.com/210/Ordinances-Laws>.

Revised September 2020.



BUNNELL HILL
DEVELOPMENT COMPANY, INC

3000 HENKLE DRIVE SUITE G LEBANON, OH 45036 | TEL: 513.932.6090 FAX: 513.932.1237 | WWW.HSABH.COM

April 18, 2024

To Whom It May Concern,

Michael T. Schueler as owner and representative member of Eastbrook Farms Inc., Bunnell Hill Development and of parcel #0414301005 Located in Springboro Ohio, authorize John S. Del Verne and or Bayer Becker, to present a preliminary plan for the proposed Eastbrook Farms Subdivision on my behalf.

Sincerely,

Eastbrook Farms Inc.

Roger Wells
Senior Developer
Bunnell Hill Development

Office: 513.932.6010
Direct: 513.228.6201
Cell: 513.470.2884
Rwells@hsabh.com



Real Estate Services | **Development** | Construction



John Del Verne

From: John Del Verne
Sent: Tuesday, May 7, 2024 1:50 PM
To: September Bee; Allie Ernst; rwell@hsabh.com
Cc: Dan Boron
Subject: RE: Agenda Item and Staff Comments for City of Springboro Planning Commission Meeting, May 8, 2024, 6 pm, Council Chambers, 320 W Central Avenue
Attachments: 23-0256 Eastbrook Farms Preliminary Plan 240507.pdf

September and Dan,

Attached is an updated plan which addresses several of the review comments. Our responses to each comment are as follows:

1. Change subdivision name to Eastbrook Farms, Section One. *The subdivision name was changed to Eastbrook Farms Section 1.*
2. Proposed development signage, if desired, subject to review by Zoning Inspector. *Added note #8 to sheet PL1.0, "Proposed development signage is subject to review by Zoning Inspector."*
3. Architectural plans to be consistent with Section 1264.06 of Planning and Zoning Code. *Understood. Added note #9 to sheet PL1.0, "Architectural plans to be consistent with Section 1264.06 of Planning and Zoning Code."*
4. The proposed retention pond is in the path of the future stub street to the south. Keep detention pond/drainage easement outside of future right of way limits of the stub street. *The detention basin easement was intentionally extended to the west side of Street B to provide access to the HOA. In addition, the basin limits are positioned east of the Street B right of way. Our thoughts are when Street B is extended south, a fill be required adjacent to the west side of the detention basin dam to construct the roadway, the outlet pipe will be extended to the west side of the roadway to drain to the existing waterway, and public right of way will be platted over the easement area. Please consider this strategy and let us know if you have any concerns.*
5. Only 19 lots are permitted to be platted prior to second entrance being constructed and platted. *Understood.*
6. Provide easement language, and exhibits, for east end of property including larger Eastbrook Farms property. *The property owner is willing to work with the city regarding this request. Our understanding is that the city has hired a consultant to define the path alignment through this property. We request that the city provide this alignment along with the easement language for review by the owner.*
7. Provide central mailbox unit, which shall also be reviewed by postmaster. *Understood. Per note #7 on sheet PL1.0, "Locations of CBU's are to be shown with detailed plan submission."*

Please contact me with any questions.

Thank you,

 **John S. Del Verne, P.E.**
Principal

O: (513) 492-9832
M: (513) 309-0278
E: johndelverne@bayerbecker.com

bayerbecker.com

[mason](#) | [cincinnati](#) | [ft. mitchell](#) | [oxford](#) | [indianapolis](#)



From: September Bee <september.bee@cityofspringboro.com>

Sent: Friday, May 3, 2024 3:47 PM

To: Allie Ernst <allieernst@bayerbecker.com>; John Del Verne <johndelverne@bayerbecker.com>; rwells@hsabh.com

Cc: Dan Boron <danb@cityofspringboro.com>

Subject: Agenda Item and Staff Comments for City of Springboro Planning Commission Meeting, May 8, 2024, 6 pm, Council Chambers, 320 W Central Avenue

Good Afternoon,

Enclosed are the staff comments and background information for the agenda of the Wednesday, May 8, 2024 Planning Commission Meeting.

City staff has identified the following comments for this agenda item

D. Preliminary Review

Preliminary Subdivision Plan, Northeast Corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, residential subdivision

Background Information

This agenda item is a request for preliminary subdivision review of the proposed Eastbrook Farms subdivision located northeast of the intersection of West Central Avenue (SR 73) and Clearcreek-Franklin Road. The application was submitted on behalf of Eastbrook Farms, Inc., Lebanon, property owner. The proposal includes the development of 45 residential lots on 13.18 acres of land on the northern portion of the 83.12-acre Eastbrook Farm; the 83.12-acre property extends south to West Central Avenue (SR 73); there are no current plans to develop the remaining 66.94 acres on the parent lot. The proposed subdivision abuts the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions to the north.

The subject property is zoned R-2, Low-Density Residential District. The R-2 District allows residential development at a density of four dwelling units per acre on lots no smaller than 9,000 square feet; the proposed subdivision is consistent with the R-2 District development standards. The applicants propose 45 residential lots along a street parallel to Whispering Pines. Access to the subdivision would be from Clearcreek-Franklin Road to the west and Evergreen Drive to the north. The subdivision proposes two stub streets to the south; one at an extension of Evergreen Drive, and another at the midpoint of the subdivision. Open space is provided with one lot in the interior of the subdivision, and on the east portion of the subject property along Twin Creek. Proposed lots range in size from 9,375 square feet (34 lots) to 14,337 square feet.

Adjacent land uses are single-family residential to the north within the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions, single-family residential to the east within the Wood Ridge subdivision, vacant land comprises the remaining 69.94 acres within the Eastbrook Farm property, and single-family residential to the west on the west side of Clearcreek-Franklin Road both in Franklin Township and Springboro. To the northwest is the Sanctuary assisted living facility.

Adjacent zoning includes R-2 District to the north within the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions, PUD, Planned Unit Development, to east within the Wood Ridge subdivision, O, Office District, to the south for the remainder of the Eastbrook Farm property, and to the

west PUD-R for the Sanctuary assisted living facility, R-2 for a lot to the south (8617 Clearcreek-Franklin) within the City, and Franklin Township R2, Rural Residence District (6593 Clearcreek-Franklin).

All property owners within 300 feet of the 83.12-acre property were notified by courtesy letter of the May 8 review, with information on how to access the subdivision application, and details about the meeting.

Staff Comments

1. Change subdivision name to Eastbrook Farms, Section One.
2. Proposed development signage, if desired, subject to review by Zoning Inspector.
3. Architectural plans to be consistent with Section 1264.06 of Planning and Zoning Code.
4. The proposed retention pond is in the path of the future stub street to the south. Keep detention pond/drainage easement outside of future right of way limits of the stub street.
5. Only 19 lots are permitted to be platted prior to second entrance being constructed and platted.
6. Provide easement language, and exhibits, for east end of property including larger Eastbrook Farms property.
7. Provide central mailbox unit, which shall also be reviewed by postmaster.

This is the fourth item on the agenda; the meeting begins at 6:00 p.m. and will take place in Council Chambers in the City building at 320 West Central Avenue, Springboro, Ohio.

It is always recommended that the applicant attend the meeting in the event any questions arise or comments are made on the part of Planning Commission.

If you have any questions feel free to drop me a line by e-mail or by phone. See you Wednesday.

Sincerely,

Dan

Dan Boron, AICP
Planning Consultant, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066
(937) 748-6183
(937) 748-0815 fax

September Bee
Planning Assistant, City of Springboro
320 West Central Avenue
Springboro, OH 45066
937-748-9791 ext. 2741
937-657-5792 cell

NOTES:

- LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND DRAWN BASED OFF RECORD DRAWINGS FROM THE CITY OF SPRINGBORO.
- THE FINAL PLAN FOR THE SUBDIVISION WILL SHOW EXISTING VEGETATION ONCE SITE SURVEY IS COMPLETED.
- MINOR PLAN ADJUSTMENTS MAY BE MADE UPON COMPLETION OF THE SITE SURVEY & DETAILED PLANS.
- PER THE PRELIMINARY WATERS ASSESSMENT SUMMARY LETTER, APPROVED ON MARCH 22, 2023, AND APRIL 7, 2023, TWIN CREEK AND WETLAND WERE IDENTIFIED AS JURISDICTIONAL. NO OTHER JURISDICTIONAL WATERS WERE LOCATED ON THE SITE.
- A LANDSCAPE PLAN WILL BE SUBMITTED TO THE CITY FOR REVIEW WITH THE SITE CONSTRUCTION DRAWINGS.
- A TRAFFIC IMPACT STUDY WAS SUBMITTED TO THE CITY FOR REVIEW ON APRIL 10, 2024.
- LOCATION OF CBU'S IS TO BE SHOWN WITH DETAILED PLAN SUBMISSION.

EASTBROOK FARMS PRELIMINARY PLAN

SECTION 14, TOWN 2, RANGE 5

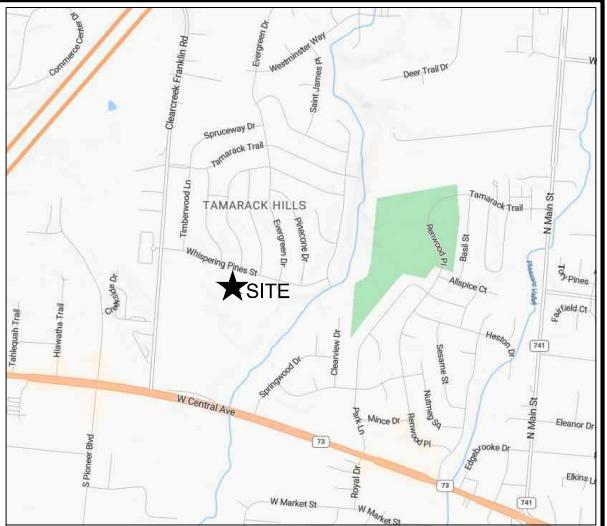
CITY OF SPRINGBORO

WARREN COUNTY

APRIL 19, 2024

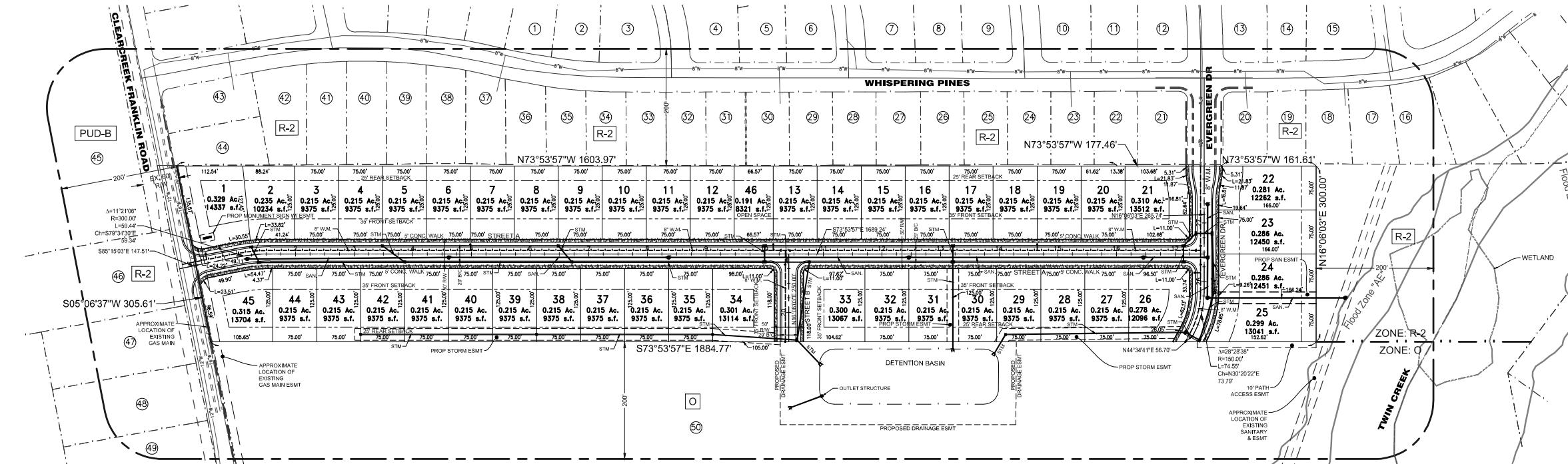
INDEX OF SHEETS:

PL1.0 PRELIMINARY PLAN
PL1.1 PRELIMINARY GRADING PLAN



VICINITY MAP

NOT TO SCALE

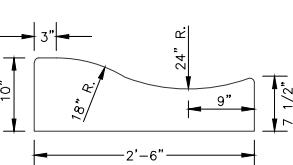


ADJACENT PROPERTY OWNERS:

- ① RAABE, GIANNINA FRANCESCA PARCEL#0414105037
- ② ARCHER, MATTHEW & AMANDA N PARCEL#0414105038
- ③ MORT, JUSTIN W. PARCEL#0414105039
- ④ SHAFFER, TYREL PARCEL#0414151027
- ⑤ HAMLN, KURT J & MORGAN C PARCEL#0414151028
- ⑥ FRAZIER, BRANDON J & BYRON R PARCEL#0414151029
- ⑦ KEMPER, CYNTHIA A & COX, EVA MAE PARCEL#0414152037
- ⑧ LOWE, BONNIE L PARCEL#0414152038
- ⑨ DAHM, SARAH M. PARCEL#0414152039
- ⑩ TONKIN, KELLY E. & SNEED, BRADLEY PARCEL#0414176041
- ⑪ PATRICK, SAMUEL & JACQUELINE PARCEL#0414176042
- ⑫ WOLFE, JOHN R. PARCEL#0414176043
- ⑬ LUTHER, LINDA S. TRUSTEE PARCEL#0414177031
- ⑭ ROSS, MICHELE L. ETAL PARCEL#0414177032
- ⑮ DERMISS, GEORGE & SONIA PARCEL#0414177033
- ⑯ SHEFFLER, TEENA MARIE PARCEL#0414326001
- ⑰ FERGUSON, CHRISTINA PARCEL#0414179004
- ⑱ NADEAU, JAMES R. PARCEL#0414179003
- ⑲ KURTZ, CHARLENE PARCEL#0414179002
- ⑳ TILLMAN, BEVERLY A. PARCEL#0414179001
- ㉑ BERRIOS, YACMET A COLON PARCEL#0414153008
- ㉒ BAKER, GARY L, SR & PENNINGTON, MELISSA PARCEL#0414153023
- ㉓ BLAKE, MORGAN T. & KARI PARCEL#0414153022
- ㉔ ESTEP, KYLE AMY PARCEL#0414153021
- ㉕ GREER, ANDREW PARCEL#0414153020
- ㉖ ASHLEY, RUSTY PARCEL#0414153019
- ㉗ DAVIDSON, BRITTANY PARCEL#0414153018
- ㉘ SPITLER, ELIOT B. PARCEL#0414153017
- ㉙ BODEY, MICHAEL & LINDA PARCEL#0414153016
- ㉚ MALONE, JULIET T PARCEL#0414153015
- ㉛ CLARK, RUBY L. PARCEL#0414153014
- ㉜ FRECHETTE, MARC J & CARRILLO, MARIA PARCEL#0414153013
- ㉝ VAN LEEUWEN, ANDREW R. & MELANIE PARCEL#0414153012
- ㉞ WOODS, JOYCE A. PARCEL#0414153011
- ㉟ CUMMINS, DANIEL & DEANNA PARCEL#0414153010
- ㉟ EASTBROOK FARMS INC PARCEL#0414130105
- ㉟ FRECHETTE, MARC J & CARRILLO, MARIA G PARCEL#0414153009
- ㉟ BAUER, SCOTT C. & SHAVONNE L., TRUSTEES PARCEL#0414153008
- ㉟ WEHNER, MARLENE C., REVOC LIVING TRUST PARCEL#0414153007
- ㉟ WOOLERY, BRENT T. & SHIRLEY A. PARCEL#0414153006
- ㉟ THOMPSON, JAMES E. & LAUREL A. PARCEL#0414153005
- ㉟ SLOAN, MALACHI, III PARCEL#0414153004
- ㉟ BLAKLEY, ANDREW D PARCEL#0414153003
- ㉟ TROMBLEY, SUSANNE PARCEL#0414153001
- ㉟ COX, ROGER T. & MARY ANN PARCEL#0414153002
- ㉟ SANCTUARY OF SPRINGBORO OHIO PARCEL#0420276017
- ㉟ CHAMBERLAIN, JACKLIN PARCEL#0420276001
- ㉟ CAULEY, CLAYTON R. PARCEL#0420276002
- ㉟ NGUYEN, OANH THI & HUONG T PARCEL#0420276003
- ㉟ THOMAS, JANIS D. PARCEL#0420276004
- ㉟ EASTBROOK FARMS INC PARCEL#0414130105

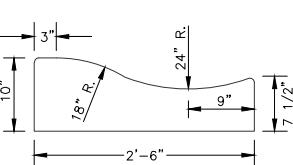
CONCRETE CURB & GUTTER

NOT TO SCALE



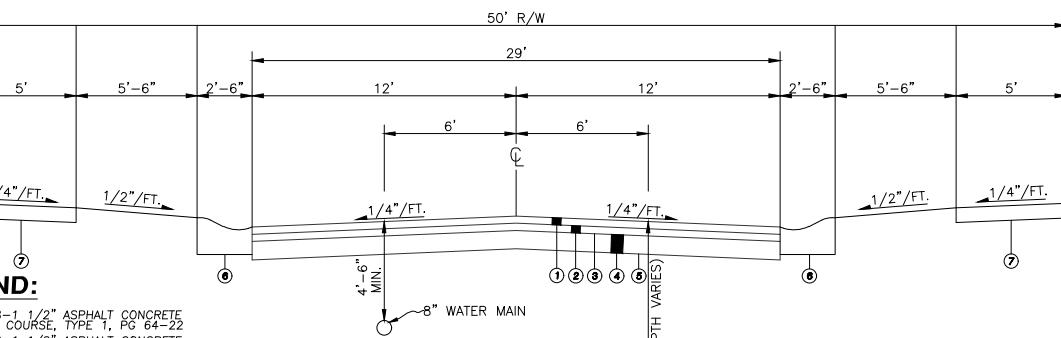
CONCRETE CURB & GUTTER

NOT TO SCALE



TYPICAL LOCAL STREET SECTION

NOT TO SCALE



LEGEND:

- ① ITEM 448-1 1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG 64-22
- ② ITEM 448-1 1/2" ASPHALT CONCRETE LEVELING COURSE, TYPE 1, PG 64-22
- ③ ITEM 407 TACK COAT (ONE TENTH GALLON PER SQUARE YARD)
- ④ ITEM 301 5" ASPHALTIC CONCRETE BASE (2-2 1/2" COURSES)
- ⑤ ITEM 204 SUBGRADE COMPACTION
- ⑥ ITEM 609 CONCRETE CURB AND GUTTER
- ⑦ ITEM 608 CONCRETE WALK
- ⑧ 4'-6" MIN. (DEPTH VARIES)
- ⑨ 8" WATER MAIN
- ⑩ 8" SANITARY MAIN

TYPICAL LOT DETAIL

SCALE: 1"=40'

LOT AREA: 9,000 SF MINIMUM (75'X120')
SETBACKS: 25' FRONT SETBACK
25' REAR SETBACK
5' SIDE SETBACK
MINIMUM BUILDING FLOOR AREA: 1,250 SF

Sheet: PL1.0

EASTBROOK FARMS PRELIMINARY PLAN

SECTION 14, TOWN 2, RANGE 5
CITY OF SPRINGBORO
WARREN COUNTY

PRELIMINARY PLAN



www.bayerbecker.com
6900 Tylersville Road, Suite A
Mason, OH 45040-5133, 6500



VICINITY MAP

NOT TO SCALE

OWNER

EASTBROOK FARMS INC.
3000 HENKLE DR
LEBANON, OH 45036

DEVELOPER

BUNNELL HILL DEVELOPMENT
3000 HENKLE DR
LEBANON, OH 45036

ENGINEER/SURVEYOR LANDSCAPE ARCHITECTS

BAYER BECKER
6900 TYLERSVILLE ROAD, SUITE A
MASON, OH 45040

ZONING SUMMARY

TOTAL PROPERTY AREA = 13.18 AC
EXISTING ZONING: R-2 (LOW DENSITY RESIDENTIAL DISTRICT)

LOT COUNT:
45 SINGLE FAMILY LOTS
1 OPEN SPACE LOTS
TOTAL LOTS: 46

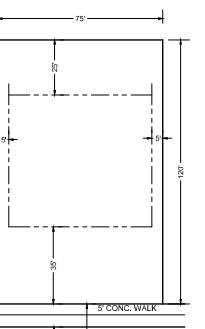
DENSITY:
45 UNITS/13.18AC = 3.41 UNITS/AC

REQUIRED SETBACKS:
FRONT: 35'
REAR: 25'
SIDE: 5'

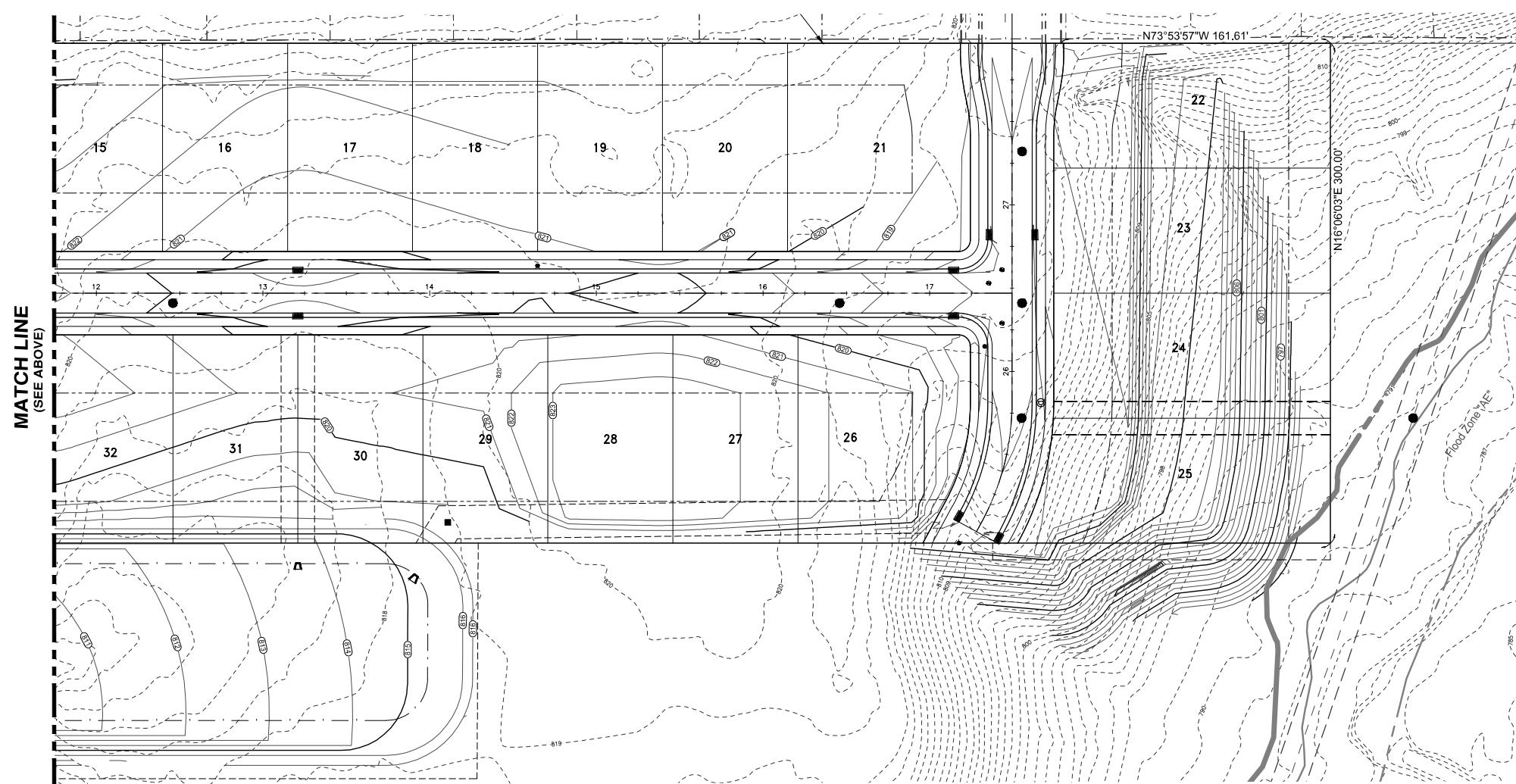
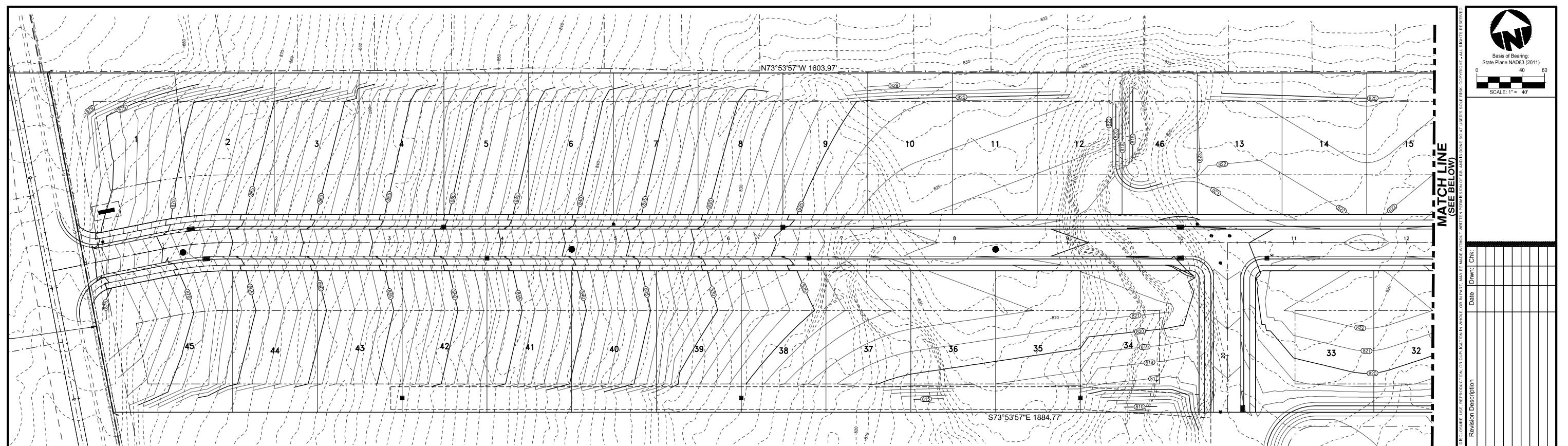
OPEN SPACE:

OPEN SPACE PROVIDED: 0.19 AC (1.4%)

*R-2 DEVELOPMENT STANDARDS DO NOT REQUIRE OPEN SPACE



Drawing: 23-0256.PP
Drawn by: ACE
Checked by: JSD
Issue Date: 04/19/2024



**EASTBROOK FARMS
PRELIMINARY PLAN**

SECTION 14, TOWN 2, RANGE 5
CITY OF SPRINGBORO
WARREN COUNTY

PRELIMINARY GRADING PLAN



www.bayerbecker.com

6000 Tuckersville Road, Suite A
Mason, OH 45040 - 513.336.6600

Drawing: 23-0256 PP
Drawn by: ACE
Checked By: JSD
Issue Date: 04/19/2024

PL1.1

1,683-2,990 SQFT

1 Story/Opt. Loft

2-4 Bedrooms

2-3 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



American Classic



Coastal Cottage



Modern Retreat



Modern Prairie



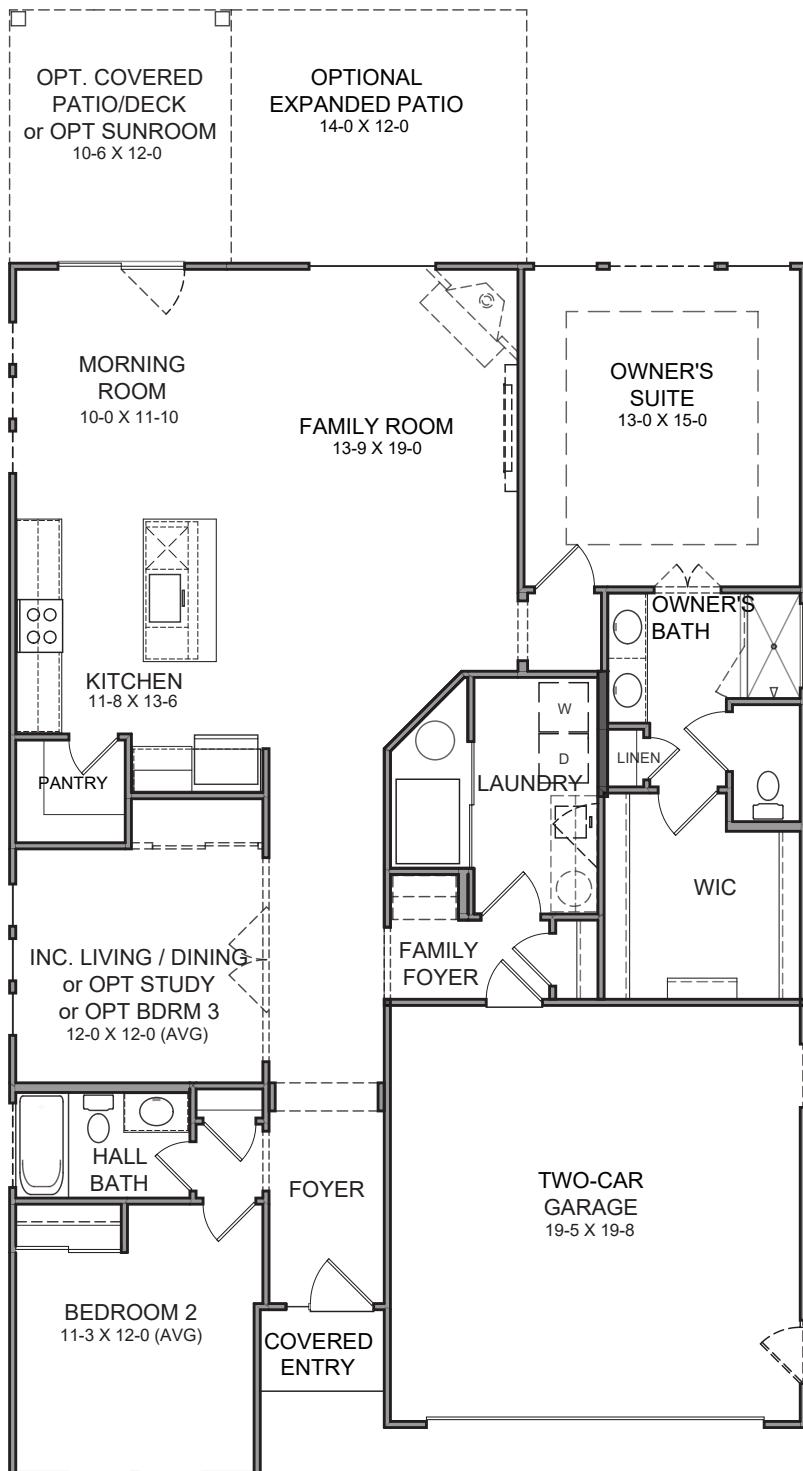
Modern Farmhouse



Nantucket Retreat



Photos, Options,
Virtual Tours
& More



Design Features:

- Extra Large Family Room, open to Kitchen
- Optional Basement or Optional Loft
- Optional Sunroom with Optional Expanded Patio and Deck Options
- Optional direct access to Laundry from Owner's Walk-in Closet
- 6 Optional Exterior Designs



THE CAMDEN

DESIGNER COLLECTION

1,859-2811 SQFT

1 Story/Opt. Loft

2-4 Bedrooms

2-3 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



Photos, Options,
Virtual Tours
& More

Coastal Cottage



American Classic



Modern Retreat



INCLUDED FIRST FLOOR DESIGN



■ Design Features:

- Spacious and centralized Family Room and Kitchen
- Included Outdoor Space, visible from Main Living and Dining functions
- Optional Study or Optional Bedroom 3
- Optional Basement or Optional Loft
- Large Owner's Walk-in Closet and Optional Owner's Luxury Shower



THE EDENTON

DESIGNER COLLECTION

1,501-2440 SQFT

1 Story/Opt. Loft

2-3 Bedrooms

2-3 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



Photos, Options,
Virtual Tours
& More

American Classic

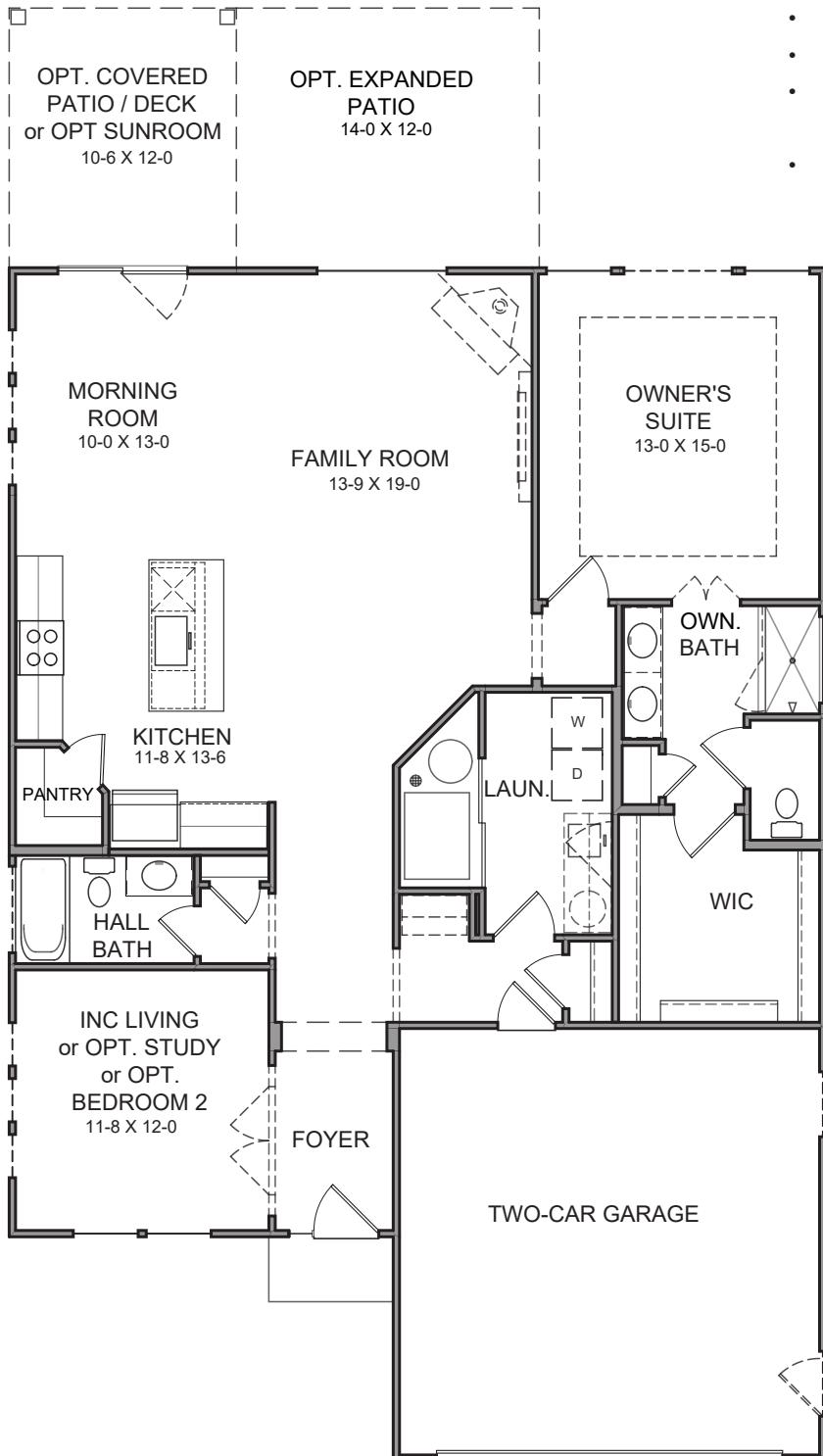


Coastal Cottage



Modern Retreat





Design Features:

- Extra Large Family Room, open to Kitchen
- Optional Basement or Optional Loft
- Optional Sunroom with Optional Expanded Patio and Deck Options
- Optional direct access to Laundry from Owner's Walk-in Closet



THE MAXWELL

DESIGNER COLLECTION

1,856-3023 SQFT

1 Story/Opt. Loft

2-4 Bedrooms

2-3 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



American Classic

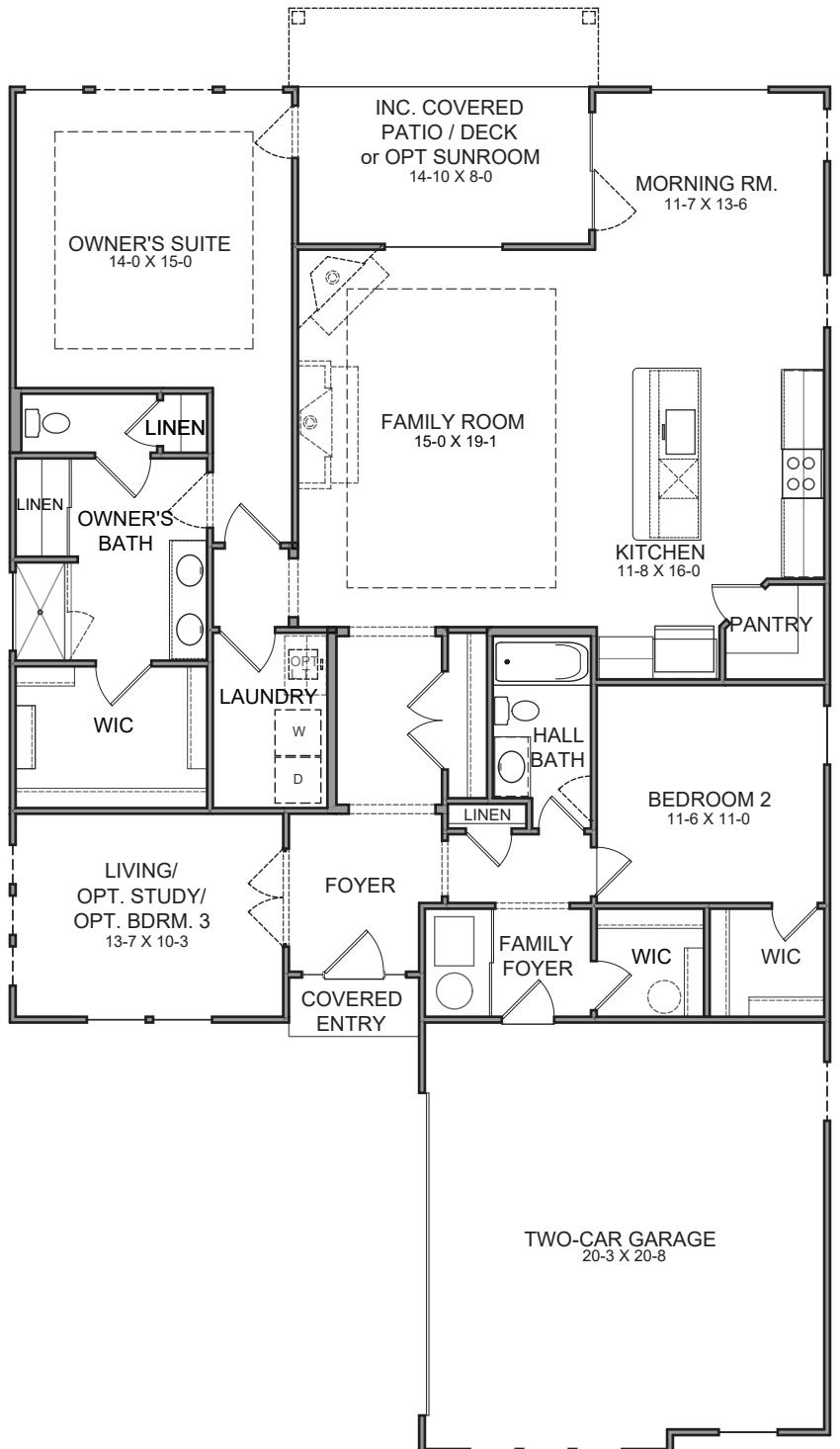


Coastal Cottage



Modern Retreat





Design Features:

- Courtyard entry garage
- Expansive Family Room
- Morning Room connected to included outdoor living
- Optional Basement or Optional Loft
- Optional Study or Optional Bedroom 3



THE MORGAN

DESIGNER COLLECTION

1,810-2,762 SQFT

1 Story/Opt. Loft

2-4 Bedrooms

2-3 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



Photos, Options,
Virtual Tours
& More

Coastal Cottage



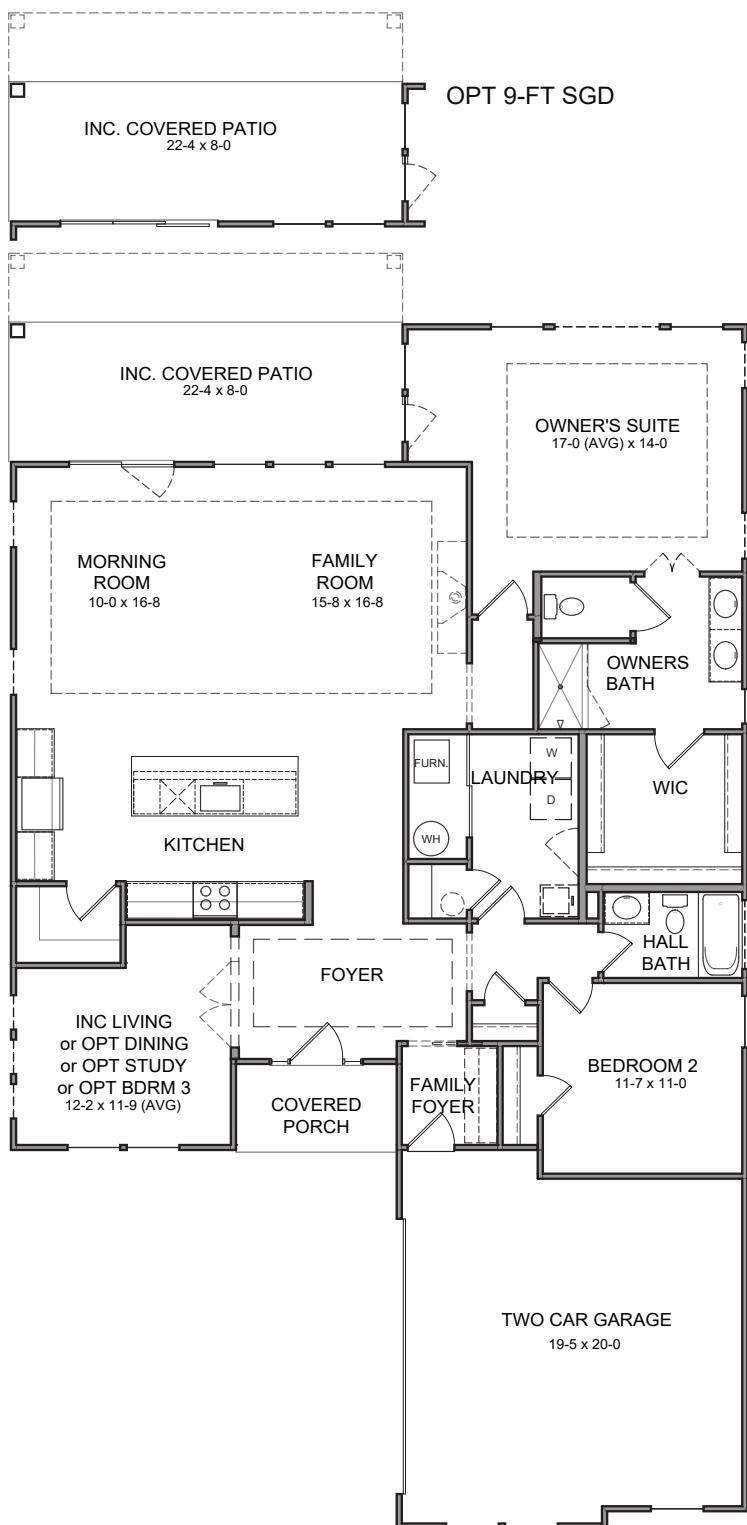
American Classic



Modern Retreat



INCLUDED FIRST FLOOR DESIGN



Design Features:

- Courtyard entry garage
- Included, very large Outdoor Living
- Foyer provides easy circulation to all main functions
- Optional Raised ceiling in Family Room and Foyer
- Optional Basement or Optional Loft
- Private Hall to Owner's Suite
- Owner's Suite Bath is spacious with extra large Walk-in Closet and Optional door to Laundry



THE WILMINGTON

DESIGNER COLLECTION

1,725-3,063 SQFT

1 Story/Opt. Loft

2-4 Bedrooms

2-3 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



Photos, Options,
Virtual Tours
& More

American Classic

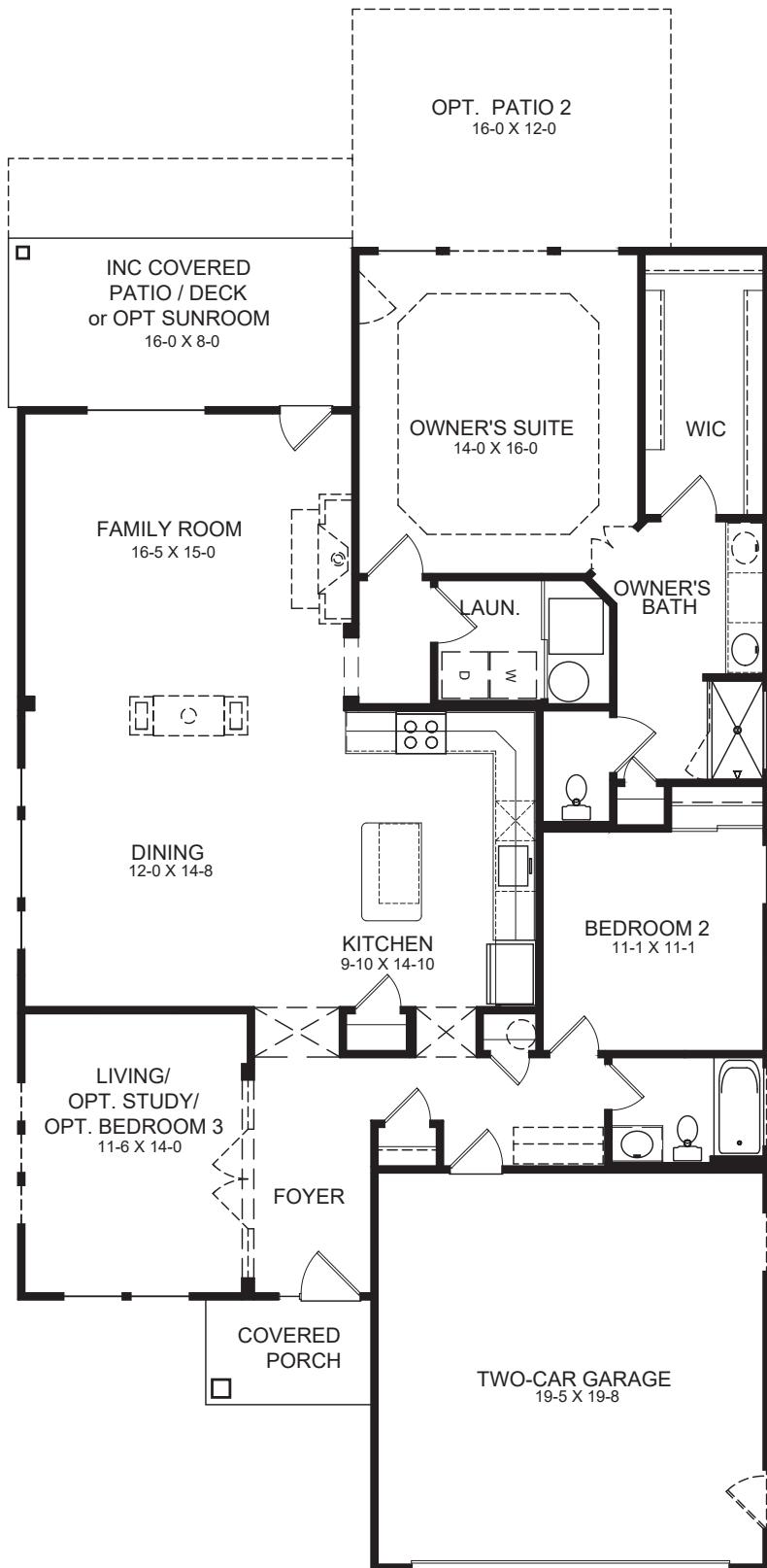


Coastal Cottage



Modern Retreat





Design Features:

- Large Dining space integrated with Kitchen
- Optional Basement or Optional Loft
- Included Outdoor Living
- Optional Study or Optional Bedroom 3
- Private Entry to Owner's Suite
- Extra Large Owner's Walk-in Closet



THE AVERY DESIGNER COLLECTION

2,535 SQFT

2 Story

4 Bedrooms

2-4 Baths



Photos, Options,
Virtual Tours
& More

Urban Modern



Coastal Cottage



Modern Farmhouse



Western Craftsman

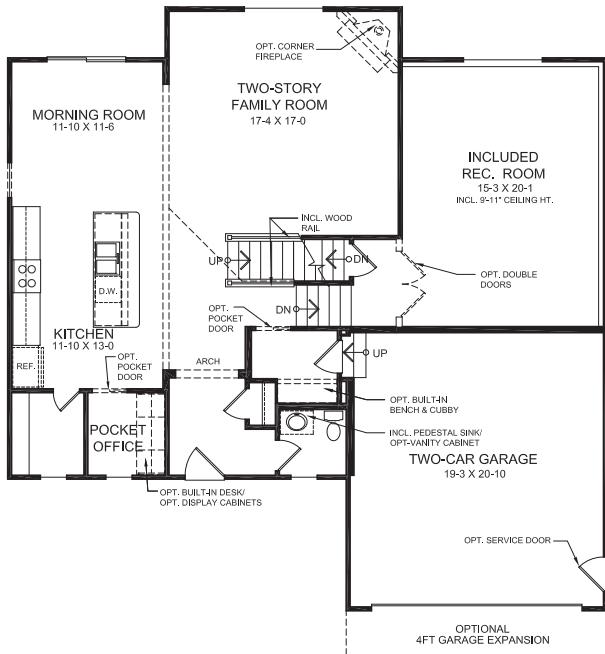
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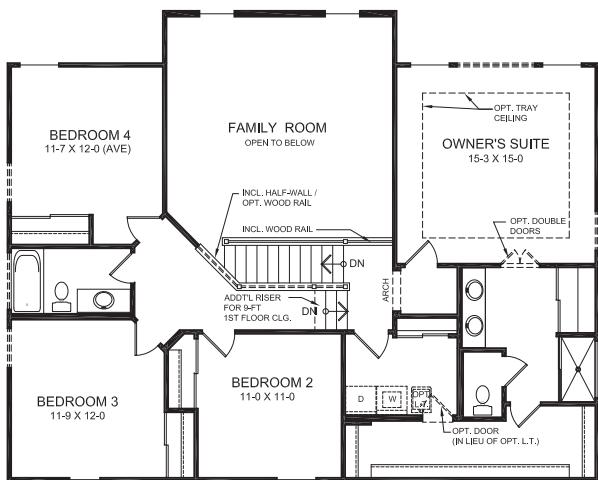
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Main Level



Upper Level



>Main Level Features

- Unique Five-Level Design
- Included Family Foyer
- Included Pocket Office with Optional Built-in Desk
- Two-story Family Room
- Open Kitchen Design with Large Island
- Walk-in Pantry
- Included Recreation Room just down from the Family Room
- Optional Guest Suite

Upper Level Features

- Owner's Suite Located on it's Own Private Level
- Over-sized Walk-in Closet
- Convenient Optional Door from Owner's Walk-in Closet to Laundry
- Variety of Owner's Level Bath Optional Configurations
- 3 Additional Bedrooms and Full Bath Located on their Own Level
- Upper Level Balcony Provides Dynamic Views into Family Room Below

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THE BLAIR

DESIGNER COLLECTION

3,029-3,735 SQFT

2 Story

4-5 Bedrooms

2-5 Baths

VIEW FLOORPLANS ON FISCHERHOMES.COM



Modern Farmhouse



American Classic



Urban Modern



Cambridge Cottage

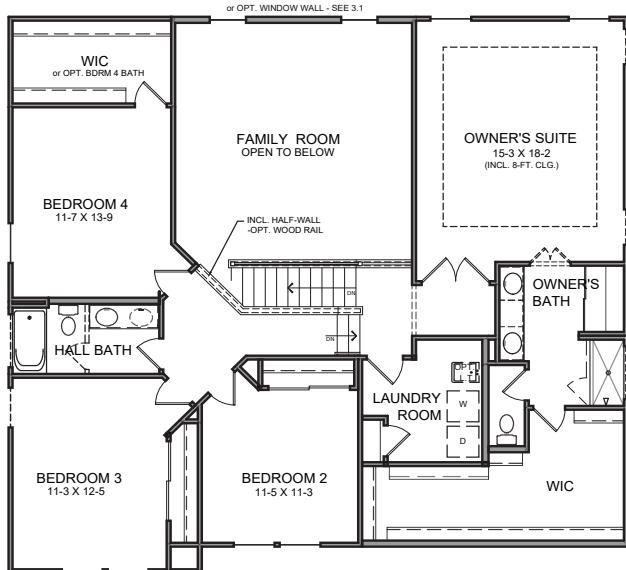
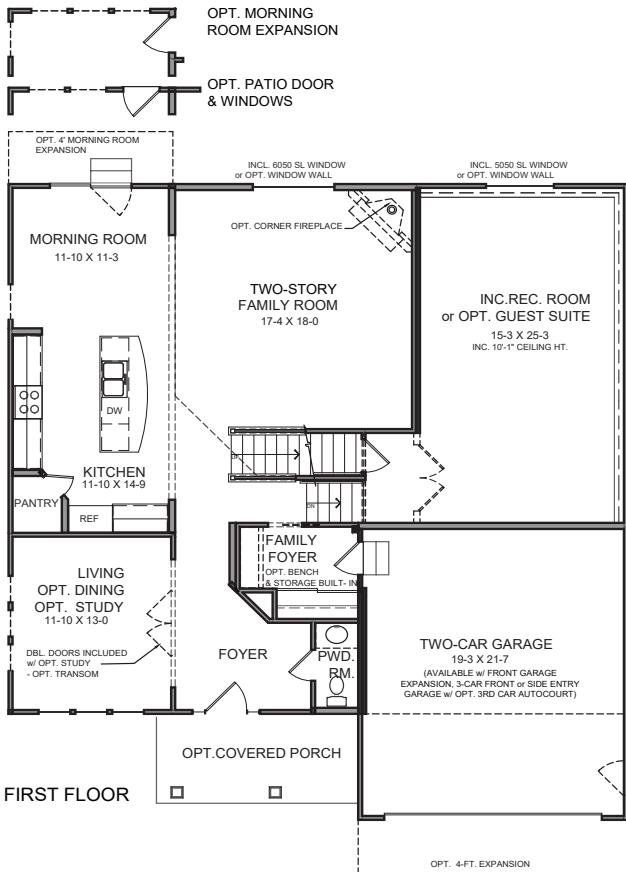


Coastal Classic



Photos, Options,
Virtual Tours
& More

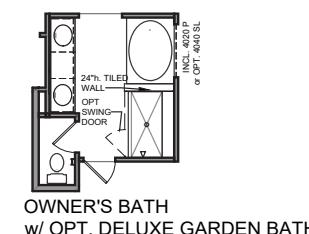
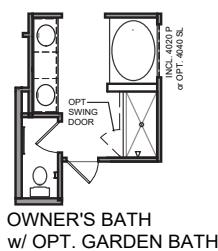




SECOND FLOOR

DESIGN FEATURES:

- 5-Level Design with Two-Story Family Room
- Owner's Suite on its own level with Private Entry
- Spacious Rec Room or Optional Guest Suite
- Large Owner's Bath with split vanities and large walk-in closet





THE CALVIN DESIGNER COLLECTION

2,069 SQFT

1 Story

3-4 Bedrooms

2-3 Baths



Photos, Options,
Virtual Tours
& More

Modern Farmhouse



Western Craftsman



Cambridge Cottage



Nantucket Retreat

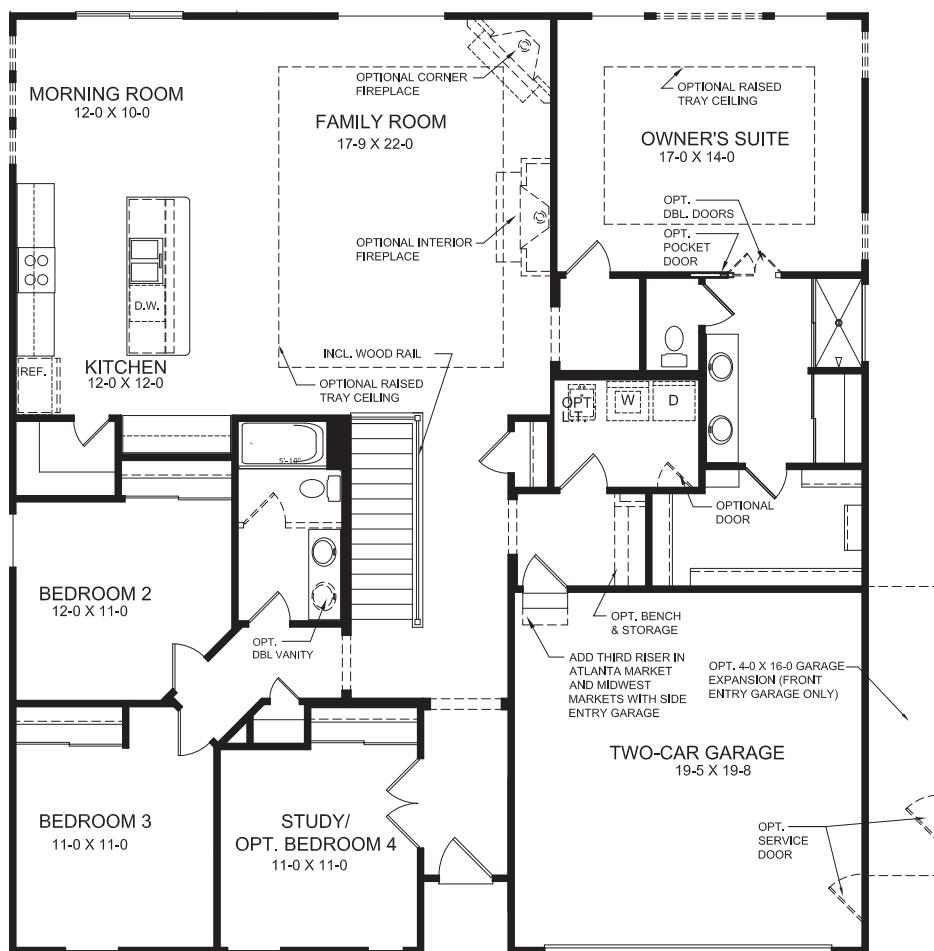
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Main Level



Main Level Features

- Three Bedroom with Study
- Optional 4th Bedroom
- Open Family Room with Optional Fireplace
- Large Owner's Suite with Walk-in Closet
- Open Kitchen Design with Large Island
- Optional 4ft Morning Room Expansion
- Optional Tray Ceiling in Family Room
- Optional Tray Ceiling in Owner's Suite
- Optional Owner's Bath with Separate Shower and Garden Tub
- Optional Owner's Bath with Ceramic Tile Shower and Garden Tub
- Optional Luxury Shower
- Optional Finished Lower Level

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THE CHARLES DESIGNER COLLECTION

2,457 SQFT

2 Story

3-6 Bedrooms

2.5-4.5 Baths



Photos, Options,
Virtual Tours
& More

Coastal Classic



Pacific Craftsman



Modern Farmhouse



Cambridge Cottage

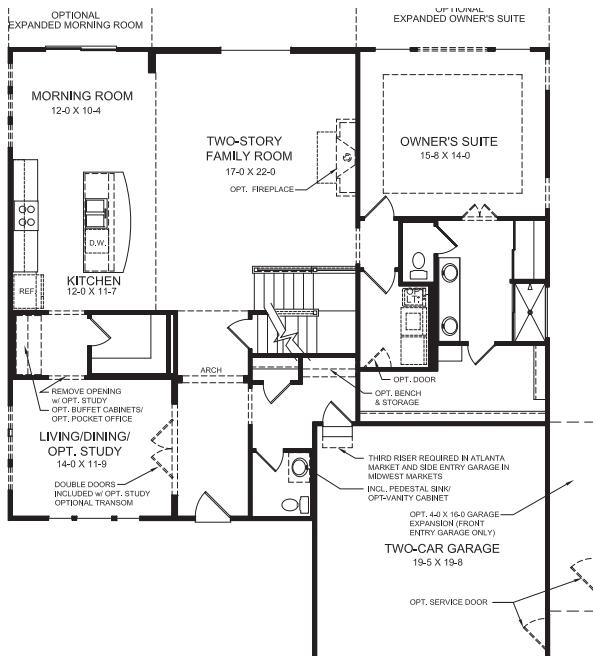
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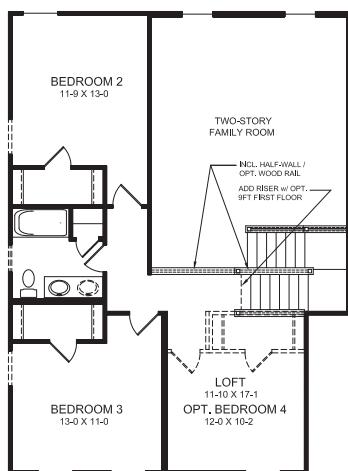
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Main Level



Upper Level



Main Level Features

- Spacious Entry Foyer
- Included Living/Opt. Dining/Opt. Study Flex Space
- Optional First Floor Guest Suite with Private Bath
- Soaring Two-Story Family Room
- First Floor Owner's Suite Includes Private Bath and large Walk-in Closet
- First Floor Laundry with Optional Door to Owner's Walk-in-closet
- Convenient Family Foyer with Optional Built-in Bench and Storage
- Open Kitchen with Large Island and Over-sized Walk-in Pantry
- Optional Buffet Cabinets/Optional Pocket Office Cabinets
- Optional 4ft Owner's Suite Expansion
- Optional 4ft Morning Room Expansion
- Optional Tray Ceiling in Owner's Suite

Upper Level Features

- Includes Two Spacious Bedrooms with Walk-in Closets
- Includes Loft Open to Family Room
- Optional Fourth Bedroom with Walk-in Closet in lieu of Loft
- Included Hall Bath

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THE DELANEY DESIGNER COLLECTION

1,782-2,255 SQFT

2 Story

3-4 Bedrooms

2.5-3.5 Baths



Urban Modern



Cambridge Cottage



Modern Farmhouse



Nantucket Retreat

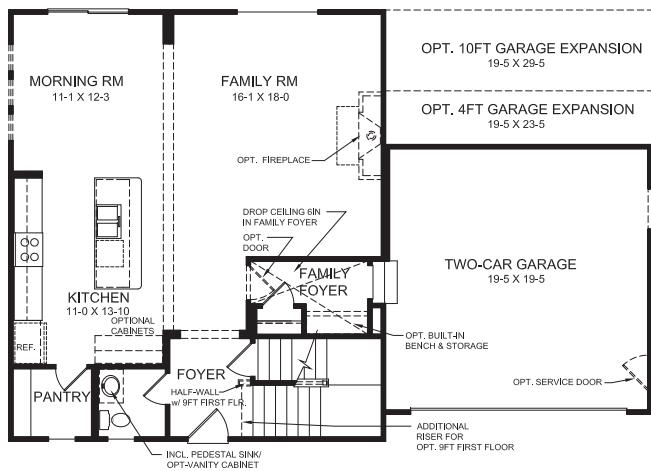
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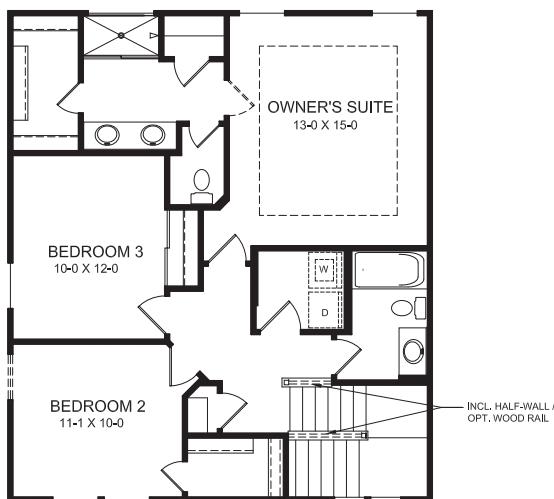
Main Level



Main Level Features

- Open Family Room, Kitchen, & Morning Room Design
- Kitchen Design Includes Large Island with Seating and Walk-in Pantry
- Included Family Foyer
- Optional Expanded Morning Room
- Optional Fireplace

Upper Level



Upper Level Features

- Spacious Owner's Suite with Optional Tray Ceiling and Large Walk-in Closet
- Optional Owner's Bath with Separate Shower & Garden Tub
- Optional Deluxe Garden Bath with Ceramic Tile Shower & Garden Tub
- Optional Luxury Shower
- 3 Bedrooms
- Alternate Second Floor Design with 4 Bedrooms
- Second Floor Laundry

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THE FOSTER DESIGNER COLLECTION

2,954-3,980 SQFT

2 Story

4-6 Bedrooms

2-4 Baths



Photos, Options,
Virtual Tours
& More

Hillstone Craftsman



Modern Farmhouse



American Farmhouse



Pacific Craftsman

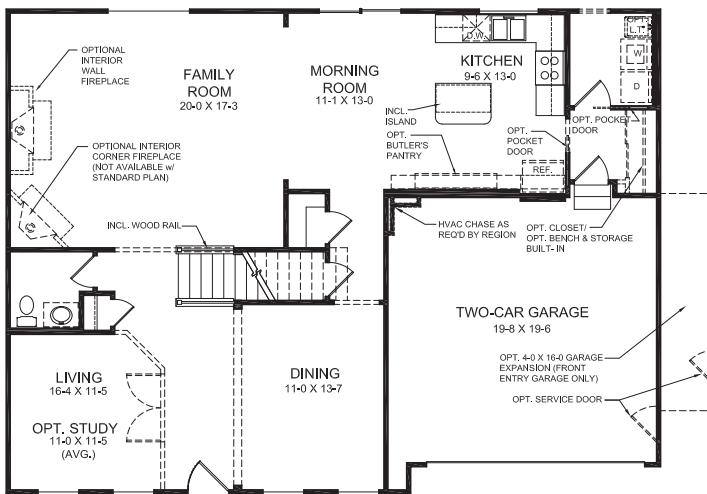
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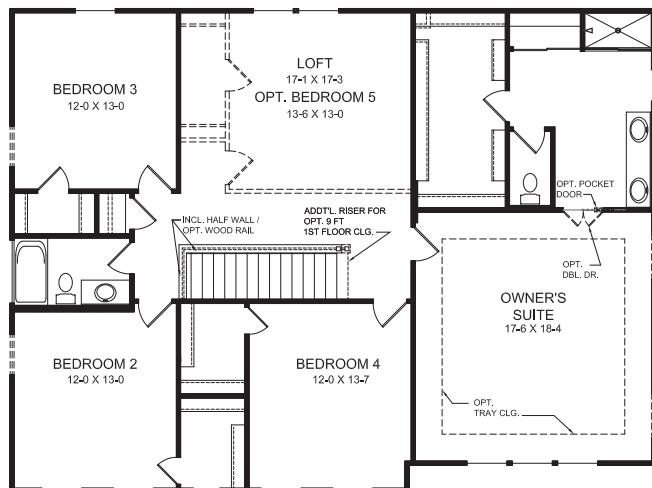
Main Level



Main Level Features

- Open Living Room and Dining Room
- Optional Study in Lieu of Living Room
- Expansive Family Room Open to Morning Room and Kitchen
- Included Island and Optional Butler's Pantry
- Convenient Oversized First Floor Laundry
- Optional Bay Window
- Optional Sunroom with Gourmet Kitchen Island
- Optional Fireplace
- Optional Guest Suite

Upper Level



Upper Level Features

- Spacious Owner's Suite with Oversized Walk-in Closet
- Optional Owner's Bath with Separate Shower and Garden Tub
- Optional Deluxe Garden Bath with Ceramic Tile Shower & Garden Tub
- 4 Bedrooms with Loft
- Walk-in Closets in all 4 Bedrooms
- Optional 5th Bedroom in Lieu of Loft
- Optional Tray Ceiling in Owner's Suite

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THE GRANDIN DESIGNER COLLECTION

2,711-3,831 SQFT

2 Story

4-5 Bedrooms

2-5 Baths



Urban Modern



Coastal Classic



Cambridge Cottage



Western Craftsman

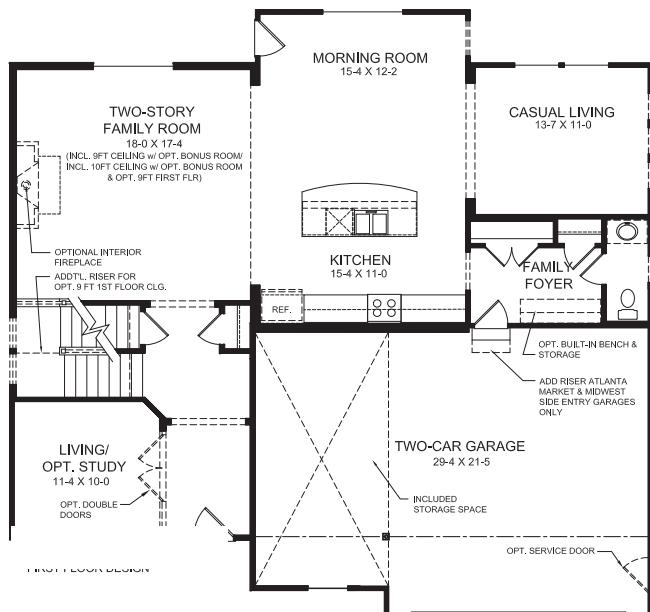
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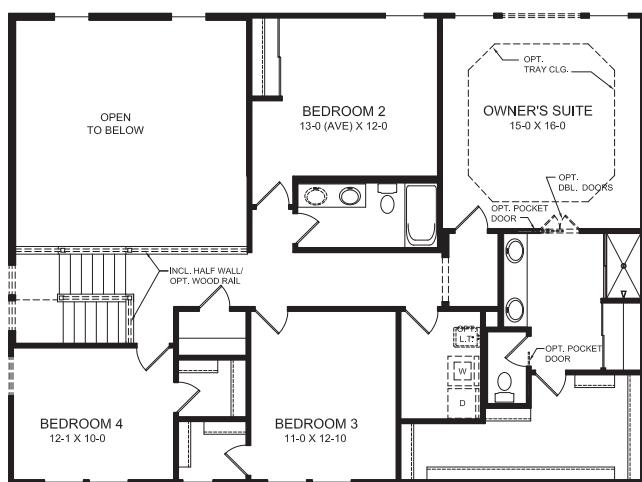
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Main Level



Upper Level



Main Level Features

- Soaring Two-story Family Room
- Living Room/Optional Study Located in Front of the Home
- Open Kitchen Design with Expansive Island with Seating and Light-filled Morning Room
- Casual Living Space Open to Kitchen, Family Room and Morning Room located in Rear of the Home
- Optional Private Guest Suite in Lieu of Casual Living Space
- Optional Pocket Office & First Floor Laundry with Walk-in Pantry in Lieu of Casual Living Space
- Spacious Family Foyer with Coat Closet
- Included Over-sized Garage with Large Storage Area
- Optional Built-in Appliances

Upper Level Features

- Spacious Owner's Suite with Optional Tray Ceiling & Large Walk-in Closet
- Optional Owner's Bath with Separate Shower and Garden Tub
- Optional Deluxe Garden Bath with Ceramic Tile Shower & Garden Tub
- 4 Bedrooms
- Optional Expansive Bonus Room in Lieu of Two-Story Family Room
- Convenient 2nd Floor Laundry
- Optional 3rd Full Bath

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THE KEATON DESIGNER COLLECTION

2,069-2,108 SQFT

2 Story

3-4 Bedrooms

2.5-3.5 Baths



Photos, Options,
Virtual Tours
& More

American Farmhouse



Western Craftsman



Modern Farmhouse



American Classic

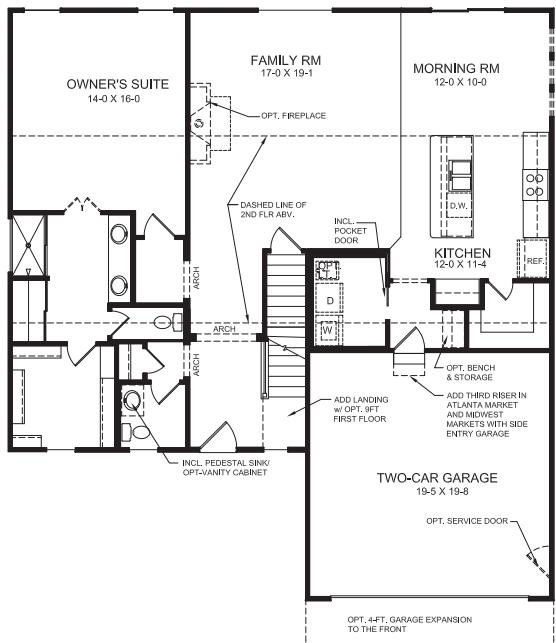
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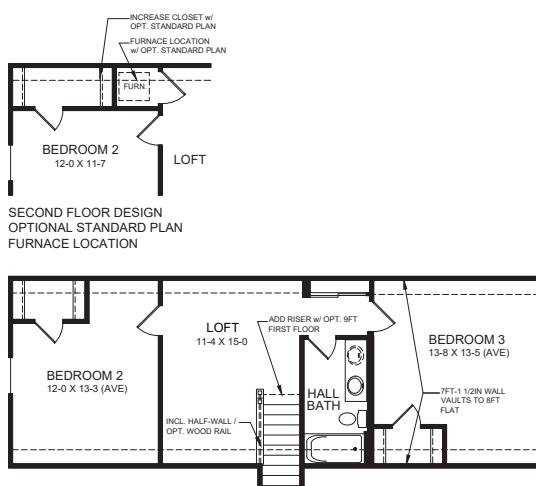
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Main Level



Upper Level



Main Level Features

- Spacious Entry Foyer
- First Floor Owner's Suite Includes Private Bath and Large Walk-in Closet
- Variety of Optional Owner's Bath Configurations
- Conveniently Located First Floor Laundry
- Family Foyer with Optional Built-in Bench and Storage
- Open Kitchen with Large Island and Over-sized Walk-in Pantry
- Large Family Room with Optional Window Wall and Optional Fireplace
- Optional Open Stair to Lower Level
- Optional 4ft Morning Room Expansion
- Optional Morning Room Door and Windows

Upper Level Features

- Includes Two Spacious Bedrooms with Walk-in Closets
- Included Loft Provides Additional Living Space
- Included Hall Bath

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THE MAGNOLIA DESIGNER COLLECTION

1,621-1,805 SQFT

1 Story

3-4 Bedrooms

2-3 Baths



Hillstone Craftsman



Western Craftsman



Modern Farmhouse



Cambridge Cottage

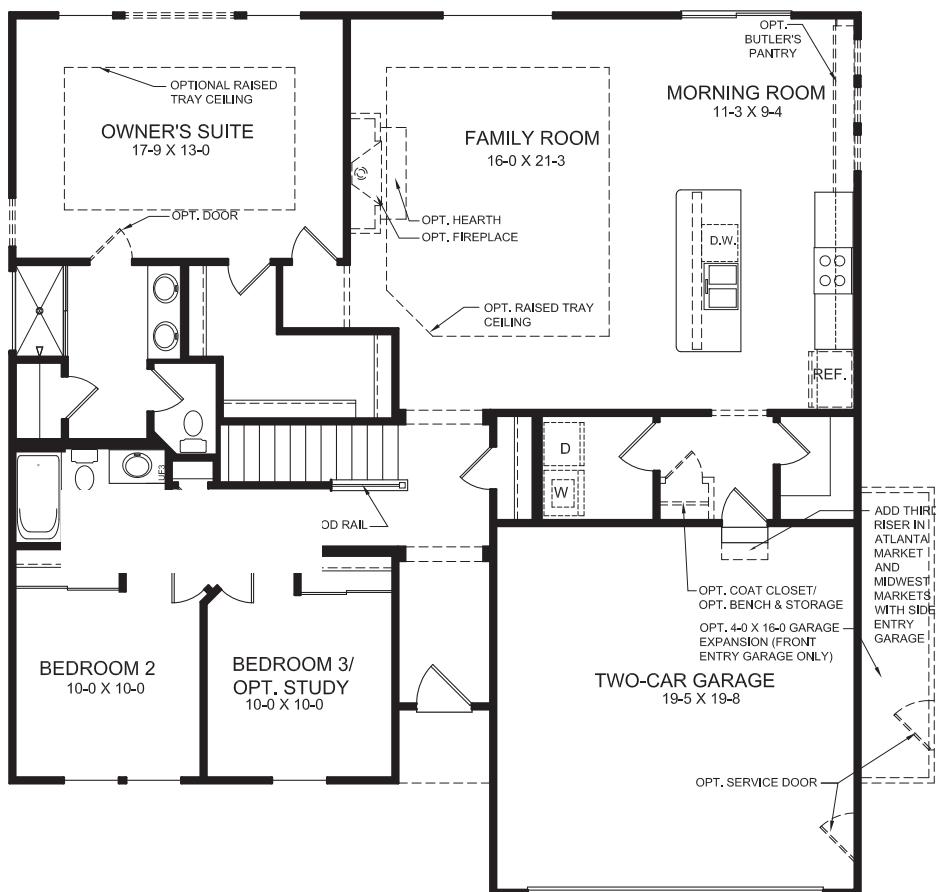
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Main Level



Main Level Features

- Three Bedroom with Optional Study in Lieu of Third Bedroom
- Open Family Room with Optional Fireplace
- Large owner's Suite with Walk-in Closet
- Open Kitchen/Morning Room
- Optional 4ft Morning Room Expansion
- Optional Tray Ceiling in Family Room
- Optional Tray Ceiling in Owner's Suite
- Optional Owner's Bath with Separate Shower and Garden Tub Bath
- Optional Owner's Bath with Ceramic Tile Shower and Garden Tub
- Optional Luxury Shower
- Optional Finished Lower Level

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THE MILES DESIGNER COLLECTION

2,437 SQFT

2 Story

3-4 Bedrooms

2.5-3.5 Baths



Photos, Options,
Virtual Tours
& More

Modern Farmhouse



Coastal Classic



Cambridge Cottage



Nantucket Retreat

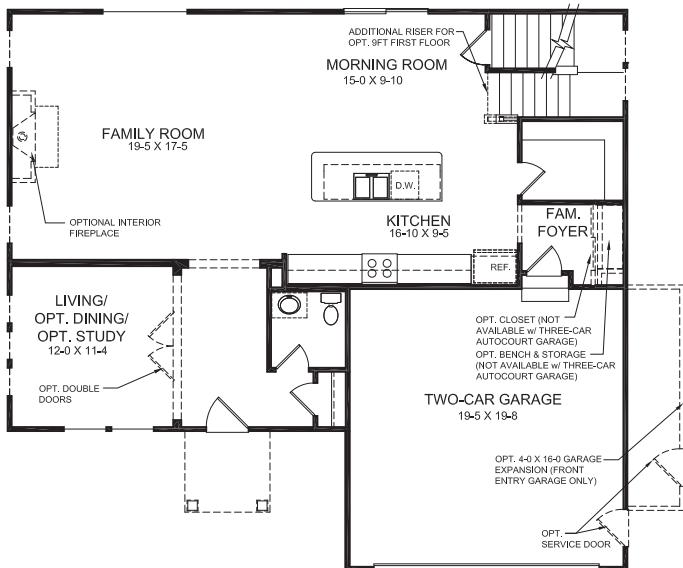
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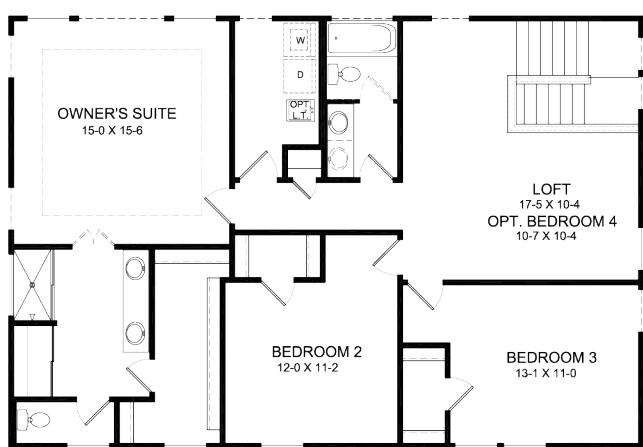
Main Level



Main Level Features

- Flexible Living/Dining/Optional Study Located in Front of the Home
- Spacious Family Room
- Open Kitchen Design with Expansive Island Seating
- Optional Morning Room Bay Window Adds Abundance of Natural Light
- Optional Morning Room Expansion Adds Additional Space and Windows
- Large Walk-in Pantry
- Optional Pocket Office Relocates Walk-in Pantry
- Stair Conveniently Located Off Kitchen/Morning Room
- Included Family Foyer with Optional Coat Closet or Optional Built-in Bench and Storage

Upper Level



Upper Level Features

- Spacious Owner's Suite with Optional Tray Ceiling and Large Walk-in Closet
- Variety of Owner's Bath Shower and Tub Configurations Available
- Three Bedrooms with Included Loft. Optional Fourth Bedroom in lieu of Loft.
- Laundry Room Conveniently Located on Second Floor

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THE SPRINGFIELD DESIGNER COLLECTION

1,805 SQFT

1 Story

2-3 Bedrooms

2-3 Baths



Urban Modern



Modern Farmhouse



American Classic



Coastal Cottage

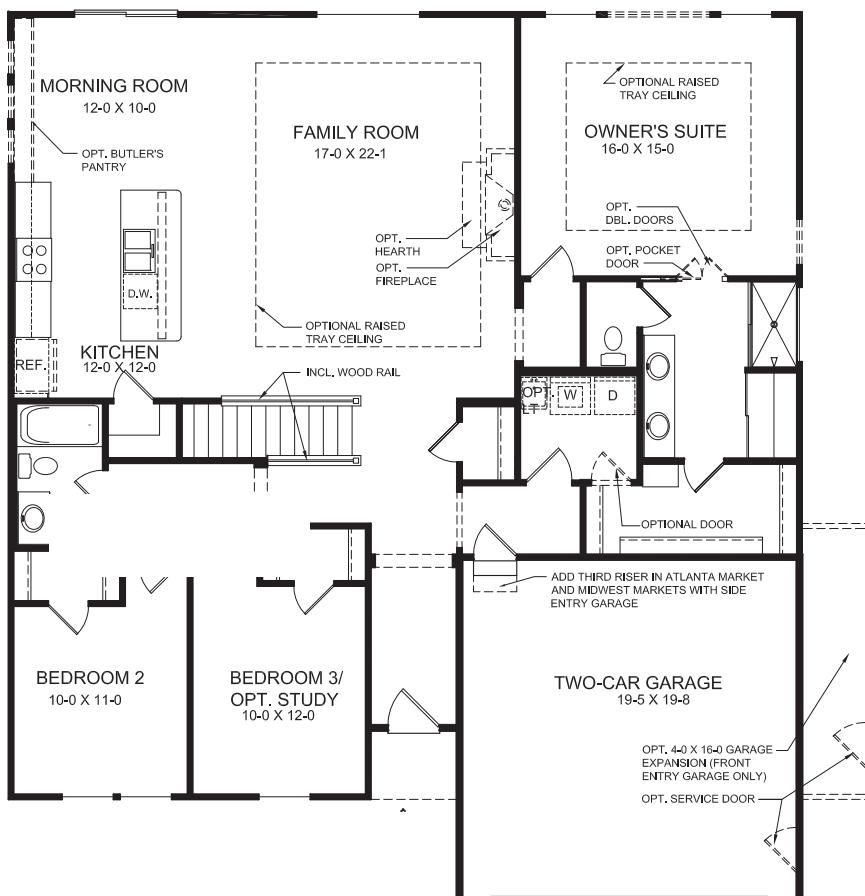
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Main Level



Main Level Features

- Three Bedroom with Optional Study in Lieu of Third Bedroom
- Open Family room with Optional Fireplace
- Large Owner's Suite with Walk-in Closet
- Open Kitchen/Morning Room
- Optional 4ft Morning Room Expansion
- Optional Butler's Pantry Cabinets
- Optional Tray Ceiling in Family Room
- Optional Tray Ceiling in Owner's Suite
- Optional Owner's Bath with Separate Shower and Garden Tub Bath
- Optional Owner's Bath with Ceramic Tile Shower and Garden Tub
- Optional Door from Owner's Walk-in Closet to Laundry
- Optional Luxury Shower
- Optional Finished Lower Level

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THE WYATT DESIGNER COLLECTION

2,731 SQFT

2 Story

4-5 Bedrooms

2.5-4.5 Baths



Modern Farmhouse



American Classic



Nantucket Retreat



Cambridge Cottage

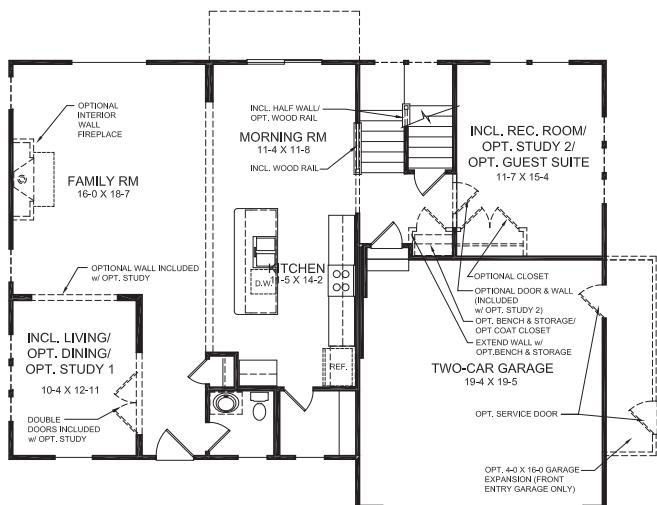
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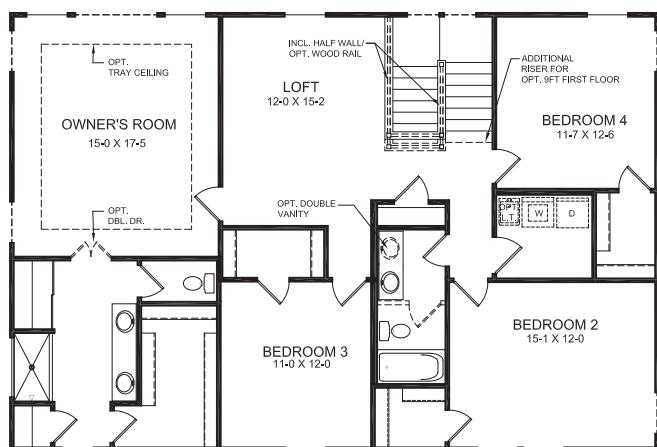
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Main Level



Upper Level



Main Level Features

- Flexible Living/Dining/Optional Study Located in Front of the Home
- Open Concept First Floor Design Promotes Connection Between Family Room, Morning Room and Kitchen
- Kitchen Features an Expansive Island with Seating
- Large Walk-in Pantry
- Optional Morning Room Expansion Adds Additional Space and Windows
- Optional Pocket Office and Pantry Cabinet in Lieu of Walk-in Pantry
- Stairs Conveniently Located off Kitchen/Morning Room
- Included Family Foyer with Optional Coat Closet or Optional Built-in Bench and Storage
- Included Rec. Room/ Optional Private Study Located in Rear of Home
- Optional Private Guest Suite with Full Bath in Lieu of Rec. Room

Upper Level Features

- Spacious Owner's Suite with Optional Tray Ceiling and Large Walk-in Closet
- Variety of Owner's Bath Shower and Tub Configurations Available
- Four Total Bedrooms all with Walk-in Closets
- Includes Large, Open Loft
- Laundry Room Conveniently Located on Second Floor

VIEW FLOORPLANS ON FISCHERHOMES.COM



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RVSD
02/24



FEE: 45.00

SPRINGBORO

APPLICATION FOR CERTIFICATE OF ZONING COMPLIANCE

320 W. Central Ave.
Springboro, Ohio 45066
(937) 748-9791 PH
(937) 748-6860 FX
build@cityofspringboro.com

BUSINESS NAME (DBA):

Massey LLC

ADDRESS: 500 East ST, Springboro, OH 45066

PROPOSED ACTIVITY OR USE:

Outdoor Event Center

**NOTE: All new work, except minor maintenance and repair, requires a building permit(s).
Please contact the Springboro Building Department for further information.**

<u>PLEASE PRINT</u>	<u>Name</u>	<u>Address</u>	<u>Phone Number & Email</u> <small>*BOTH REQUIRED TO PROCESS APPLICATION*</small>
Property Owner	Massey LLC	1909 Parkland H. 115 CT Springboro, OH 45066	513-594-7159 doug.massey@ millmechanicalinc.com
Business Owner	Same as above		

I hereby certify that all information on this application is true and correct to the best of my knowledge.
I further certify that I have contacted the Springboro Tax Department regarding the business' tax obligation.

Applicant's Name: Doug Massey owner Massey LLC Email: doug.massey@millmechanicalinc.com
Applicant's Signature: Doug owner Date: 5/7/24

OFFICE USE ONLY

ZONING APPROVAL: _____

DATE: _____

Case No. _____

CITY OF SPRINGBORO, OHIO

Application to Amend Zoning Map

1. Date of Application 5/7/24

2. Applicant Information

Name _____
Street Address 500 East St, LLC
City Springboro
State OH Zip 45066
Telephone (days) 513-394-7159 (eves) 5461
Fax (if available) N/A

3. Applicant is (check one):

Property Owner
 Owner's agent (attach document creating agency)
 City Planning Commission
 Other (Identify) _____

4. Provide an accurate and unambiguous description of all lots or parcels of land for which rezoning is requested below, or attach a separate sheet:

Separate sheet attached dated 5/7/24

5. Identify the existing and requested zoning for each such lot or parcel below, or attach a separate sheet:

See attached

6. State below the reason(s) for each proposed rezoning(s), or attach a separate:

See attached

7. What is the present use of the property for which rezoning is requested?

Residential See attached

8. What is the proposed use of the property for which rezoning is requested:

See attached

9. Attach a list of names and addresses of the owners of each property, any part of which is within two hundred feet (200') of any part of a lot or parcel proposed to be rezoned, as currently listed on the tax records of the Treasurer of Warren County, Ohio.

10. Attach a vicinity map at a scale approved by the City Engineer, accurately showing all property lines of the lot(s) or parcel(s) proposed to be rezoned, all streets providing access, existing and proposed zoning and other relevant features as the City Engineer may require (8-1/2" x 11" page size is preferred).

11. Are the proposed rezoning and the proposed use entirely consistent with the City of Springboro Land Use Master Plan? Yes _____ No. If no, please identify each inconsistency below, and explain why you do not believe the Master Plan should be followed as to these inconsistencies. (Attach additional sheets if necessary):

See attached

Applicant's certification: I hereby certify that the information provided above and within any attachments hereto is true and accurate, to the best of my information and belief. I hereby request the City Planning Commission and City Council to consider this request in accord with applicable laws and officially adopted community plans.

Owner Massey LLC

Douglas A. Massey
Name of Applicant (please print)

Douglas A. Massey
Authorizing Signature

5/7/24

Date

Application to Amend Zoning Map

1. Date of Application: May 7, 2024

2. Applicant Information

Name: Massey, LLC
Address: 500 East Street
Springboro, OH 45066
Phone: 513-594-7159

3. Applicant is: Property Owner

4. Provide an accurate description of all lots or parcels of lands for which rezoning is requested:

- a. Parcel: 0407303012 - currently zoned as Single Family Residential (R-2)
- b. Parcel: 0407303013 – vacant land; currently zoned as Single Family Residential (R-2)

5. Both parcels are currently zoned a 'R-2'. Low Density Residential. We are requesting the parcels be rezoned to a 'CBD' Central Business District zoning.

6. The existing property is situated near the border of the current Central Business District. Our desire is to provide an outdoor event space on the property. We believe the property is well suited for this use given its adjacency to the business district and historic downtown. There are a cluster of R-2 properties immediately surrounding the existing parcels, but existing CBD zoning exists to the south, west, and east (noted on the zoning map as a 3/3/22 change) of the property. Additionally there is an 'O' zoned parcel to the north (noted on the zoning map as a 2/19/15 change).

7. The existing property is zoned 'R-2' residential. There is an existing house on one of the parcels. The second parcel is vacant land.

8. The proposed use is for an outdoor event space. This use would fall under a 'Place of Assembly' use as defined in the zoning code and is a permitted use under the 'CBD' zoning district.

9. A separate spreadsheet is attached.

10. A Vicinity map and property map from the Warren County GIS maps are attached separately.

11. The property is included as part of Policy Area 13, 'Historic Core' in the land use Master Plan. This core consists primarily of a mix of Residential, Commercial, and Mixed Use areas. While the specific parcels are shown as residential in the current land use diagram, mixed use functions are designated immediately across East St. We believe the proposed event space is consistent with the master plan and aligns with the stated future use to "continue to enhance the walkability and character of the area."





WARREN COUNTY
Property Search

Matt Nolan
Auditor

Barney Wright
Treasurer

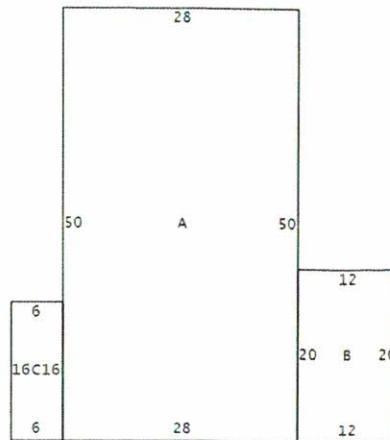
Linda Oda
Recorder

Parcel ID	407303012	Current Owner	MASSEY LLC	Account Number	0549452
Property Address	500 EAST ST SPRINGBORO 45066	Legal Description	0.6750 ACRES	Neighborhood ID	44001
Tax District	5 SPRINGBORO CORP SPRBORO CSD	State Use Code	511 - SGL. FAMILY DWG. 0 TO 9.99 AC.	OH Public School Dist No	8302

Primary Picture



Primary Sketch



Building & Last Sale Summary

Last Sale Amount	\$325,000	Bedrooms	3
Last Sale Date	04/13/2023	Exterior	WOOD SIDING
Owner Occupied	Y	Above Grade Living Area	1400 sq. ft.
Homestead Exemption	N	Finished Basement/Attic	1410 sq. ft.
Year Built	1980	Total Living Area	2,810sq.ft.

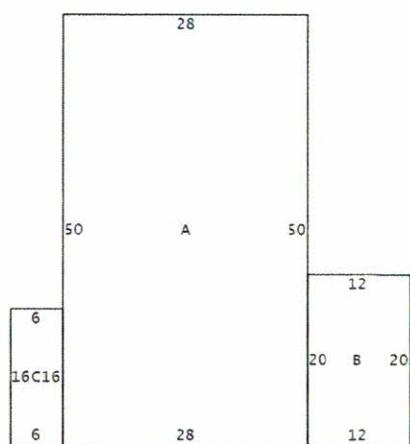
Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$31,860	\$11,150
BUILDING	\$174,830	\$61,190
TOTAL	\$206,690	\$72,340
CAUV	\$0	-

Residential Building Details

Building 1 of 1

Building Sketch



Sketch Details

A	FRAME	1 STORY	1400
B	FRAME	DECK	240
C	FRAME	DECK	96

Occupancy	
Construction Year	
Remodel Year 1	
Remodel Year 2	
Condition	GOOD
Construction Cost	\$0.00
Remodel Cost	\$0.00
Foundation	STONE
Exterior	WOOD SIDING
Basement	FULL

1 FAMILY UNIT

1980

0

0

GOOD

\$0.00

\$0.00

STONE

WOOD SIDING

FULL

Finished Basement	920 sq. ft.
Unfinished Attic	0 sq. ft.
Finished Attic/Living Area	490 sq. ft.
Number of Bedrooms	3
Family/Rec Room	YES
Wood Fireplace	1
Gas Fireplace	0
Heating System	HEAT PUMP
Heat Source	ELECTRICAL
Central Air Conditioning	YES
Full Baths	2
Half Baths	0
True Value	\$148,160.00

Special Features

No Special Features Found

Parcel ID

407303012

Current Owner

MASSEY LLC

Account Number

0549452

Land Records

Method	Front Feet	Depth Feet	Acres	Sq. Ft.	Rate	Factor %	Adj. Rate	Adj. 1	%	Adj. 2	%	Value
ACREAGE	0	0	0.6750	0	\$40,000.00	0	\$40,000.00	0	0	0	0	\$27,000.00



WARREN COUNTY
Property Search

Matt Nolan
Auditor

Barney Wright
Treasurer

Linda Oda
Recorder

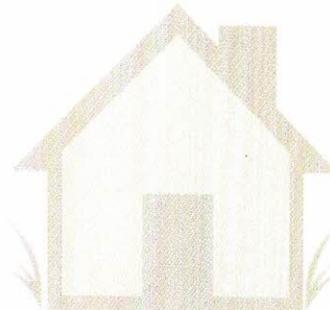
Parcel ID	407303013	Current Owner	MASSEY LLC	Account Number	0508845
Property Address	0 EAST ST SPRINGBORO 45066	Legal Description	0.6286 ACRES	Neighborhood ID	44001
Tax District	5 SPRINGBORO CORP SPRBORO CSD	State Use Code	501 - RES. VAC. LAND- 0 TO 9.99 AC.	OH Public School Dist No	8302

Primary Picture



Primary Sketch

No Sketch Available



Building & Last Sale Summary

Last Sale Amount	\$325,000	Bedrooms
Last Sale Date	04/13/2023	Exterior
Owner Occupied	N	Above Grade Living Area
Homestead Exemption	N	Finished Basement/Attic
Year Built		Total Living Area

Value Summary

VALUATION	TRUE VALUE	ASSESSED VALUE
LAND	\$29,670	\$10,380
BUILDING	\$0	\$0
TOTAL	\$29,670	\$10,380
CAUV	\$0	-

Parcel ID

407303013

Current Owner

MASSEY LLC

Account Number

0508845

Land Records

Method	Front Feet	Depth Feet	Acres	Sq Ft	Rate	Factor %	Adj. Rate	Adj. 1	%	Adj. 2	%	Value
ACREAGE	0	0	0.6286	0	\$40,000.00	0	\$40,000.00	0		0		\$25,140.00



June 4, 2024

Dear Property Owner,

This notice is being sent as a courtesy to the owners of property in the vicinity of 500 East Street regarding an application to rezone property in that area. The Springboro Planning Commission will hold a meeting on Wednesday, June 12, 2024 beginning at 6:00 p.m. in Council Chambers in the Springboro City Building located at 320 West Central Avenue regarding this application and other business. During that meeting the Planning Commission will review on a preliminary basis the rezoning request filed by the property owner, Massey, LLC. Please see the enclosed vicinity map for the relative location of the property proposed to be rezoned.

The application proposes to rezone approximately 1.30 acres of land at 500 East Street from R-2, Low-Density Residential District, to CBD, Central Business District. The CBD allows residential, community, civic, and institutional uses, and commercial, office, and service uses. The CBD is the zoning district for most of the Springboro Historic District, including all of South Main Street between Central Avenue and Mill Street, and areas further north on East Street. While rezoning to CBD allows all uses identified as permitted for the district, the applicant intends to use the property as a small-scale event center in addition to the bed-and-breakfast that is currently permitted on the property.

Planning Commission meetings are public meetings where applications for approval are reviewed by members of Planning Commission, following the consideration of City staff technical comments, and comments offered by the public. No vote on the application will be taken on June 12. The Planning Commission will determine at the conclusion of the June 12 review if formal approval may take place at a subsequent meeting, or if additional preliminary discussion is necessary.

If you wish to address the Planning Commission regarding the proposed plan you may do so at the June 12 Planning Commission meeting. If you cannot attend the meeting but would like to comment on the proposal, you may submit your comments in writing along with your name and address to the attention of September Bee, Planning Commission Secretary, by mail to 320 West Central Avenue, Springboro, Ohio 45066; by fax to (937) 748-0815; or by e-mail to september.bee@cityofspringboro.com. All comments received by 4:30 p.m. on June 12 will be forwarded to Planning Commission members at the meeting.

A copy of the application is available for review in the Building & Zoning Department at the Springboro City Building between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday, legal holidays excluded. The plans may also be reviewed on the City website at <https://www.cityofspringboro.com/383/Planning-Commission-Submissions>. Look for "Materials for June 12, 2024." No additional notifications will be mailed about this proposal while it is under

review by Planning Commission, however all items submitted to the City will be available through the Planning Commission page on the City website. Should the rezoning application move forward to City Council, adjacent property owners will be notified of a public hearing of City Council as required by state and local law.

For more information on the submitted preliminary plan contact Dan Boron, Planner, at (937) 748-6183, or danb@cityofspringboro.com.

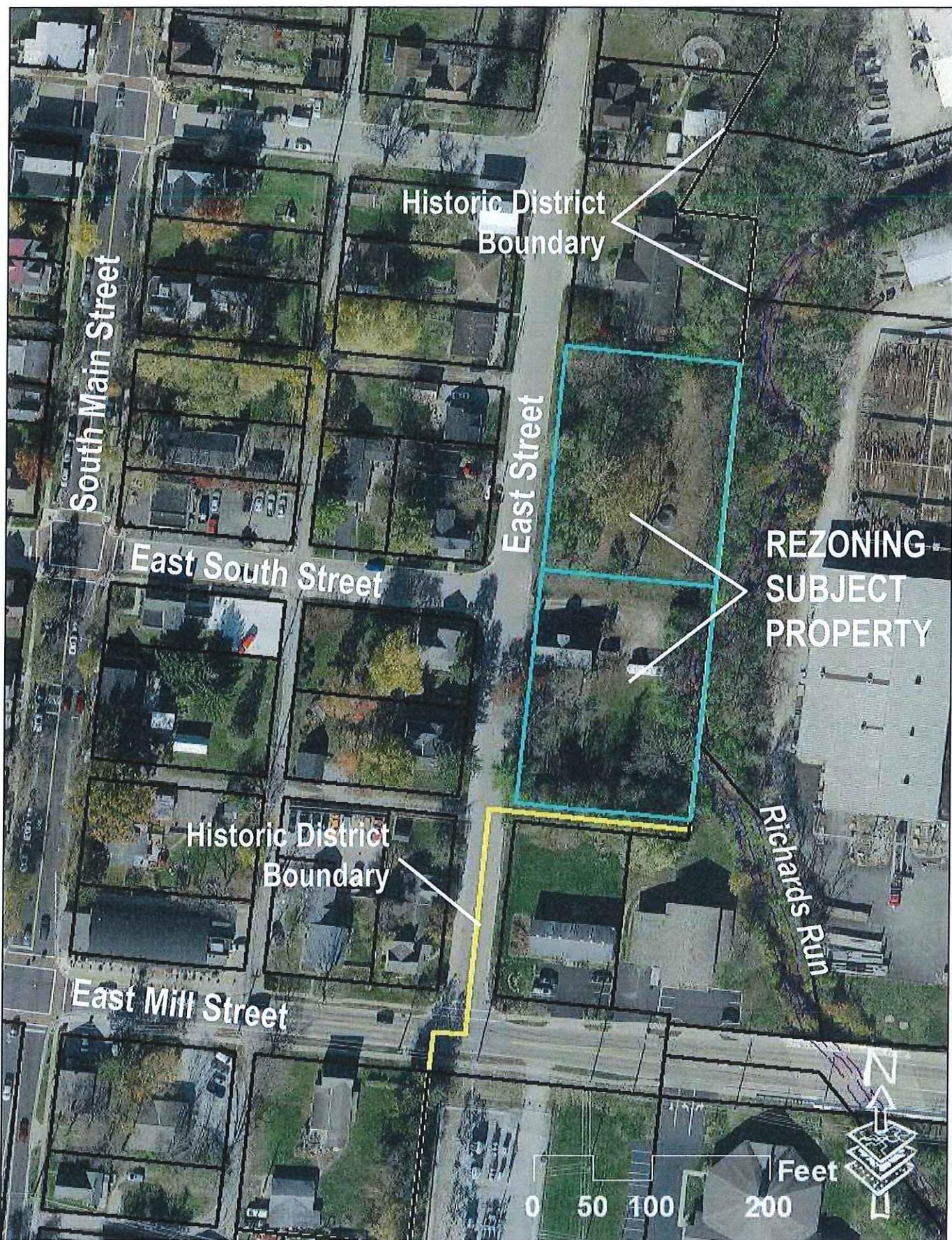
Sincerely,

A handwritten signature in black ink that reads "Chris Pozzuto". The signature is fluid and cursive, with "Chris" on the top line and "Pozzuto" on the bottom line.

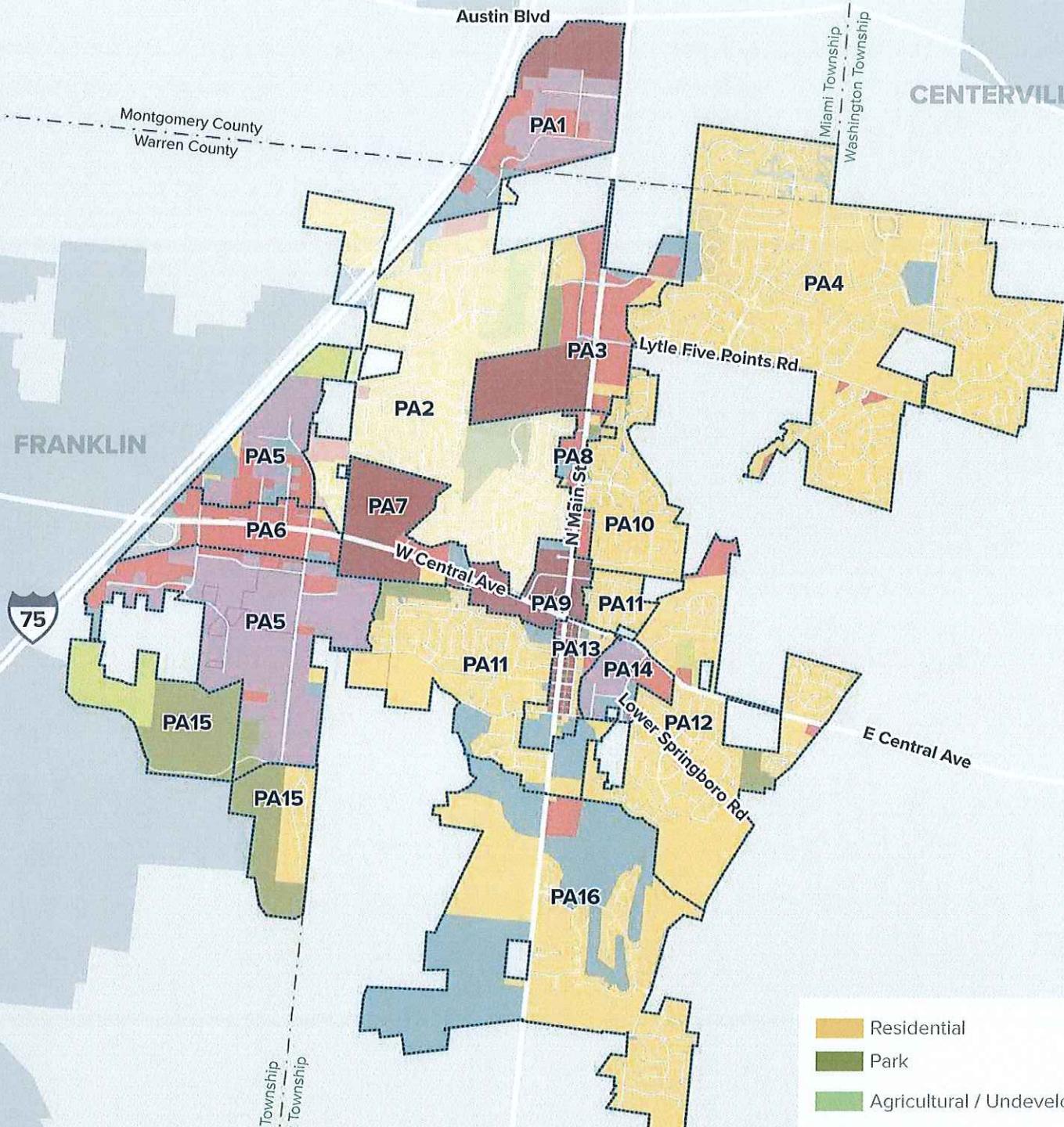
Chris Pozzuto, City Manager
City of Springboro

cc: Dan Boron, Planner
September Bee, Planning Commission Secretary

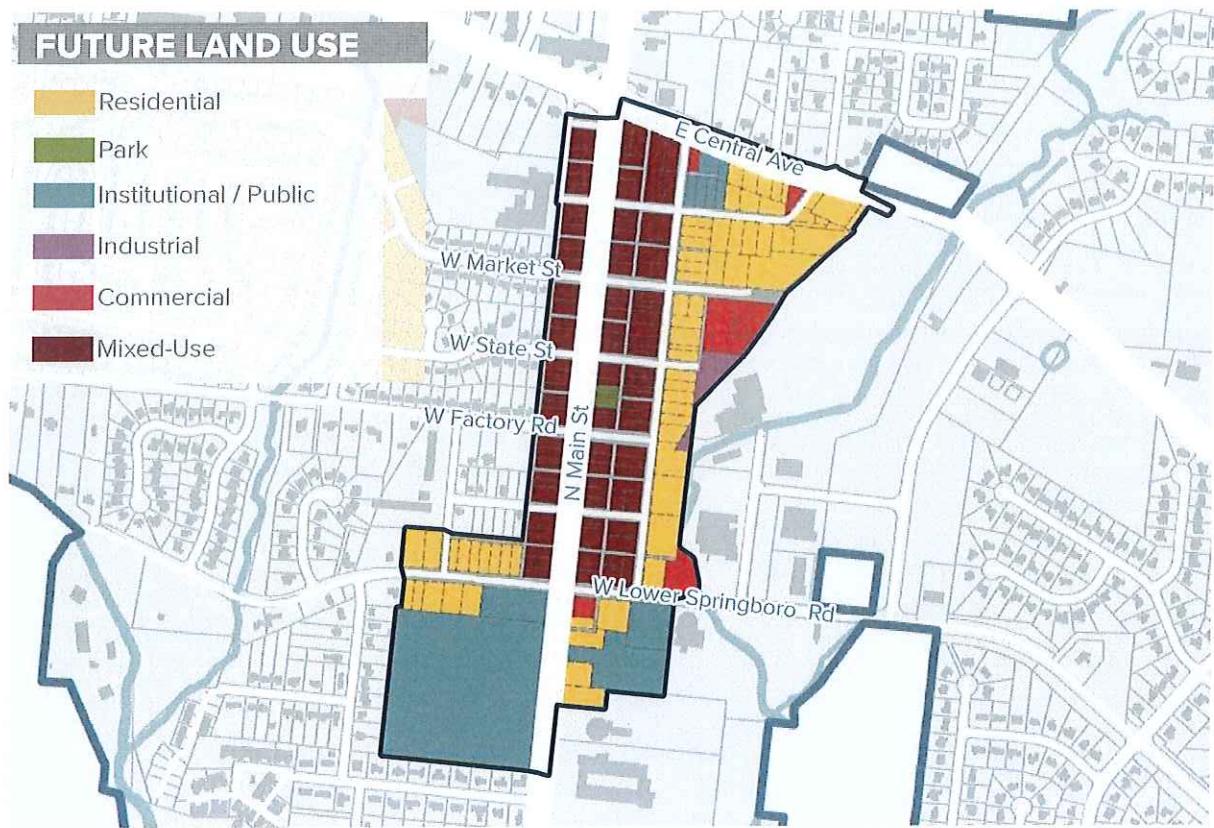
Vicinity Map—proposed rezoning from R-2 District to CBD



POLICY AREAS



- Residential
- Park
- Agricultural / Undeveloped
- Institutional / Public
- Industrial
- Commercial
- Mixed-Use



POLICY AREA 13

HISTORIC CORE

This Policy Area includes the area most commonly associated with Springboro: the original plat of the City and its largest concentration of pre-Civil War buildings. A large portion of the Policy Area is listed on the National Register of Historic Places and is the subject of a detailed historic preservation review process. This area is also subject to high volumes of peak hour traffic on State Route 741, which diminishes from four to two lanes before entering the Historic Core from the north. Buildings in this Policy Area date between the early 19th and mid 20th Centuries and include a mix of residences, retail businesses, personal service, light industrial and offices uses. Most of the properties are well maintained and have

kept their period architecture. Future uses and development in the Historic Downtown should continue a mixture of land uses that will continue to enhance the walkability and character of the area. Placemaking improvements and an emphasis on improved walkability will help to connect the Historic Downtown with the SR 73/SR 741 Policy Area (9) and expand what the community defines as its downtown.

A summary of the existing character and issues relating to the Historic Core Policy Area is as follows::

- » The Policy Area is largely built out.
- » Portions of the area have local and Federal historic designation.
- » The area is commonly identified by long time residents as the "Identity of Springboro", being the original plat.

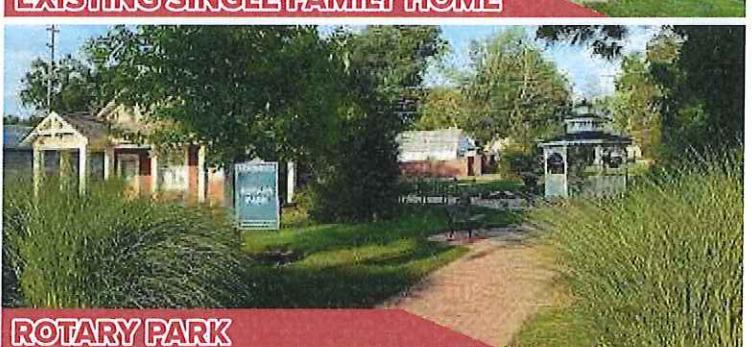
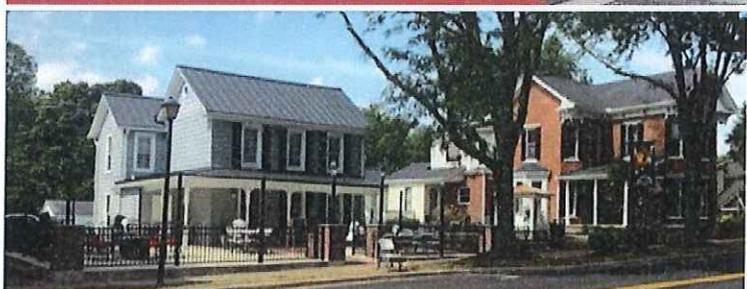
- » Rotary Park is located at 320 South Main Street in the Historic Downtown.
- » The area's historic character and intimate scale creates a strong sense of place and supports that the policy area is very walkable.
- » The land use pattern is mixed.
- » Buildings are typically brick and frame construction, and are 2 stories in height. Most buildings are mid-19th century vernacular construction.
- » The area is characterized by alley and on-street parking. There is a perception that adequate parking is not available.
- » The Policy Area is the location of various community events throughout the year.
- » There is a concentration of schools at southern end of Policy Area.
- » The Policy Area is divided by S.R. 741, which is the primary north/south thoroughfare serving the City and surrounding areas.
- » The Policy Area is periodically congested with vehicular traffic, especially during school arrival and release times and at the morning and afternoon rush hours.
- » The area appears to be slowly transitioning from retail and residential uses to office uses.
- » Consider modifying the Zoning Code to promote "form based zoning" to reinforce the character and design of the Historic District. Form based zoning places heavy emphasis on the physical form, features, and visual appearance of buildings and mixed uses over a strong focus on specific land uses by parcel. This type of zoning is most effective in areas where the architectural character is critical to the overall feel, like in the Historic District.
- » Manage traffic through congestion mitigation and improved directional signage for the Richards Run bypass route through Policy Area 14, the South Richards Run Corridor.
- » Maintain the viability of businesses through small business support networks, joint marketing and signage and public education regarding the availability of parking in the Historic Core.
- » Maintain and enhance the community's connectivity to this area, both physically in terms of sidewalks and walking paths, and through promotion of the district to local residents.
- » Maintain the mix of residential, service and retail business uses to ensure a lively, interactive district.
- » Plan for and develop this area as a destination district (e.g. arts district, bridal district, etc.).
- » The City should undergo a specific Downtown Master Planning process to look at strategic planning for the downtown considering land is scarce and it is a delicate blend of activity and history.

Preferred Future Characteristics, Actions and Needs

- » Continue to maintain the historic character and identity of Policy Area through strict enforcement of design guidelines to ensure that property maintenance, infill, and new development are conducive to the historic core design and atmosphere.

Implementation Recommendations

Education regarding historic preservation techniques, such as is available from the Ohio State Historical Society's Building Doctor program, would also assist efforts to maintain the unique character of this valuable district. Part of the challenge facing this district is the assumption that parking is not available. Although no known study has been conducted regarding the level of use that the existing public parking lot receives, it is likely that this resource is underutilized due to low visitor awareness of its availability and convenience. Installing wayfinding signage that directs visitors to this lot would begin to overcome this perception, as would promotional materials, either independently distributed or printed in a local newspaper, that demonstrate that parking is available. Conducting a downtown master plan could also include a parking study and assessment in addition to being able to look at the downtown in a strategic, detailed manner to create guidance and recommendations for future use and development. Signing and promoting the use of the Richards Run bypass route would also greatly assist efforts to reduce the congestion associated with commutes to schools along S.R. 741.



Permitted Uses in R-2, CBD Districts

R-2, Low-Density Residential District	CBD, Central Business District
Residential Uses	
Single-family residential	Single-family residential
Residential day care	Residential day care
Foster homes	Foster homes
State licensed residential facilities, 1-16 persons	State licensed residential facilities, 1-5 persons
Community, Civic, Institutional Uses	
Places of worship	Colleges
Schools	Charitable, philanthropic organizations
Public recreation	Private clubs, fraternal organizations, community groups
Cultural, public uses	Places of worship
Essential services	Schools
	Day care center
	Public recreation
	Cultural, public uses
	Essential services
Commercial, Office, Service Uses	
Bed and breakfasts	Retail sales
Other uses as determined by Zoning Inspector	Bed and breakfasts
Golf course	Bar or tavern
	Office
	Personal service establishment
	Hotel, motel, inn
	Other uses as determined by Zoning Inspector
	Funeral home
	Restaurants w/ or w/o drive-through
	Bakery
	Place of assembly
Accessory, Temporary, Other Uses	
Accessory buildings, structures, and uses	Accessory buildings, structures, and uses
Farmer's market	Farmer's market
Roadside stand	Roadside stand
Home occupation	Food trucks
	Home occupation
	Outdoor storage
	Off-street parking
	Outdoor dining
	Seasonal sales
	Personal wireless service facilities

City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, May 8, 2024

I. Call to Order

Chair Becky Iverson called the Wednesday, May 8, 2024 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice Chair, Robert Dimmitt, Matt Leedy, John Sillies, and Mike Thompson.

Staff Present: Dan Boron, City Planner; Chad Dixon, City Engineer; and September Bee, Planning Commission Secretary.

Mr. Thompson motioned to excuse Mr. Harding. Mr. Leedy seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes; (6-0)

II. Approval of Minutes

April 10, 2024 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Dimmitt motioned to approve the April 10, 2024 Planning Commission minutes. Mr. Sillies seconded the motion.

Vote: Iverson, yes; Pearson, abstain; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, abstain; (5 yes-1 abstain-0 no)

III. Agenda Items

A. Final Approval

Site Plan Review, 245 South Pioneer Boulevard, Buckeye Fabricating, building addition

Background Information

This agenda item is a request for site plan review filed by Ferguson Construction on behalf of Buckeye Fabricating, property owner, seeking approval to allow the construction of a 36,270-square foot addition to Buckeye Fabricating's existing building located at 245 South Pioneer Boulevard. The proposed addition would be situated on the rear/east portion of the property, an area set aside for future expansion, storm water detention, and a buffer between the Buckeye Fabricating operation and residential areas to the east. The two vehicular access points from South Pioneer Boulevard would remain unchanged, however the internal circulation system would be modified with the addition of paved area on the west/front portion of the site, and an expanded parking and service areas on the south side of the property. A storage building on the south side of the property would be removed to accommodate the expansion.

The subject property is zoned ED, Employment Center District. The ED allows the existing business and its expansion as proposed. The ED allows for the establishment of setbacks at the time of the site plan review process to provide businesses flexibility for the use of their sites. There is no lot coverage maximum in the ED.

Zoning in the vicinity of the subject property is ED to the north (Accelevation, 235 South Pioneer Boulevard), south (Numed Pharma, 265 South Pioneer Boulevard), southeast (private residence, 2754 West Factory Road), and west (General Dynamics, 200 South Pioneer Boulevard). To the east are a number of residences in Franklin Township zoned R2, Two-Family Residential District, that front West Factory Road.

This item was reviewed at the April 10 Planning Commission meeting at which time this item was placed on the May 8 meeting agenda for approval.

Staff Recommendation

City staff recommends approval of the site plan for the addition to Buckeye Fabricating, 245 South Pioneer Boulevard, with the following comments:

1. Provide specs for proposed lighting on building/site. Photometric analysis acceptable.
2. Signage including directional signage to be reviewed with Zoning Inspector separate from the site plan review process.
3. Elevations and contours shall be based upon USGS datum and identify benchmark utilized.
4. Provide proposed storm sewer pipe lengths with slopes. Add structure in lieu of Inserta Tee at detention outlet.
5. Drainage calculations are under review.
6. Provide sanitary sewer lateral pipe lengths.
7. Call out dumpster pad location on site plan along with dimensions.

Discussion:

Mr. Jared Miller, Buckeye Fabricating and Mr. Jeff King, Ferguson Construction were present to answer questions and comments from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron to summarize this agenda item.

Mr. Boron said that this item had been reviewed at the April 10 Planning Commission meeting for site plan review for preliminary approval, at which time Planning Commission members approved placing this item on the May 8 agenda for Formal Approval. Buckeye Fabricating is proposing to add a large addition to their existing facility located at 245 South Pioneer Boulevard. The property is zoned ED, Employment Center District. Staff has a very short list of items to be addressed by the developer and at this time, staff is recommending approval of this agenda item.

Ms. Iverson asked Mr. Miller and Mr. King if they had any questions or comments for Planning Commission or City staff.

Mr. King said they had no questions but are present to answer any questions from the Planning Commission or staff but do not have any questions at this time.

Ms. Iverson asked if anyone had any questions for the applicants. There were none.

Ms. Iverson called for a motion to approve.

Mr. Thompson made a motion to approve the Final Approval, Site Plan Review, 245 South Pioneer Boulevard, Buckeye Fabricating, building addition. Mr. Pearson seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes; (6-0)

Ms. Iverson said the motion is approved.

B. Final Approval

Final Development Plan, 1525 South Main Street (SR 741), Northampton PUD-R, Planned Unit Development-Residential, residential subdivision

Background Information

This agenda item is based on a request filed by M/I Homes of Cincinnati, LLC, seeking final development plan review and approval for the proposed Northampton subdivision located at 1525 South Main Street (SR 741). The property is located on an approximately 35.62-acre site. This item was reviewed on a preliminary basis at the March 13 and April 10 Planning Commission meetings; at the latter meeting the Planning Commission authorized this item to be placed on the May 8 meeting agenda for final approval.

Final development plan review by the Planning Commission is the second step of the three-step PUD review and approval process. The subdivision was the subject of rezoning and general plan review and approval, the first step of the process, by Planning Commission and City Council in late 2023/early 2024. The rezoning of the property to PUD-R was approved by City Council at their January 18 meeting and became effective 30 days thereafter; the general plan was also approved at the January 18 meeting and became effective immediately. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

The applicant proposes to develop 75 single-family residential units on the site at a development density of 2.11 units per acre, with a minimum lot size of proposed to be 8,370 square feet. Two access points are proposed for the subdivision, both from the frontage on South Main Street, one at the midpoint of the property frontage, and a second on the northeast corner aligned with the intersection of Heatherwoode Boulevard. A stub street is also proposed for the west end of the site. That stub street would project into lands in Clearcreek Township. There are no plans to develop that area concurrent to this PUD review process.

A total of 13.40 acres of open space is shown, or 36.3% of the land area of the subdivision, a reduction from the approved general plan. Residential PUDs require a minimum of 25% open space.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the Springboro Community Schools Junior High School and athletic facilities.

Adjacent zoning in the Springboro portion of the vicinity is R-1, Estate-Type Residential District, to the north and southeast, PUD to the east encompassing the Heatherwoode PUD, and PUD to the south incorporating the Junior High School and other school property to the south. Lands to the west in Clearcreek Township are zoned

SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

Staff Recommendation

City staff recommends approval of the final development plan for the Northampton PUD-R, Planned Unit Development-Residential, with following comments:

1. Applicant to prepare deed restriction language to preserve Janney House as described in April 19, 2024 letter from M/I to City.
2. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
3. Landscaping plan information needs to be updated as follows to assist in staff's review under Chapter 1280, Landscaping, of the Planning and Zoning Code. Staff comments are as follows:
 - a. Existing trees identified on sheet 10 of 12 account for an equivalent of 482 trees. Applicant to commit to those trees' maintenance through the construction phase of the subdivision. These trees may be used against landscaping deficiencies in the plan except for street frontage and lot landscaping requirements.
 - b. Site landscaping to be provided at rate of one tree/3,000 square feet of site area, less proposed right-of-way. Provide right-of-way acreage proposed for the subdivision.
4. Development signage is not subject to Planning Commission review, however preliminary review by Zoning Inspector for compliance with Sign Code indicates sign message area far exceeds code (40 square feet permitted, 500 square feet proposed). Coordinate with Zoning Inspector on that issue as well as directional and other signage.
5. All multiuse trails are to be built to current AASHTO standard.
6. Streets to be built to City specifications, including 29 feet back-to-back of curb with 5 feet sidewalks and 10 feet multi-use trail (where applicable). The back of sidewalk/trail is to be along the right of way line.
7. An HOA shall be developed to maintain all common elements, including but not limited to detention facilities, sump drains, identification signage, central mailbox unit(s) and open space.
8. Location of central mailbox unit(s) to be reviewed by the Postmaster.
9. Provide an "eyebrow"/turn around area at the dead ends of Morris Street and Highlands Drive to allow service/emergency vehicles room to turnaround.
10. Bike path to continue north on Highlands Drive and stubbed to the north property line.
11. Roadway and utility improvements shall be per city specifications.
12. 50-foot cross access easement (not 20 feet) to be provided to the parcel to the north from Morris Street near the main entrance to accommodate future 50-foot right-of-way for future connection. Show future connection on the plans. Future intersection shall meet all City Standards.
13. Dedicate the right of way along South Main Street (SR 741) and make any necessary roadway improvements, including but not limited to roadway widening, pavement markings and signage.
14. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
15. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to water, sanitary, storm sewer and detention basin design.
16. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
17. Only 19 lots are permitted to be platted prior to second entrance.
18. Post lights shall be located on each lot, controlled by a photoelectric cell, and shall be operable at all times.
19. Proposed walking path through open space to be accessible to the public.
20. HOA documents to be reviewed and approved by City prior to recording.

Discussion:

Mr. Justin Lanham of M/I Homes Cincinnati was present to answer any questions or comments from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for a summary of this agenda item.

Mr. Boron stated that this item was also on the April 10 agenda for preliminary review of the final development plan, at which time Planning Commission members approved placing this item on the May 8 agenda for formal approval. This is stage two of the review of the PUD for the proposed residential subdivision at 1525 South Main Street. There remain several comments, mostly of an advisory nature, which is typical in this stage of the approval process. Most comments have to do with advising the applicant of the next steps that need to be resolved associated with the development of the property and construction plans.

Mr. Boron said that he did have the opportunity, accompanied by Mr. Thompson and Mr. Lanham, to tour the historic Janney House located on the property. He said that overall, the building was in fairly good shape for a house that is nearly 200 years old. Comment number 1 of the staff comments, the deed restriction language for the Janney House, was included in the response/comments from M/I Homes.

Mr. Boron said that several engineering comments continue to be resolved, including the driveway interconnection with Heatherwoode Boulevard on the opposite side of the street, assuming future development will occur to the north.

Mr. Dixon said that a couple of suggested plans have been received regarding the future connection of the driveway when the property to the north is developed further.

Ms. Iverson asked Mr. Lanham if he had any questions for Planning Commission members or staff.

Mr. Lanham said that he had no questions at this time.

Ms. Iverson asked if there were any other comments.

Mr. Thompson asked if Comment number 17 regarding the number of lots that are permitted to be platted prior to a second entrance being constructed has always been included in the staff comments.

Mr. Boron replied that this is a common comment when there is a proposed subdivision with a large number of lots proposed. This comment is included to ensure that once the first 19 lots have been platted, emergency access is increased to allow for at least two entrances to the development for safety purposes.

Ms. Iverson asked if there were any further questions. There were none.

Ms. Iverson called for a motion to approve.

Mr. Sillies made a motion to approve the Final Approval, Final Development Plan, 1525 South Main Street, (SR 741), Northampton PUD-R, Planned Unit Development-Residential, residential subdivision. Mr. Thompson seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes; (6-0)

Ms. Iverson said the motion was approved unanimously.

Mr. Boron added that this project will probably not come back to Planning Commission members until sometime during the fourth quarter of 2024 to allow for the developers to continue with construction plan review. At that time, Planning Commission members would be asked to review the record plan for preliminary review, possibly in sections. Development activity will start on the site, but that development will only entail items already approved by the Planning Commission and City staff.

Planning Commission members and staff moved to the conference table for further discussion regarding the remaining Preliminary Review items on the agenda.

C. Preliminary Review

Final Development Plan, 6821 Red Lion-Five Points Road, Bailey Farm PUD-R, Planned Unit Development, residential subdivision

Background Information

This is an application filed by M/I Homes of Cincinnati, LLC, seeking final development plan approval for the development of a single-family, residential. The subject property is approximately 79.9 acres in area and is located southeast of the corner of West Lower Springboro Road and Red Lion-Five Points Road. A total of 130 single-family detached residential units are proposed in the PUD-R, Planned Unit Development-Residential.

Final development plan review and approval by Planning Commission is the second stage of the PUD approval process. The first stage, rezoning and general plan approval, were completed earlier this year with the approval of the general plan by Planning Commission (February 14 meeting) and City Council (March 7). The rezoning of the property took place in 2007.

The proposed final development general plan submitted for review includes 130 single-family residential lots. A total of 66 6,760-square foot lots (52 feet wide and 130 feet deep) and 64 8,060-square foot (62 feet wide and 130 feet deep) are proposed. Setbacks and other details are included in the submission.

Primary access to the site is from Red Lion-Five Point Road midway between West Lower Springboro Road, and the intersection of Red Lion-Five Points Road and Springboro Road to the south. Secondary access is provided through an extension of Cambridge Drive and the Creekside subdivision to the west. While the subject property has frontage on West Lower Springboro Road, no access is proposed. The dedication of right-of-way is needed to accommodate the development both from the City (West Lower Springboro Road) and Clearcreek Township (Red Lion-Five Point Road). The eastern edge of the subject property coincides with the City corporation line. Fairway Drive to the west will be extended into the site with a cul-de-sac and terminated with no lots.

A multiuse trail is proposed for public use along Red Lion-Five Points Road, extending through the development to West Lower Springboro Road. This trail will eventually connect with a similar trail to the south in the Clearcreek Reserve West subdivision. The bike lane on West Lower Springboro Road will be extended to the east corporation boundary concurrent to development of the Bailey Farm. Additional private trails are proposed within the development. All streets will incorporate sidewalks as provided by City code.

The proposed general plan includes 45.36 acres of open space, or 55% of the subject property land area, however this includes 18.0 acres of land proposed to be dedicated as parkland. This includes a proposal for a common area including a playground and trails around an existing pond.

Adjacent land uses include to the west the Creekside residential subdivision, on the north side of Lower Springboro Road a residential lot and beyond the Fieldstone residential subdivision. To the east in Clearcreek Township, residential lots on the north side of Lower Springboro Road and continuing to the east side of the property on the east side of Red Lion-Five Points Road in Clearcreek Township. The south side of the property coincides with the open space portion of the Clearcreek Reserve East residential subdivision in Springboro.

Adjacent zoning in the Springboro portion of the vicinity includes R-2, Low-Density Residential District, in the Creekside, Fieldstone, and Clearcreek Reserve East subdivisions, and R-1 for remaining lands in the vicinity in the City. For the Clearcreek Township vicinity, R-1, Rural Residence Zone to the north and northeast, and to the east SR-1, Suburban Residence Zone, and OSR-1, Open Space Rural Residence Zone.

Staff Comments

City staff has the following comments on this agenda item:

1. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
2. Revise information on sheet 3 of 11 to reflect on-site open space.
3. The following comments apply to the proposed landscaping plan:
 - a. Provide metes-and-bounds to sheet 10 of 11.
 - b. For internal street network, 209 trees required (149 shade/evergreen, 60 ornamentals), 154 provided. Distinguish between shade and ornamentals provided.
 - c. Landscaping proposed for street frontages and buffers to adjacent uses meets codes. Site landscaping requirement met with preservation of existing trees on the site.
4. Coordinate with Zoning Inspector for review of development signage and compliance with Sign Code.
5. Multiuse trail to be built to AASHTO standard.
6. Remove proposed pond from lot split open space area.
7. Label slab lots on plan.
8. Proposed cul-de-sac (turnaround) located at west end of Bailey Lane to be constructed in Phase 1. Also, the removal of the sanitary lift station and water main extension into Heatherwoode Golf Course to be constructed in Phase 1.
9. Proposed walking path through open space to be accessible to the public.
10. Roadway improvements along West Lower Springboro Road to include dedication of 40-foot half right-of-way, widen the road to 18 feet from center line of road to south, add ODOT Type 2 curb & gutter, storm sewer, sidewalk/buffered bike lane.
11. No development is to occur in the floodway and or floodplain, without prior permit approval by the City Engineer.
12. Roadway and utility improvements shall be per city specifications.
13. Details regarding the improvements along Red-Lion Five Points Road to meet requirements of Warren County/Clearcreek Township and meet the requirements of the previous annexation of the property, specifically: When the subject property is proposed to be developed, the owner will, as part of its Record Plat establish a fifty foot (50') wide buffer strip along the west side of Red Lion-Five Points Road, to be owned and maintained by the homeowners' association for the subdivision. With the filing of such record plat, the owner shall also guarantee the construction of an attractively-contoured seven foot (7') high, minimum, landscaped mound within the buffer strip, with side slopes not to exceed a grade of 3:1. The minimum height of the mound shall be measured from the existing grade of the adjoining pavement on Red Lion-Five Points Road. The buffer strip may be reduced in width to no less than 40' where the side of the mound away from Red Lion-Five Points Road is terminated into a decorative stone retaining wall. The retaining wall need not follow the lot line if it is entirely within the buffer strip. In such event, the adjacent building lot may extend to that retaining wall. Included in the landscaping of the buffer strip shall be trees of appropriate species. Evergreen trees shall be at least 5 feet tall and deciduous trees shall be at least 1-1/2-

inch caliper at the time of planting. Provide cross section of buffer and paved trail, along Red Lion Five Points Road, to confirm that 50 feet green space buffer is wide enough to meet requirements stated above. If not, revise accordingly.

14. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
15. Only 19 lots are permitted to be platted prior to second entrance.
16. Post lights shall be located on each lot, controlled by a photoelectric cell, and shall be operable at all times. HOA documents to be reviewed and approved by City prior to recording.

Discussion:

Mr. Brent Wilkens, M/I Homes, Cincinnati, and Mr. Jeff Puthoff, Choice One Engineering, Sidney, were present to answer questions and comments from Planning Commission members, City staff, and guests.

Ms. Iverson asked Mr. Boron for a summary of this item.

Mr. Boron said this item has been before Planning Commission members for approval of the general plan. This is stage two of the approval process for PUDs. There are 130 lots proposed with much more detail provided than was with the General Plan.

Ms. Iverson asked Mr. Wilkens and Mr. Puthoff if they had any questions or comments concerning the staff comments and recommendations.

Mr. Wilkens asked for clarification on staff comment number 9 regarding the proposed walking path through the open space of the development. Is the City asking for access easement for the path?

Mr. Boron replied yes. No private lots will be required to allow public access to their property, but all public areas need to be accessible to the public. Including this access will help the city achieve interconnectedness to more of the public walkways and paths throughout Springboro.

Mr. Wilkens asked about staff comment number 6; what is behind the idea of eliminating the proposed pond in the southwest corner of the property?

Mr. Puthoff said that because the engineering plan is not 100% complete, they would like to keep the pond on the plans as a placeholder until the construction plans are completed as an option to include additional detention storage for that area. There is no definite plan about where exactly the detention storage will be located, but they wanted to note it on the plans for possible future consideration.

Mr. Pearson asked why City staff wanted the pond removed from the plans.

Mr. Wilkens said that there was discussion between the property owners and the City about possibly donating 18 acres located in the floodway to the City of Springboro as a possible future site of a park like E. Milo Beck Park on West Lower Springboro Road. The land would not necessarily be developed but allowed to remain as a natural landscape.

There was a general discussion among Planning Commission members, staff, and the applicants regarding the possible donation of the land as parkland. It was agreed that this would be a good use of the land and beneficial to the public. This property is located adjacent to the Heatherwoode Golf Course as well as some open space which may be combined with this property, so it opens additional possibilities for future interconnectivity.

Mr. Boron clarified that these 18 acres will no longer be included in the final development plans moving forward if the land is indeed donated to the City of Springboro. Mr. Puthoff agreed to this and will amend any further plans submitted for consideration.

Ms. Iverson asked Mr. Boron what the next steps for this item would be moving forward.

Mr. Boron said the next step would be to bring the plans back for final approval if deemed acceptable by Planning Commission members. The issue of where the detention pond will be located, along with the grading issue and storm water calculations still need to be resolved before final approval can occur. Approval by the Federal Emergency Management Agency (FEMA) and Mr. Dixon still need to occur.

Mr. Puthoff said he was confident they could amend the plans and would submit their information as soon as they receive it.

Mr. Boron said that the next meeting would be on June 12 with a submittal deadline of May 24.

Mr. Dixon asked if a hydraulic report for the floodway had been conducted.

Mr. Puthoff said it will be scheduled as soon as possible.

Ms. Iverson asked if there were any other questions or concerns. There were none.

Planning Commission members and staff thanked the applicants for attending and reminded them of the submittal deadline of Friday, May 24 by noon.

D. Preliminary Review

Preliminary Subdivision Plan, Northeast Corner West Central Avenue (SR 73) and Clearcreek-Franklin Road, residential subdivision

Background Information

This agenda item is a request for preliminary subdivision review of the proposed Eastbrook Farms subdivision located northeast of the intersection of West Central Avenue (SR 73) and Clearcreek-Franklin Road. The application was submitted on behalf of Eastbrook Farms, Inc., Lebanon, property owner. The proposal includes the development of 45 residential lots on 13.18 acres of land on the northern portion of the 83.12-acre Eastbrook Farm; the 83.12-acre property extends south to West Central Avenue (SR 73); there are no current plans to develop the remaining 66.94 acres on the parent lot. The proposed subdivision abuts the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions to the north.

The subject property is zoned R-2, Low-Density Residential District. The R-2 District allows residential development at a density of four dwelling units per acre on lots no smaller than 9,000 square feet; the proposed subdivision is consistent with the R-2 District development standards. The applicants propose 45 residential lots along a street parallel to Whispering Pines. Access to the subdivision would be from Clearcreek-Franklin Road to the west and Evergreen Drive to the north. The subdivision proposes two stub streets to the south: one at an extension of Evergreen Drive, and another at the midpoint of the subdivision. Open space is provided with one lot in the interior of the subdivision, and on the east portion of the subject property along Twin Creek. Proposed lots range in size from 9,375 square feet (34 lots) to 14,337 square feet.

Adjacent land uses are single-family residential to the north within the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions, single-family residential to the east within the Wood Ridge subdivision,

vacant land comprises the remaining 69.94 acres within the Eastbrook Farm property, and single-family residential to the west on the west side of Clearcreek-Franklin Road both in Franklin Township and Springboro. To the northwest is the Sanctuary assisted living facility.

Adjacent zoning includes R-2 District to the north within the Tamarack Hills/Royal Tamarack/Royal Springs/Royal Meadows subdivisions, PUD, Planned Unit Development, to east within the Wood Ridge subdivision, O, Office District, to the south for the remainder of the Eastbrook Farm property, and to the west PUD-R for the Sanctuary assisted living facility, R-2 for a lot to the south (8617 Clearcreek-Franklin) within the City, and Franklin Township R2, Rural Residence District (6593 Clearcreek-Franklin).

All property owners within 300 feet of the 83.12-acre property were notified by courtesy letter of the May 8 review, with information on how to access the subdivision application, and details about the meeting.

Staff Comments

1. Change subdivision name to Eastbrook Farms, Section One.
2. Proposed development signage, if desired, subject to review by Zoning Inspector.
3. Architectural plans to be consistent with Section 1264.06 of Planning and Zoning Code.
4. The proposed retention pond is in the path of the future stub street to the south. Keep detention pond/drainage easement outside of future right of way limits of the stub street.
5. Only 19 lots are permitted to be platted prior to second entrance being constructed and platted.
6. Provide easement language, and exhibits, for east end of property including larger Eastbrook Farms property.
7. Provide central mailbox unit, which shall also be reviewed by postmaster.

Discussion:

Ms. Jennifer Gonzalez, Fischer Homes, Mr. Roger Wells, Schuler Group, and Mr. John Del Verne, Bayer Becker, were present to answer questions and comments from Planning Commission members and staff.

Ms. Iverson asked Mr. Boron for an initial summary of this project.

Mr. Boron said this item is for preliminary review for a subdivision, being reviewed under the City's subdivision regulations. The zoning for this property is R-2, Low Density Residential District, which is the same zoning as the areas just to the north in the Tamarack and Spice Rack neighborhoods and to the south, the Royal Oaks neighborhood. This zoning has been in effect since 2000 when the city adopted a then-new master plan. There is an area of the property that was zoned O-2, Office Park District, at the time. The O-2 District land were reclassified to O, Office District, in 2015 following a revision to the Planning and Zoning Code.

The subject property, approximately 300 feet wide, was zoned R-2 District to ensure that there would be a buffer between any residential areas to the north and the development of the remainder of the site to the south. This is not a rezoning project; it is going through the subdivision regulation review process under conventional (R-2 District) zoning process. The minimum lot sizes, setbacks and easements required in the R-2 District will apply to this development. There are some restrictions on this property on the east end near Twin Creek in support of some of the City's long-range goals for the development of the off-road trail system, but the developer is aware of them, and is willing to work with the City regarding the restrictions.

Ms. Iverson asked if the applicants had any questions regarding staff comments and recommendations.

Mr. Del Verne asked about the location of the detention basin mentioned in comment number 4. They believe there will be enough space to add the stub street and keep the detention basin where it is located.

Mr. Pearson asked why the engineers want the basin moved.

Mr. Dixon said that they were trying to ensure that the easement and right-of-way requirements will be met on future development plans; these are minor details that can be easily worked out as plans progress.

Mr. Pearson asked if this is all one large piece of property, why is the zoning split?

Mr. Boron replied that it was to provide a buffer between the neighborhood to the north and development of the rest of the property.

Mr. Wells said they envision developing the property into three separate areas: there would be the residential component at the north end of the property that is on the table tonight, some type of buffer in the middle portion to include the Twin Creek area, and then the office use component would run along the south end of the property near SR 73.

Mr. Boron said this development can move forward if it meets the minimum development requirements and all engineering standards. He and staff will need to see more details about the proposed site plan.

Mr. Wells said that they would like to meet with City staff to help define how the non-subdivision portions of the property should be developed.

Mr. Boron said that future discussions will be had to ensure that the commercial aspects of the property will fit the needs of the neighborhood and that any changes to zoning would come before the Planning Commission for their consideration. Normal buffering and landscaping requirements will apply to all the property, dependent upon the usage.

Mr. Del Verne said their intention is to keep as many trees as possible while they develop the property.

Mr. Sillies asked if these homes are all single-family homes.

Mr. Boron said yes, all homes would comply with R-2 District requirements.

Mr. Del Verne said they would submit more detailed plans for review.

Planning Commission members and staff thanked the applicants for attending.

E. Preliminary Review

Site Plan Review, Commercial Way, proposed vehicle maintenance facility

Background Information

This agenda item is a request for site plan review submitted by Jagdeep Singh, property owner, seeking approval to allow the development of a truck repair facility on a vacant parcel on the south side of Commercial Way. The vacant, unaddressed property is located on the south side of Commercial Way between Complete Grinding (55 Commercial Way) and S&S Tool & Die (75 Commercial Way). The property is zoned ED, Employment Center District, which permits the use.

The applicants are proposing a 2,600-square foot building on the northwest corner of the site, with vehicular access to Commercial Way to the north. An off-street parking area is provided to the east of the building, and a service dock is proposed for the rear/south side of the building.

In addition to the uses to the east and west identified above, AST is located to the north on the north side of Commercial Way. To the south, two residential lots in Franklin Township with frontage on Sharts Road are located. Zoning for the vicinity of the property is ED to the north, east, and west. Zoning to the south in Franklin Township is R2, Rural Residence.

Staff Comments

City staff has the following comments regarding this agenda item.

1. Sheets 5-7, E1-3, M1-2, P1-2, and truss plans not included in packet; for future reviews only include plans directly associated with site review process included.
2. Setbacks established at time of site plan review process for the ED; staff recommends increasing setbacks to 35 feet.
3. For proposed building, provide architectural elevations with a graphic scale and an indication of exterior building materials.
4. Building color to be neutral color or earth tone, with one accent color. Revise rendition accordingly.
5. For the building architectural, modify plans accordingly:
 - a. Provide a tripartite design with a top (e.g., cornice), middle, and base or foundation. See buildings along Commercial Way that accommodate this requirement.
 - b. Use at least three exterior building materials on the elevations, and no more than four.
6. Plan to comply with provisions of Section 1264.26, Development Standards for Specific Uses, Minor and Major Vehicle Repair including the following:
 - a. Lot Area. The minimum lot area shall be 12,000 square feet.
 - b. Parking Location. The site plan shall be designed to locate vehicles awaiting or undergoing repair, employee parking, and customer parking behind the building setback line.
 - c. Screening. In addition to the screening requirements in Chapter 1280, Landscaping, outdoor storage of vehicles awaiting or undergoing repair shall be screened on all sides by a solid wood fence or brick or stone wall 6 feet in height. Such fence or wall shall be maintained in good repair and attractive condition at all times.
 - d. Petroleum Containment. Tracking of oil or other petroleum-based substances onto the public right-of-way shall be avoided by proper management of such materials.
 - e. Parking Duration. Storage of vehicles overnight at a Minor Vehicle Repair facility is prohibited. Any motor vehicle that is being repaired at a Major Vehicle Repair facility shall not remain on the premises for more than 10 days.
 - f. Dismantling Prohibited. No vehicle shall be dismantled unless said vehicle is being repaired inside the garage and said repair shall be accompanied by a repair order showing the description of the

automobile, owner and the description of the work required. A valid and current license plate shall be displayed on all vehicles.

- g. Enclosed Building. All activities shall take place inside the building. All lubrication equipment, automobile wash equipment, hoists, and pits shall be enclosed entirely within a building.
- h. Sales and Rentals Prohibited. The sale or rental of vehicles or utility trailers of any kind shall be prohibited. No vehicle parked on the property shall be dismantled for the purposes of selling, bartering, swapping, or giving of any part or parts of said vehicle.
- i. Large Vehicles. No trucks with a capacity over one ton, buses, camping trailers, truck or trailers shall be permitted on the property at any time unless the said vehicles are being repaired in the garage.
- j. Trash Containers and Rubbish. There shall be trash containers of sufficient size and capacity to contain any and all waste generated by the operation of business. The premises shall be devoid of all rubbish, litter, debris, automobile parts, etc.
- k. Parking for Quick Oil Change Facilities. Quick oil change facilities shall provide off-street waiting spaces equal to five (5) times the number of oil change stalls for automobiles awaiting entrance. Each off-street waiting space shall be 10 feet wide by 20 feet long.
- l. Storage or Impounding. Storage or impounding of vehicles at a Minor Vehicle Repair facility is prohibited. Any motor vehicle that is being stored or impounded at a Major Vehicle Repair facility shall not remain on the premises for more than 10 days.
- m. Hours of Operation. In addition to all the above standards, any vehicle repair facility adjacent to any residential district may only be open between the hours of 7:00 a.m. and 10:00 p.m.

7. Following preliminary review, develop a lighting plan for the site and building consistent with Chapter 1273, Exterior Lighting, of the Planning and Zoning Code. Provide a photometric analysis, fixture specifications (cut sheets), minimum to maximum and average to maximum ratios, compliance with 3500 Kelvin maximum color-temperature, and other code requirements.

8. Following preliminary review, provide a landscaping plan consistent with Chapter 1280, Landscaping, of the Planning and Zoning Code. Provide buffering to street and side yard, and parking area, as well as the overall site. Credit is given to trees larger than 4 inches DBH against landscaping requirement.

9. Signage is not a part of the site plan review process but coordinate with Zoning Inspector on signage permitted by code for the building and site.

10. Provide surveyed site plan with engineering details including but not limited to utility, roadway, site, parking lot, and grading improvements. Provide property line metes and bounds.

11. Provide storm water detention details.

12. Provide ODOT Type 2 curb and gutter along Commercial Way with associated storm water improvements.

13. Provide minimum 9-foot setback from parking lot to lot line.

14. Provide dumpster location and screening details.

15. Provide lighting details.

16. Elevations and contours shall be based upon USGS datum and identify benchmark utilized.

17. Provide graphical scale.

Discussion:

Mr. Jagdeep Singh, property owner, was present to answer questions and comments from Planning Commission members and staff.

Ms. Iverson asked the representative for the Preliminary Review, Site Plan Review, Commercial Way, proposed vehicle maintenance facility to approach the conference table.

Ms. Iverson asked Mr. Boron for a summary of the project and staff comments.

Mr. Boron said this site is located across the street from AST on Commercial Way. It is a vacant parcel. The requested use of this property is permitted but because it is a new site with new development.

Mr. Sillies asked if this facility will be repairing semi-trucks.

Mr. Singh stated yes, they would be servicing semi-trucks but only the tractors, not the trailers themselves. He has an existing facility near Middletown, Ohio which is much bigger. They will continue to service large vehicles at that much larger facility.

Ms. Iverson asked Mr. Singh if he had any questions about the staff comments.

Mr. Singh replied that he had not had a chance to read through all the comments but would forward them on to his architect.

Mr. Boron said a significant request for the applicant is the provision of a survey from their Engineer for review by the City Engineer and staff.

Mr. Singh said their engineer was working on the survey.

Mr. Pearson commented on the fact that the applicant's property has a plateau and then a large drop-off; what is the plan to address this topography?

Mr. Singh said the property is two lots and he is only concerned about developing the lot on the right (west) side of the property. The other side will remain empty with no plans for future development at this time.

Mr. Boron said staff would be happy to work with the applicants as they move forward with their plans, but at this time staff and Planning Commission members need more information to move ahead with any final approval. Any plan submitted to Planning Commission will be considered on a preliminary basis until further information is received regarding Engineering and Architectural details.

Ms. Iverson asked if there were any other questions or comments. There were none.

Planning Commission members and staff thanked Mr. Singh for attending the meeting and answering their questions. They look forward to receiving further information soon.

IV. Guest Comments

Ms. Iverson asked if anyone would like to make a guest comment or ask any questions.

Mr. Brent Spille, 35 Jacamar Court, approached the podium for a question. His question concerns the Eastbrook Farm development. He lives on the southeast corner of the property at Eastbrook Farm near Twin Creek which is prone to flooding. What will be built in that area?

Mr. Del Verne replied that no buildings would be located near Twin Creek or in the floodway.

Ms. Iverson asked if there were any further guest comments. There were none.

Discussion

Planning and Zoning Law Update

Jerry McDonald, City Attorney, has been invited to attend the meeting to provide a planning and zoning law update to Planning Commission members and City staff.

Mr. McDonald distributed an outline of his presentation for a planning and zoning law update to all members of the Planning Commission and staff. He explained that the Planning Commission and City Council have two very different roles to play in City Government and their decisions that impact the community. The Planning Commission has a very specific function and that is to know what the rules are concerning proposed projects and City policies. City Council creates the policies, and Planning Commission members implement them.

Another difference between the two bodies is that the Planning Commission makes recommendations and Council members make decisions on those recommendations. The City Council is the legislative body; they're the ones who make the laws. The Planning Commission is the administrative body that enforces the laws approved by the Council. Planning Commission members have the expertise to be able to make informed decisions regarding recommendations to the City Council.

Mr. McDonald introduced the topic of why records are kept. The record is kept so that all decisions and recommendations made by the Planning Commission and City Council may be consulted in the future if a dispute arises. Opinions may be considered, but the record will most likely receive most of the consideration because those decisions have been made by a group of people with the expertise to make them. Standards are in place to prevent arbitrary decisions by any individual tasked with making recommendations.

Mr. McDonald said that because the Planning Commission is a public body, all pre-arranged meetings must be open to the public. Any time there is a pre-arranged meeting of four or more members, it is considered a public meeting. If the meeting is not pre-arranged, it wouldn't be considered a public meeting, but it would be best if individuals do not share their opinions regarding pending agenda items. Social media and group emails are also considered to be a public forum and members should be cautious about sharing their opinions in those venues. These forums can be summoned for use in court if litigation occurs.

A public meeting and a public hearing are two different types of meetings. At a public meeting, the governing body is not required to allow the public to speak but they may opt to allow public comments as is the case in Springboro. A public hearing requires the governing body to allow time for public comments, generally limited to a specific amount of time.

Public records were the next topic of discussion introduced by Mr. McDonald. Because the Planning Commission is a public body, it is required by the State of Ohio to have a records retention schedule for any documents or communications considered to be part of the public record for the City of Springboro. All meeting notes and communications must be kept for a specified period and then destroyed or stored appropriately. Text and email communications, as well as information from any personal device a member might have if it is used for any type of City business, are subject to public record requests.

The final topic of Mr. McDonald's presentation revolved around Planning Commission and ethics. Any time the interest of a public official is present in an issue that is presented before the public official, there is an ethics question. Unless there is a conflict of interest, a Planning Commission member is not required to abstain from voting on an issue that comes before them. If there is a question about whether a member, family member or employer could benefit from a project, the member should abstain from voting and recuse themselves from the discussion pertaining to that subject. If a Planning Commission member has a vested interest in a proposed project, it would be best to recuse themselves from the discussion and voting as well. Ethics violations are a personal violation, not a City violation.

Ex parte communications are not allowed but sometimes occur without warning. If that should happen, the best practice is to immediately tell other members what happened and how it was resolved.

V. Planning Commission and Staff Comments

Ms. Iverson asked if there were any further questions or comments from Planning Commission members and staff.

Mr. Thompson asked about the submittal from M/I Homes referencing vinyl siding. Will it be allowed to be installed as pictured in their first slide?

Mr. Boron replied that it would be allowed if it met the requirements set in place by the Planning Commission and City Council.

Ms. Iverson noted that she would not be able to attend the next meeting scheduled for June 12.

Mr. Boron commented that the next meeting will be on Wednesday, June 12.

VI. Adjournment

Ms. Iverson called for a motion to adjourn.

Mr. Pearson motioned to adjourn the May 08, 2024 Planning Commission Meeting at 7:37 pm

Mr. Sillies seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Leedy, yes; Sillies, yes; Thompson, yes (6 yes - 0 no)

Ms. Iverson said that the motion is approved unanimously, and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary