

Agenda
City of Springboro Planning Commission Meeting
Wednesday, March 13, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Approval of Minutes
 - A. February 14, 2024 Planning Commission Meeting
- III. Agenda Items
 - A. Final Approval, Record Plan, Village Park PUD-MU, Planned Unit Development-Mixed Use, office component, replat for Fire Station #24 site
 - B. Preliminary Review, Site Plan Review, southwest terminus West Tech Boulevard, new building for Caesar Creek Software
 - C. Preliminary Review, Final Development Plan, Northhampton PUD-R, Planned Unit Development-Residential, 1525 South Main Street (SR 741), residential subdivision
 - D. Preliminary Review, Planning and Zoning Code Text Amendment, vape stores
 - E. Discussion, Planning and Zoning Law Update with City Attorney
- IV. Guest Comments
- V. Planning Commission and Staff Comments
- VI. Adjournment

Background Information & Staff Recommendations
City of Springboro Planning Commission Meeting
Wednesday, March 13, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

III. Agenda Items

A. Final Approval

Record Plan, Village Park PUD-MU, Planned Unit Development-Mixed Use, office component, replat of Clearcreek Township Fire Station #24 site

Background Information

This agenda item is a request for record plan approval for the site of Clearcreek Township Fire Station site #24 currently under construction on Gardner Road in the Village Park PUD-MU, Planned Unit Development-Mixed Use, office component. The site plan was approved by the Planning Commission at their August 9, 2023 meeting. The record plan includes approximately 4.06 acres of land, of which existing lots 2 and 4 of Village Park Office, Section One are being replatted into one lot. Following review and approval by the Planning Commission, the record plan will proceed to City Council.

Staff Recommendation

Staff recommends approval of the record plan subject to compliance with the following comments:

Staff Comments

1. Submit record plan to Warren County for review and make revisions, if any.
2. Remove notes #6, 7 and 9.

B. Preliminary Review

Site Plan Review, southwest terminus of West Tech Boulevard, new building for Caesar Creek Software

Background Information

This agenda item is a request for site plan review filed by Synergy Building Systems seeking approval to allow the construction of a 37,500-square foot office building at the southwest terminus of West Tech Boulevard. The subject property is located west of the intersection of Pinnacle Point Drive and West Tech Boulevard in The Ascent portion of the South Tech Business Park. The property currently has no address as addresses are not assigned by the Springboro Engineering Department until later in the site development process. The two-story building would serve as the second location for Caesar Creek Software; their existing building is located immediately north. The proposed site is located entirely in the Warren County portion of The Ascent/South Tech Business Park.

The site plan includes references to a 30,000-square foot future building on the south side of the site. While this is helpful to this site plan review to determine the placement of the building and

other details, the implications of that addition (additional parking, buffering, architectural details, etc.) will be reviewed at a later date.

The subject property is zoned ADD-1, Austin Development District 1. The ADD-1 district was created to manage development of land in the South Tech Business Park. The ADD-1 was an outcome of the Austin Center Land Use and Development Plan, a long-range plan developed by the City of Springboro in cooperation with Miamisburg, Miami Township, the Montgomery County Transportation Improvement District (MCTID), and others, to coordinate development of land near the then-proposed Austin Boulevard interchange of I-75. The ADD-1 includes its own permitted land uses, as well as design and development standards addressing architecture, landscaping/buffering, and other site development standards.

Zoning in vicinity of the subject property is exclusively ADD-1. Adjacent land uses include offices to the north and west for Shiver Security, Caesar Creek Software's original building, and Mayfield Brain and Spine (currently nearing completion).

Following this preliminary review the Planning Commission may authorize this item to be placed on a future meeting agenda for final approval.

Staff Comments

City staff has the following comments on this agenda item:

1. When developed, the future building addition will need to include a 35-foot landscape buffer area adjacent to the proposed public roadway to the southwest.
2. Indicate lot coverage for site at build-out; maximum lot coverage for the ADD-1 is 85%.
3. For the proposed lighting plan, address the following:
 - a. Proposed parking lot illumination falls below the acceptable minimum of 0.4 foot-candles.
 - b. Provide spec sheet for proposed RAB lighting fixture; also if applicable confirm that any architectural lighting proposed for the building complies with code provisions
 - c. Confirm that proposed color-temperature of exterior lighting is 3500 Kelvin or less.
4. Landscaping plan to be revised to provide additional trees on the West Tech Boulevard frontage, and foundation plantings adjacent to the building.
5. Signage to be consistent with Chapter 1281 of Planning & Zoning Code and Section 1268(f)(6) of ADD-1 requirements. Signage to be reviewed with Zoning Inspector separate from the site plan review process.
6. Revisions to the existing water and/or sewer to be reviewed by Montgomery County. Provide approval notification from the county for our files.
7. Provide calculations that regional detention basin is properly designed to accept runoff.

C. Preliminary Review

Final Development Plan, 1525 South Main Street (SR 741), Northampton PUD-R, Planned Unit Development-Residential, residential subdivision

Background Information

This agenda item is based on a request filed by M/I Homes of Cincinnati, LLC, seeking final development plan review and approval for the proposed Northampton subdivision located at 1525 South Main Street (SR 741). The property is located on an approximately 35.62-acre site.

Final development plan review by the Planning Commission is the second step of the three-step PUD review and approval process. The subdivision was the subject of rezoning and general plan review and approval, the first step of the process, by Planning Commission and City Council in late 2023/early 2024. The rezoning of the property to PUD-R was approved by City Council at their January 18 meeting and became effective 30 days thereafter; the general plan was also approved at the January 18 meeting and became effective immediately. Record plan review and approval by both Planning Commission and City Council is the last step in the PUD approval process. This allows for the subdivision of lots and the dedication of right-of-way and open spaces. As with final development plans, record plans may be submitted in a number of sections as the development is completed.

The applicant proposes to develop 75 single-family residential units on the site at a development density of 2.11 units per acre, with a minimum lot size of proposed to be 8,370 square feet. Two access points are proposed for the subdivision, both from the frontage on South Main Street, one at the midpoint of the property frontage, and a second on the northeast corner aligned with the intersection of Heatherwoode Boulevard. A stub street is also proposed for the west end of the site. That stub street would project into lands in Clearcreek Township. There are no plans to develop that area concurrent to this PUD review process.

A total of 13.40 acres of open space is shown, or 36.3% of the land area of the subdivision, a reduction from the approved general plan. Residential PUDs require a minimum of 25% open space.

Adjacent land uses in Springboro include large lot residential to the west in Clearcreek Township, and to the north in the City. To the east, on the east side of South Main Street, cluster housing on Glencoe Court, Dunnington Court within the Heatherwoode PUD, and large lot residential, and to the south the Springboro Community Schools Junior High School and athletic facilities.

Adjacent zoning in the Springboro portion of the vicinity is R-1, Estate-Type Residential District, to the north and southeast, PUD to the east encompassing the Heatherwoode PUD, and PUD to the south incorporating the Junior High School and other school property to the south. Lands to the west in Clearcreek Township are zoned SR-1, Suburban Residence, which allows development up to two units per acre when connected to a centralized sewage system.

Following this preliminary review the Planning Commission may authorize this item to be placed on a future meeting agenda for final approval.

Staff Comments

City staff has the following comments on this agenda item:

1. Check open space information provided on sheet 4 of 12; total is less than approved general plan, and the numbers do not add up correctly.
2. All homes to be consistent with Section 1264.06, Development Standards for Specific Uses, Single-Family Dwellings (Detached) for compliance of some of the home plans with (b) Appearance, and (c) Garages with respect to 60% maximum width and side/rear access.
3. Landscaping plan information needs to be updated as follows to assist in staff's review under Chapter 1280, Landscaping, of the Planning and Zoning Code:
 - a. Indicate how required buffers are to be memorialized and maintained.

- b. Indicate proposed landscaping relative to component areas including (1) external and internal street frontages, (2) required buffers, and (3) site area in table/schedule form.
- c. Indicate provisions for landscaping on individual lots.
- d. For existing trees to be preserved, indicate how they will be used to reduce new landscaping proposed for the component areas; and no such trees on the north side?
- 4. Provide more specifics on plans for proposed common areas including proposed structures and details.
- 5. Connect proposed sidewalk system to the adjacent school campus.
- 6. Development signage is under review by Zoning Inspector for compliance with Sign Code and sight distance requirements.
- 7. Streets to be built to City specifications, including 29 feet back-to-back of curb with 5 feet sidewalks, and 10-foot multi-use trail (where applicable). The back of sidewalk/trail is to be along the right of way line.
- 8. An HOA shall be developed to maintain all common elements, including but not limited to detention facilities, sump drains, identification signage, central mailbox unit(s) and open space.
- 9. Location of central mailbox unit(s) to be reviewed by the Postmaster.
- 10. Highlands Drive to be renamed; the proposed name is too similar to existing Royal Highlands.
- 11. Provide an "eyebrow"/turn around area at the dead ends of Morris Street and Highlands Drive to allow service/emergency vehicles room to turnaround.
- 12. Final configuration of the intersection of Glasgow and Cameron Street to be determined.
- 13. Proposed multiuse trail under review by non-motorized transportation consultant. At a minimum continue trail north on Highlands Drive and stubbed to the north property line.
- 14. Roadway and utility improvements shall be per city specifications.
- 15. Dedicate the right of way along South Main Street (SR 741) and make any necessary roadway improvements, including but not limited to roadway widening, pavement markings and signage.
- 16. Is the fence on the south property line remaining in place?
- 17. Provide minimum dwelling unit floor area and minimum lot size (change from typical) and delete average lot on general plan sheet 4 of 12.
- 18. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
- 19. Engineering comments are reserved until such time when designed improvements are completed on construction drawings, including but not limited to water, sanitary, storm sewer and detention basin design.

D. Preliminary Review

Planning and Zoning Code Text Amendment, vape stores

See the enclosed memorandum regarding this agenda item.

E. Discussion

Planning and Zoning Law Update

Gerry McDonald, City Attorney, has been invited to attend the March 13 meeting to provide a planning and zoning law update to Planning Commission members and City staff.

The information contained in this report is based on material provided to the City of Springboro as of Tuesday, March 4, 2024 at 5:00 p.m.

VILLAGE PARK OFFICES, PHASE 1A

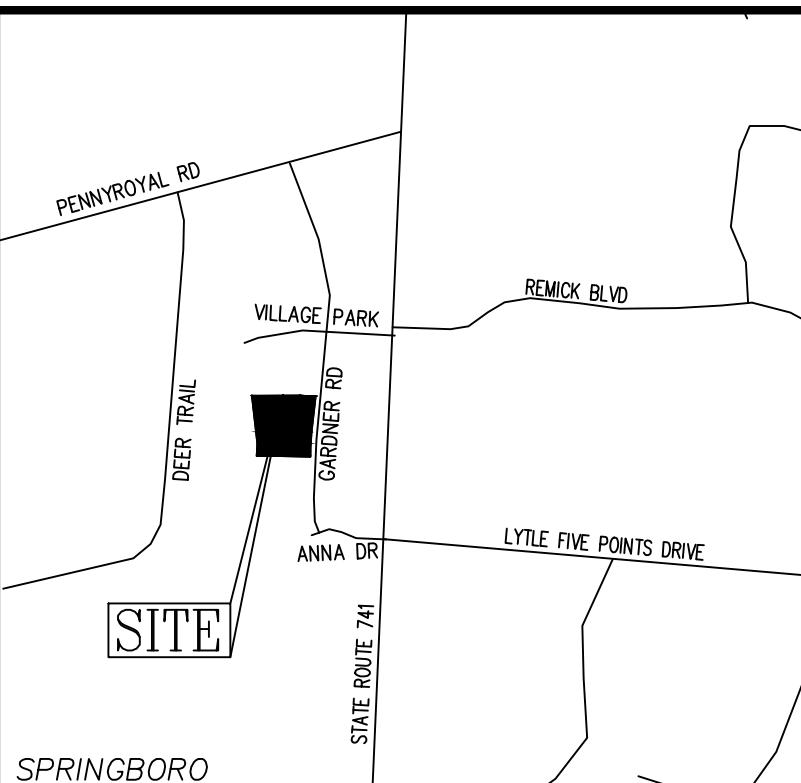
BEING A RE-PLAT OF LOT 1 AND LOT 4 OF VILLAGE PARK OFFICES, SECTION 1 AS RECORDED IN P.B. 83, PGS. 40-41
SITUATED IN

20 0 20 40 60

N

SECTION 15, TOWN 2, RANGE 5
CITY OF SPRINGBORO
WARREN COUNTY, OHIO
FEBRUARY 2024

ACREAGE TABLE	
LOTS	4.0625 AC.
R/W	0.0000 AC.
TOTAL	4.0625 AC.



VICINITY MAP

NOT TO SCALE

NOTES

1. ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
2. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED AS PER CITY ORDINANCE NO 90-36.
3. NO PERSON SHALL INSTALL ANY PUMP, PIPING DEVICE, APPARATUS OR OTHER SUCH SYSTEM FOR DISCHARGING SUMP PUMP EFFLUENT INTO THE PUBLIC RIGHT-OF-WAY WITHOUT THE APPROVAL OF THE CITY OF SPRINGBORO, CITY ENGINEER.
4. THE CITY OF SPRINGBORO ASSUMES NO LEGAL OBLIGATION TO MAINTAIN OR REPAIR ANY OPEN DRAINAGE DITCHES OR CHANNELS DESIGNATED AS DRAINAGE EASEMENTS ON THIS PLAT.
5. ALL LOT CORNERS, ANGLE POINTS, POINTS OF TANGENCY, POINTS OF CURVATURE SHALL BE MARKED WITH A 1/2" DIAMETER IRON PIN IF NOT INDICATED OTHERWISE.
6. ALL STORM SEWERS, DETENTION FACILITIES AND OPEN SPACES TO BE MAINTAINED PER THE DECLARATION OF COVENANTS AND RESTRICTIONS CONTAINED IN THE DOCUMENTS FOR VILLAGE PARK OFFICES WHICH ARE FILED WITH THE WARREN COUNTY RECORDER IN OFFICIAL RECORD VOLUME 4084, PAGE 608 AND RE-RECORDED IN OFFICIAL RECORD VOLUME 4152, PAGE 457.
7. THE WITHIN SUBDIVISION IS SUBJECT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS CONTAINED IN THE DOCUMENTS FOR VILLAGE PARK OFFICES WHICH ARE FILED WITH THE WARREN COUNTY RECORDER IN OFFICIAL RECORD VOLUME 4084, PAGE 608 AND RE-RECORDED IN OFFICIAL RECORD VOLUME 4152, PAGE 457.
8. ALL LOTS SHOWN HEREIN ARE INCLUDED IN THE ASSOCIATION AS RECORDED IN OFFICIAL RECORD VOLUME 4084, PAGE 608 AND RE-RECORDED IN OFFICIAL RECORD VOLUME 4152, PAGE 457.
9. FINAL OCCUPANCY PERMIT WILL NOT BE PROVIDED FOR ANY LOT UNTIL ITS RECORDED CONDO PLAN IS SUBMITTED.
10. PUBLIC ROADS AND EASEMENTS HAVE BEEN RECORDED IN PLAT BOOK 83, PAGES 32, 33 & 34 OF THE WARREN COUNTY RECORDER'S OFFICE.

CITY APPROVALS

APPROVED BY COUNCIL AND THE MUNICIPALITY OF SPRINGBORO THIS _____ DAY OF
_____, 20____

MAYOR

ATTEST-CLERK OF COUNCIL

CITY ENGINEER

WARREN COUNTY AUDITOR

ENTERED FOR TRANSFER THIS _____ DAY OF
_____, 20____

BY: DEPUTY AUDITOR AUDITOR, WARREN COUNTY, OHIO

WARREN COUNTY RECORDER

RECEIVED ON THIS _____ DAY OF _____, 20____ AT .M.

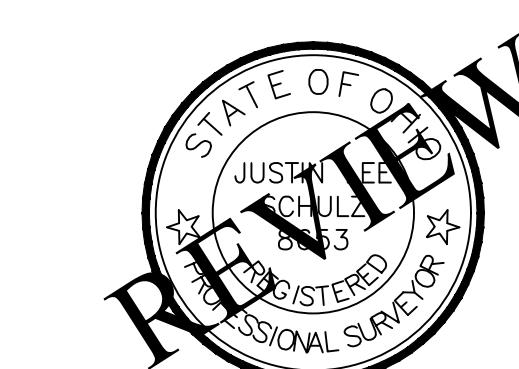
RECORDED ON THIS _____ DAY OF _____, 20____ AT .M.

RECORDED IN PLAT BOOK NO. _____, PAGE _____, FEE \$ _____

BY: DEPUTY RECORDER RECORDER, WARREN COUNTY, OHIO

DEED REFERENCE

SITUATED IN SECTION 15, TOWN 2, RANGE 5 BEING A RE-PLAT OF LOT 1, LOT 4 AND ALL OF A 2.0642 ACRE TRACT CONVEYED TO THE CITY OF SPRINGBORO BY D.N. 2023-010890 AS RECORDED IN THE WARREN COUNTY RECORDER'S OFFICE.



I HEREBY CERTIFY THE ACCOMPANYING PLAT IS A CORRECT RETURN OF A SURVEY MADE UNDER MY DIRECTION. ALL IRON PINS AND MONUMENTS WILL BE SET AS SHOWN.

JUSTIN LEE SCHULZ
OHIO PROFESSIONAL SURVEYOR NO. 8653

DATE

SCALE: 1"=40'
DATE: SEPT 2023
DRAWN: JLS
DESIGNED: JLS
CHECKED: .



REVISIONS:
1.
2.
3.
4.
PROJECT: 070731
DRAWING: 230931REPLAT
SHEET 1 OF 1

DEDICATION/GRANT OF EASEMENT

WE THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND HEREIN BEING SUBDIVIDED, DO HEREBY ACKNOWLEDGE THE EXECUTION AND THE SIGNING OF THIS PLAT TO BE THEIR VOLUNTARY ACT AND DEED.

EASEMENTS ON SAID PLAT DESIGNATED AS (UTILITY EASEMENTS OR PUBLIC UTILITY EASEMENTS) ARE PROVIDED FOR THE CONSTRUCTION, MAINTENANCE, AND OPERATION OF POLES, WIRES, AND CONDUITS AND THE NECESSARY ATTACHMENTS IN CONNECTION THEREWITH, FOR THE TRANSMISSION OF ELECTRIC, TELEPHONE, CABLE, AND OTHER PURPOSE FOR CONSTRUCTION AND MAINTENANCE OF SERVICE AND UNDERGROUND STORM WATER DRAINS, PIPELINES FOR SUPPLYING GAS, WATER, AND OTHER PUBLIC OR QUASI-PUBLIC CONNECTIONS, AND ALSO THE RIGHT OF INGRESS TO AND EGRESS FROM SAID EASEMENTS AND TO CUT, TRIM OR REMOVE TREES AND UNDERGROWTH OR OVERHANGING BRANCHES WITHIN SAID EASEMENT OR IMMEDIATE ADJACENT THERETO. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO: (1) REDUCE THE CLEARANCE OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR THE ABILITY TO MAINTAIN THE FACILITY OR (4) CREATE A HAZARD.

THE ABOVE PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY SERVICE PROVIDERS INCLUDING, BUT NOT LIMITED TO THE CITY OF SPRINGBORO, DUKE ENERGY OHIO/KENTUCKY, INC., AMERITECH, AND CONTINENTAL CABLEVISION.

ALSO HEREBY GRANTED TO DUKE ENERGY OHIO/KENTUCKY, INC. AND ITS SUBSIDIARIES, SUCCESSORS, AND ASSIGNS IS THE RIGHT TO LATERALLY EXTEND, REPAIR, AND MAINTAIN NATURAL GAS SERVICES TO SERVE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICE LINES NECESSARY FOR THE REPAIR ONLY ON THE LOT ON WHICH THE SERVICE IS LOCATED. RECONSTRUCTION OR RELOCATION IS PERMISSIBLE ONLY WITH THE WRITTEN PERMISSION OF THE PARCEL OWNER AND SAID UTILITY PROVIDER TO A MUTUALLY AGREEABLE LOCATION. NO PART OF THE UTILITY EASEMENTS SHALL ENCUMBER EXISTING BUILDINGS OR ADJOINING LOTS.

WITNESS _____ OWNER
PRINT NAME _____ PRINT NAME _____
WITNESS _____
PRINT NAME _____
WITNESS _____ LENDER
PRINT NAME _____ PRINT NAME _____
PRINT NAME _____

ACKNOWLEDGMENT

STATE OF OHIO
COUNTY OF WARREN, SS:

BE IT REMEMBERED, THAT ON THIS _____ DAY OF _____ 20____, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY CAME _____ OWNER OF MONARCH HOMES, LLC. WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING PLAT TO BE HIS VOLUNTARY ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARY SEAL ON THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

ACKNOWLEDGMENT

STATE OF OHIO
COUNTY OF WARREN, SS:

BE IT REMEMBERED, THAT ON THIS _____ DAY OF _____ 20____, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY CAME _____ OF _____ WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING PLAT TO BE HIS VOLUNTARY ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARY SEAL ON THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

OBLIGATION

VILLAGE PARK OFFICES, PHASE 1A SITUATED IN SECTION 15, TOWN 2, RANGE 5 CITY OF SPRINGBORO, WARREN COUNTY, OHIO IS SUBJECT TO THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS & RESERVATION OF EASEMENT FOR VILLAGE PARK RECORDED IN O.R. 4084 PAGE 608 AND AMENDED IN O.R. 4152 PAGE 457 OF THE RECORDERS RECORDS OF WARREN COUNTY, OHIO, INCLUDING, WITHOUT LIMITATION, THE DUTIES AND OBLIGATIONS OF THE PROPERTY OWNERS FOR THE CARE, MAINTENANCE, LANDSCAPING AND UPKEEP OF CERTAIN BOULEVARD ISLANDS AND RETENTION AREAS AS SET FORTH IN SAID DECLARATION.

COVENANTS AND RESTRICTIONS

NO PRIVATE IMPROVEMENTS OF ANY KIND SHALL BE MADE ON ANY SAID EASEMENT WHICH WOULD INTERFERE WITH ACCESS TO ANY UTILITY, OR OTHER SERVICE IMPROVEMENT, PRESENT OR FUTURE, AND THE CITY OF SPRINGBORO SHALL NOT BE RESPONSIBLE TO ANY PRESENT OR FUTURE OWNERS OF THE PROPERTY INDICATED ON THIS PLAN FROM ANY DAMAGE DONE ON EASEMENTS TO SOIL, SHRUBBERY, TREES, DRIVEWAYS OR OTHER IMPROVEMENTS EITHER NATURAL OR ARTIFICIAL BY REASON OF ENTERING FOR CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF SAID IMPROVEMENTS.

THE CITY OF SPRINGBORO ASSUMES NO LEGAL OBLIGATIONS TO MAINTAIN OR REPAIR ANY OPEN DRAINAGE CHANNELS, OR DETENTION BASINS WITHIN EASEMENT AREAS AND NO STRUCTURES, CULVERTS, PLANTING, FENCING, FILLING OR OTHER MATERIAL SHALL BE PLACED OR PERMITTED TO REMAIN WHICH MAY OBSTRUCT, RETARD, OR DIVERT THE FLOW THROUGH SAID EASEMENT.

LEGEND

- ▲ -MAG NAIL SET
- -5/8" IRON PIN SET
- -5/8" IRON PIN FOUND (IPF) OR AS NOTED
- △ -MAG NAIL FOUND

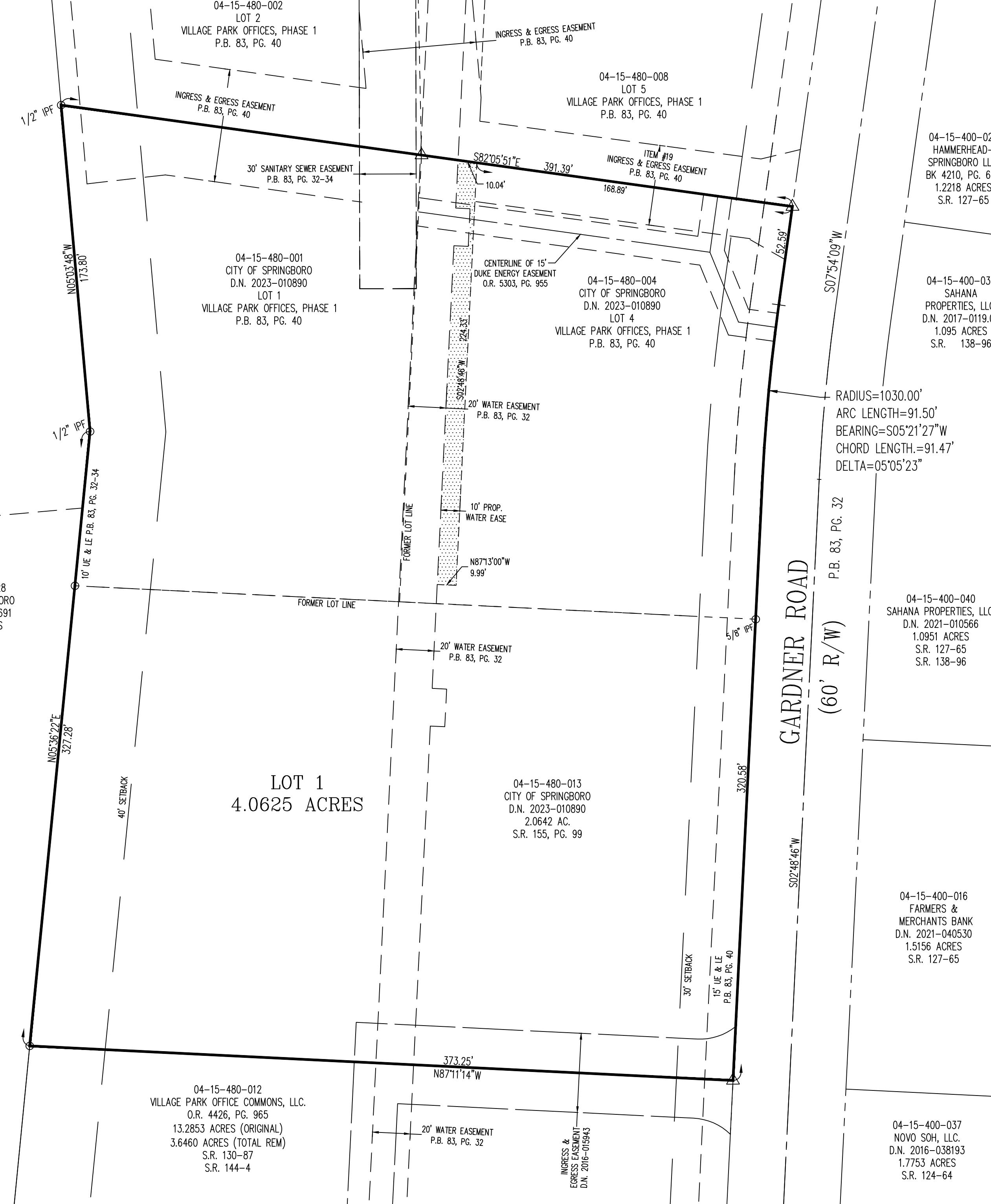
SUBDIVIDER/OWNER

CITY OF SPRINGBORO
320 W. CENTRAL AVE
SPRINGBORO, OHIO 45066

SURVEYOR NOTES:

- 1.) OCCUPATION FITS SURVEY AS SHOWN.
- 2.) MONUMENTS IN GOOD CONDITION.
- 3.) SOURCE DOCUMENTS AS NOTED.
- 4.) BEARINGS BASED ON GPS OBSERVATION USING ODOT'S VRS NETWORK, NAD 83 OHIO SOUTH ZONE.
- 5.) DEED REFERENCE: AS NOTED
- 6.) INGRESS/EGRESS EASEMENT FOR LOT 1 & LOT 4 OF VILLAGE PARK OFFICES, PHASE 1 WAS VACATED PER D.N. 2024-001385

A CURRENT TITLE EXAMINATION/REPORT IS NECESSARY TO DETERMINE ANY ADDITIONAL EASEMENTS, RESTRICTIONS, COVENANTS, CONDITIONS OR ENCUMBRANCES WHICH MAY AFFECT THE LANDS HEREIN PLATTED.



04-15-480-012
VILLAGE PARK OFFICES, LLC.
O.R. 4426, PG. 965
13.2853 ACRES (ORIGINAL)
3.6460 ACRES (TOTAL REM)
S.R. 130-87
S.R. 144-4

04-15-480-013
CITY OF SPRINGBORO
D.N. 2023-010890
2.0642 AC.
S.R. 135, PG. 99

04-15-480-016
FARMERS & MERCHANTS BANK
D.N. 2021-040530
1.5156 ACRES
S.R. 127-65

04-15-480-017
NOVO SOH, LLC.
D.N. 2016-038193
1.7753 ACRES
S.R. 124-64

04-15-480-018
NOVO SOH, LLC.
D.N. 2016-038193
1.7753 ACRES
S.R. 124-64

04-15-480-019
NOVO SOH, LLC.
D.N. 2016-038193
1.7753 ACRES
S.R. 124-64

04-15-480-020
HAMMERHEAD-SPRINGBORO LLC.
BK 4210, PG. 653
1.2218 ACRES
S.R. 127-65

04-15-480-021
SAHANA PROPERTIES, LLC.
D.N. 2017-019193
1.095 ACRES
S.R. 138-96

04-15-480-022
SAHANA PROPERTIES, LLC.
D.N. 2021-010566
1.0851 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-023
SAHANA PROPERTIES, LLC.
D.N. 2021-010566
1.0851 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-024
SAHANA PROPERTIES, LLC.
D.N. 2021-010566
1.0851 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-025
SAHANA PROPERTIES, LLC.
D.N. 2021-010566
1.0851 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-026
SAHANA PROPERTIES, LLC.
D.N. 2021-010566
1.0851 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-027
SAHANA PROPERTIES, LLC.
D.N. 2021-010566
1.0851 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-028
CITY OF SPRINGBORO
O.R. 4084, PG. 691
16.0000 ACRES
S.R. 127-67

04-15-480-029
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-030
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-031
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-032
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-033
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-034
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-035
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-036
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-037
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-038
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-039
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-040
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-041
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-042
CITY OF SPRINGBORO
D.N. 2023-010890
1.5156 ACRES
S.R. 127-65
S.R. 138-96

04-15-480-043
CITY OF SPRINGBORO
D.N. 2023-0

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

SITE PLAN REVISION TO APPROVED SITE PLAN CONCEPT PLAN PRELIMINARY SUBDIVISION RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner APPLICANT NAME: Synergy Building Systems - John Kopilchack
 Agent
 Lessee Address 3500 Pentagon Blvd. Suite 500
 Signed Purchase Contract Beavercreek, OH 45431
Telephone No. (937 429-3143)
Fax No. ()
Email Address johnk@synergybldg.com

PROPERTY OWNER NAME (IF OTHER): _____

Address: _____

Telephone No. () _____

Property Address or General Location: West Tech Blvd. South of Caesar Creek Software's current building

Parcel Number(s): 4.194 acres of 0415126012 Zoning District: ADD-1

Proposed Use: Office

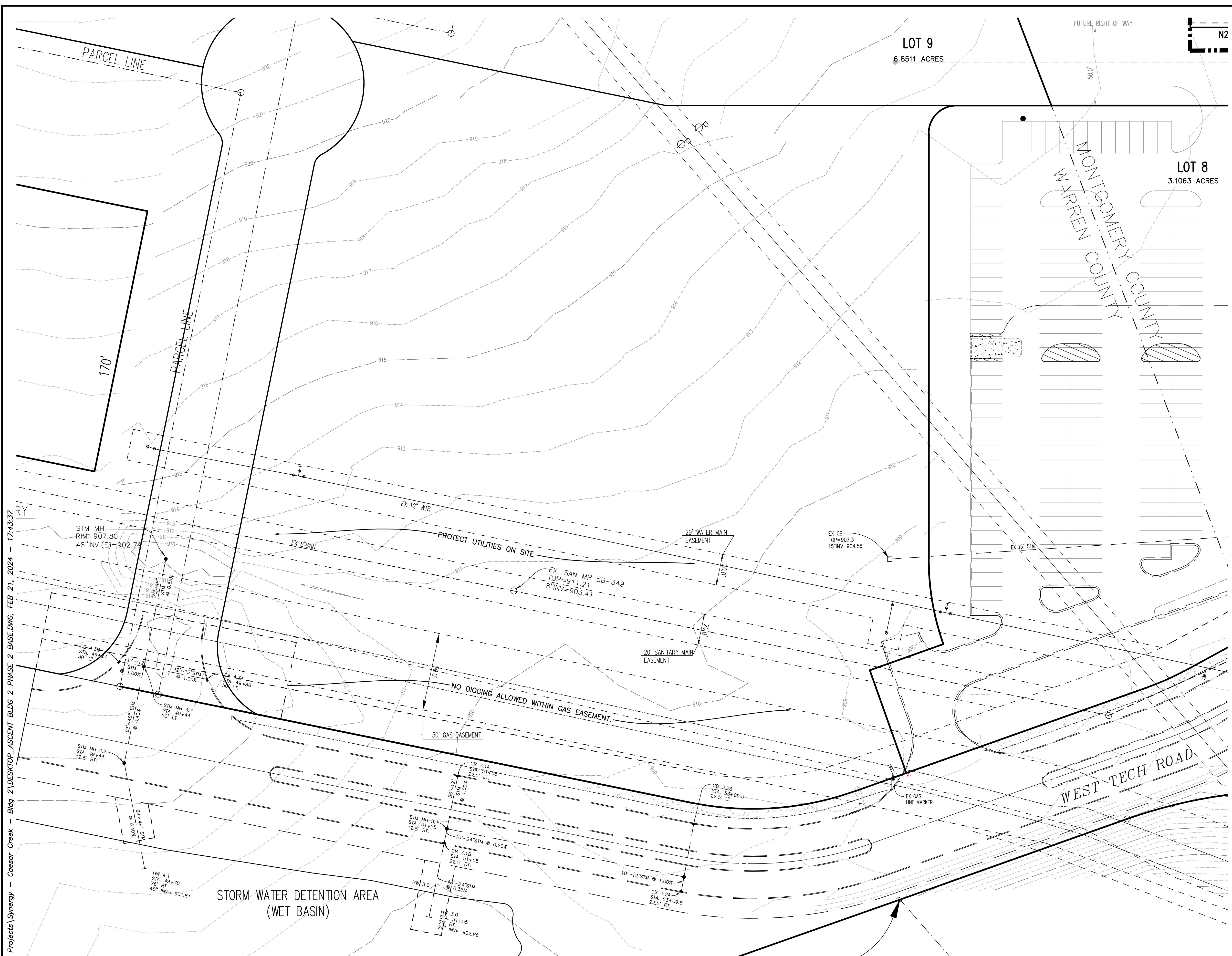
The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

John W Kopilchack
(Signature of Applicant and/or Agent)

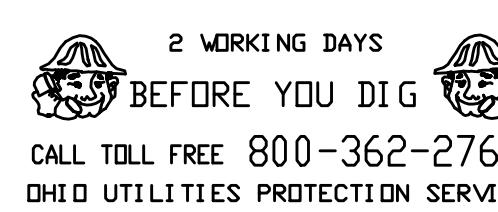
2/23/2024

(Date)

John Kopilchack
Printed Name



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BEFORE YOU DIG
CALL TOLL FREE 800-362-276
OHIO UTILITIES PROTECTION SERVICE

GRAPHIC SCALE

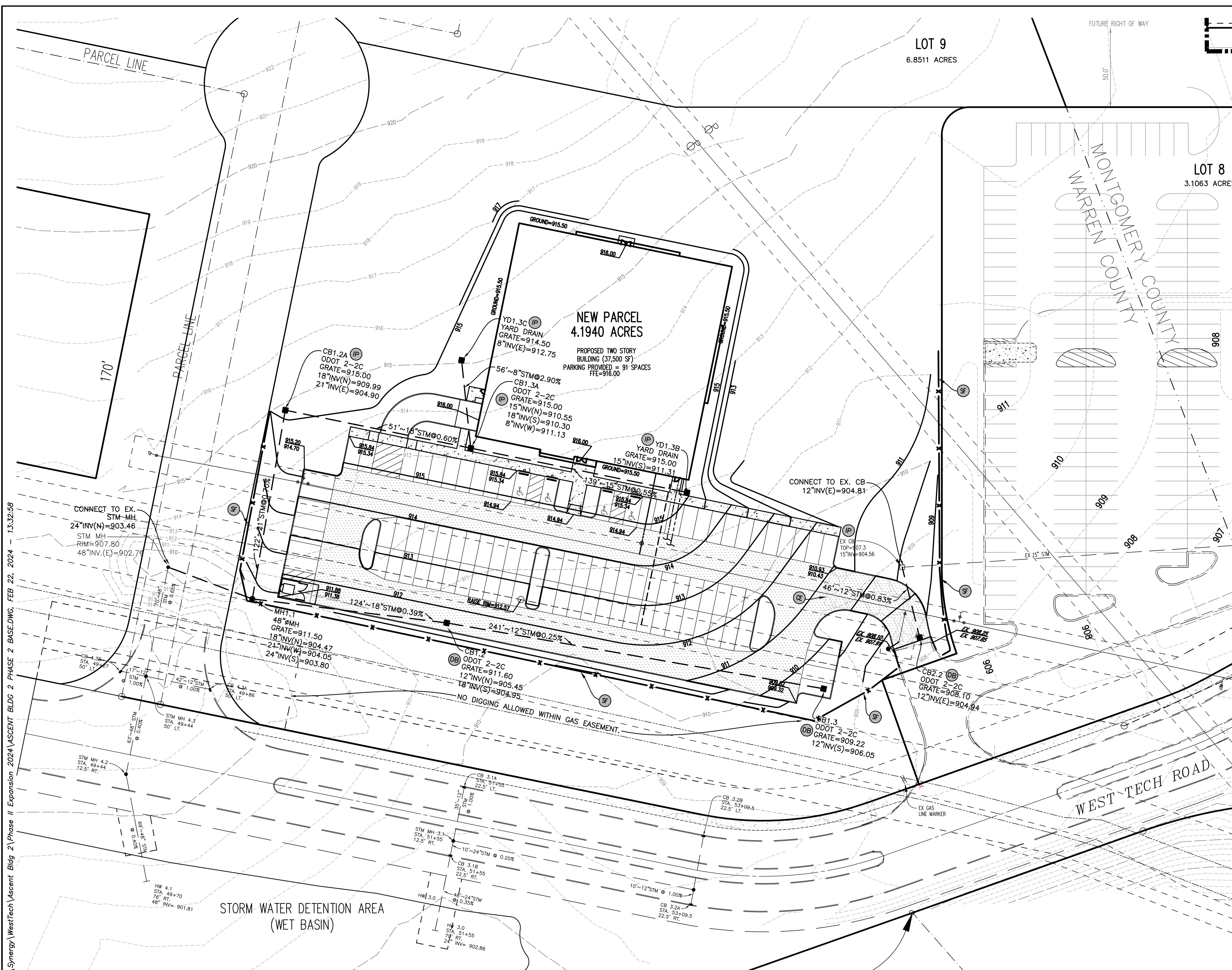
(IN FEET)

1 inch = 30 ft.

EXISTING TOPOGRAPHY PLAN CAESEER CREEK SOFTWARE

LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 MRs
CITY OF SPRINGBORO
MONTGOMERY COUNTY, OHIO

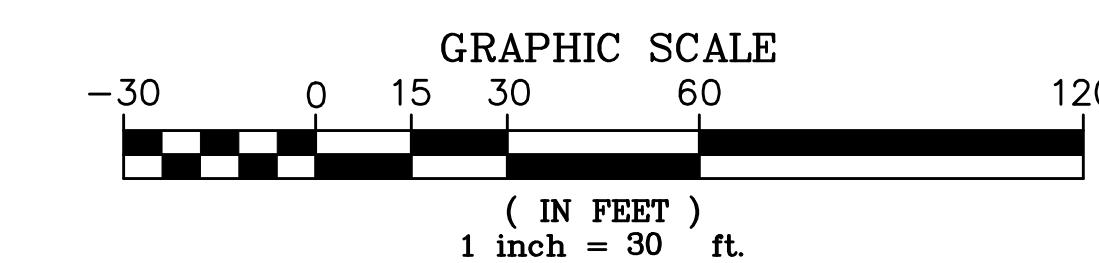
DATE: FEBRUARY 2024
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PROJECT No. xxxx
FILE No. _____
SHEET NO. _____



NOTES:

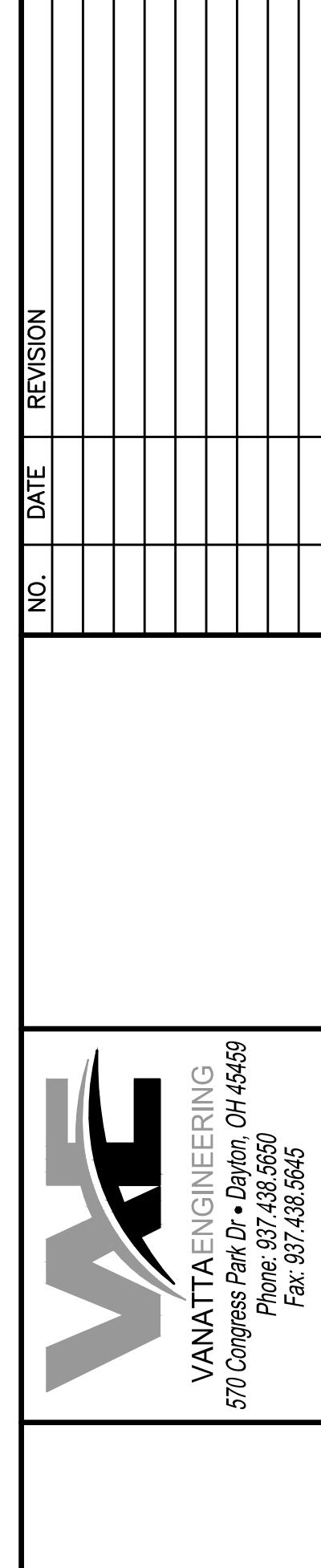
1. CONTRACTOR TO VERIFY ROOF DRAIN AND DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS. CONNECT DOWNSPOUTS TO ROOF DRAIN COLLECTOR PIPES.

EROSION CONTROL LEGEND	
—x—	SILT FENCE
●●●	DANDY BAG
●●● (IP)	INLET PROTECTION
●●● (CE)	CONSTRUCTION ENTRANCE

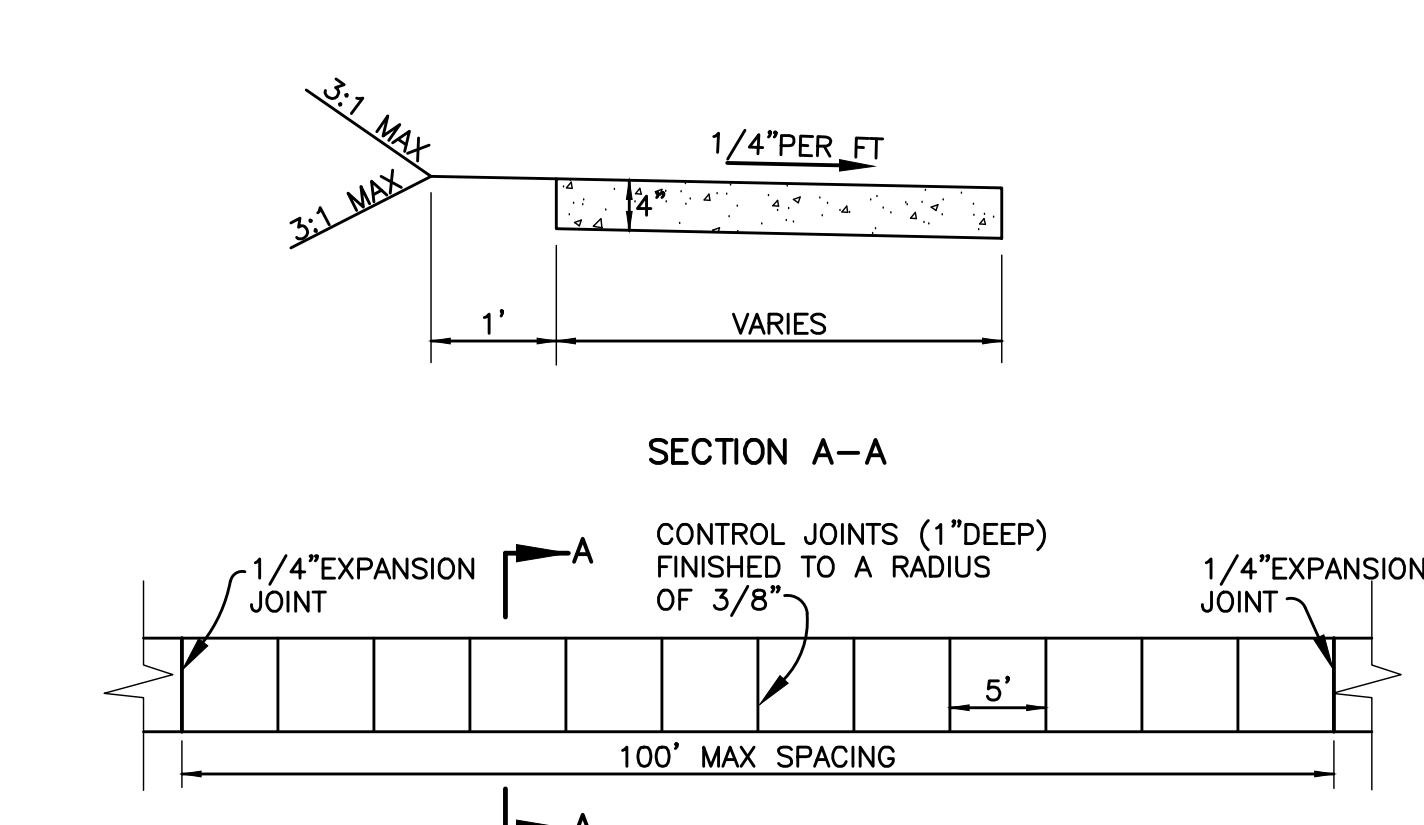
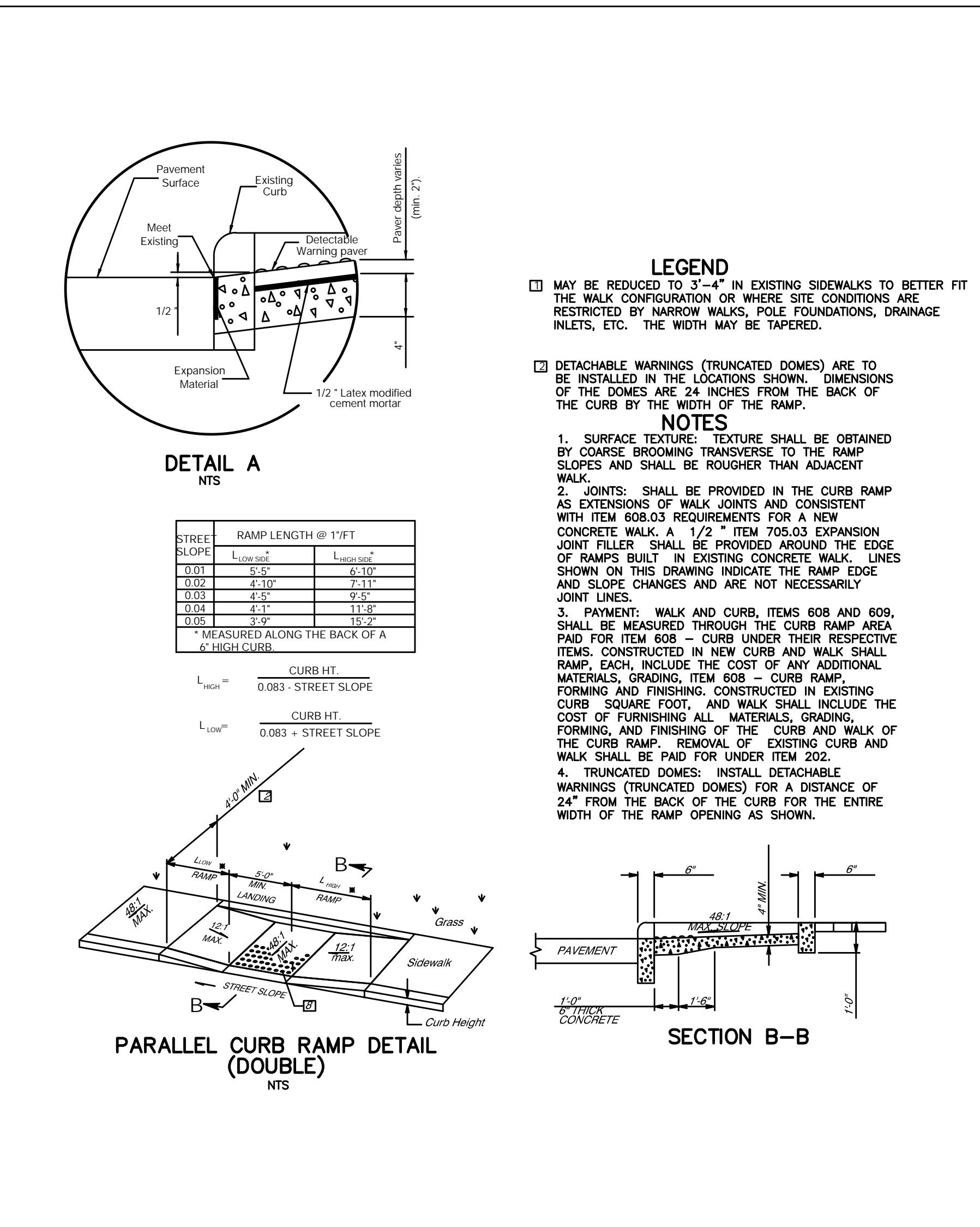
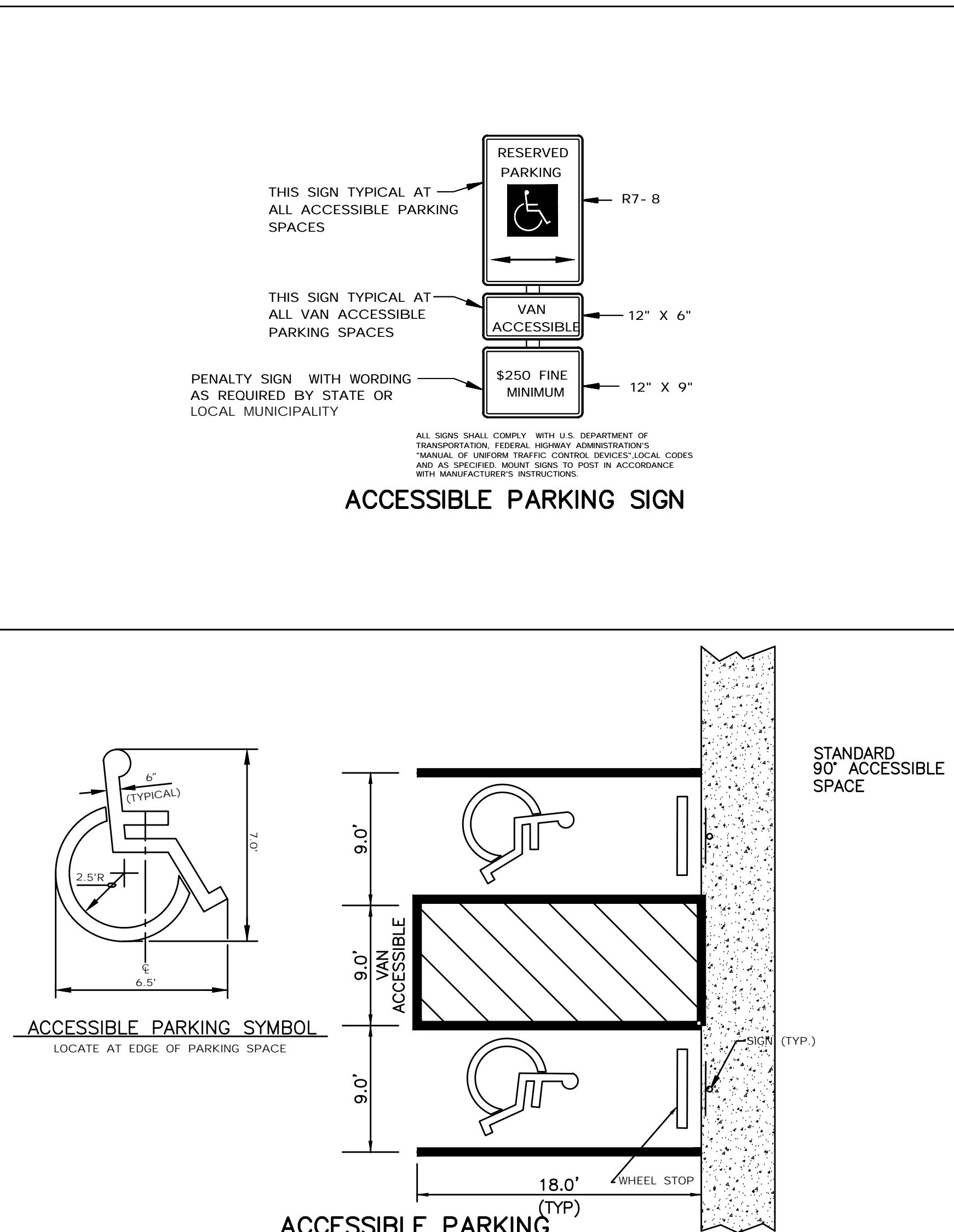
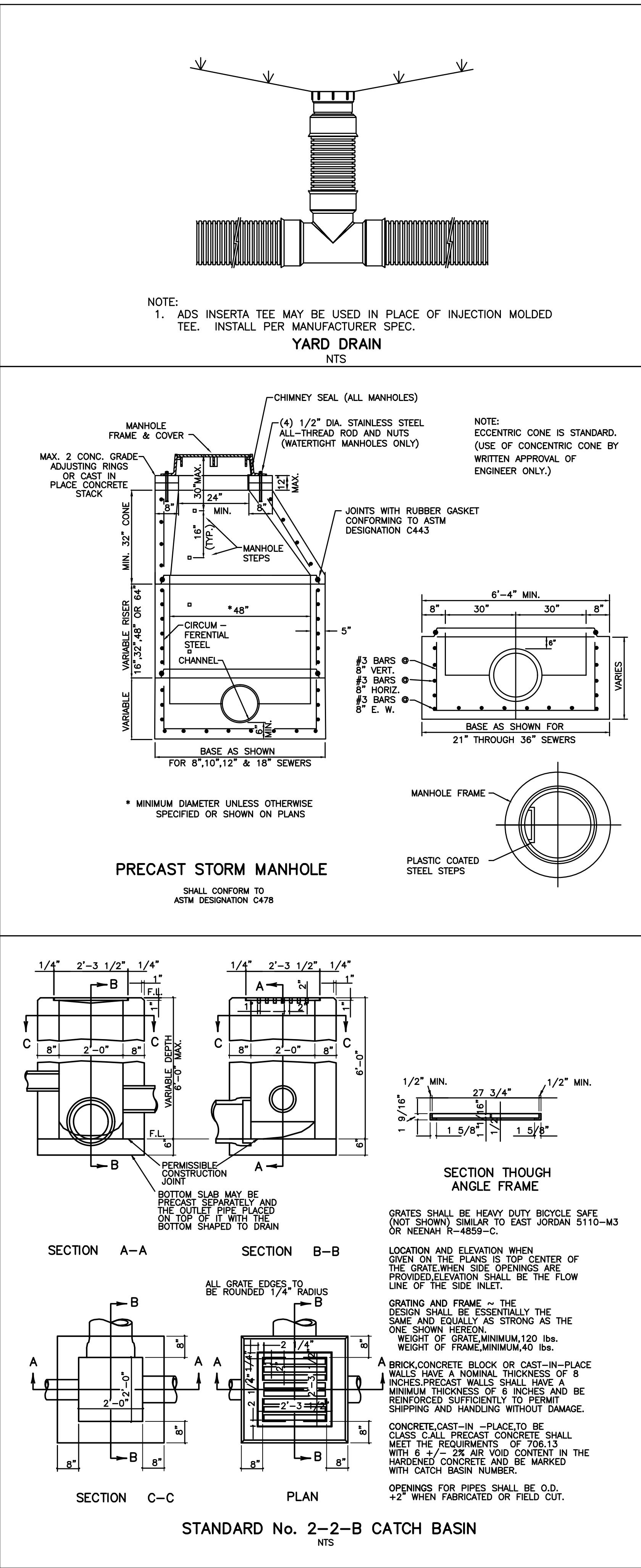


CAESER CREEK SOFTWARE
GRADING/EROSION CONTROL PLAN

LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 MRS
CITY OF SPRINGBORO
MONTGOMERY COUNTY, OHIO



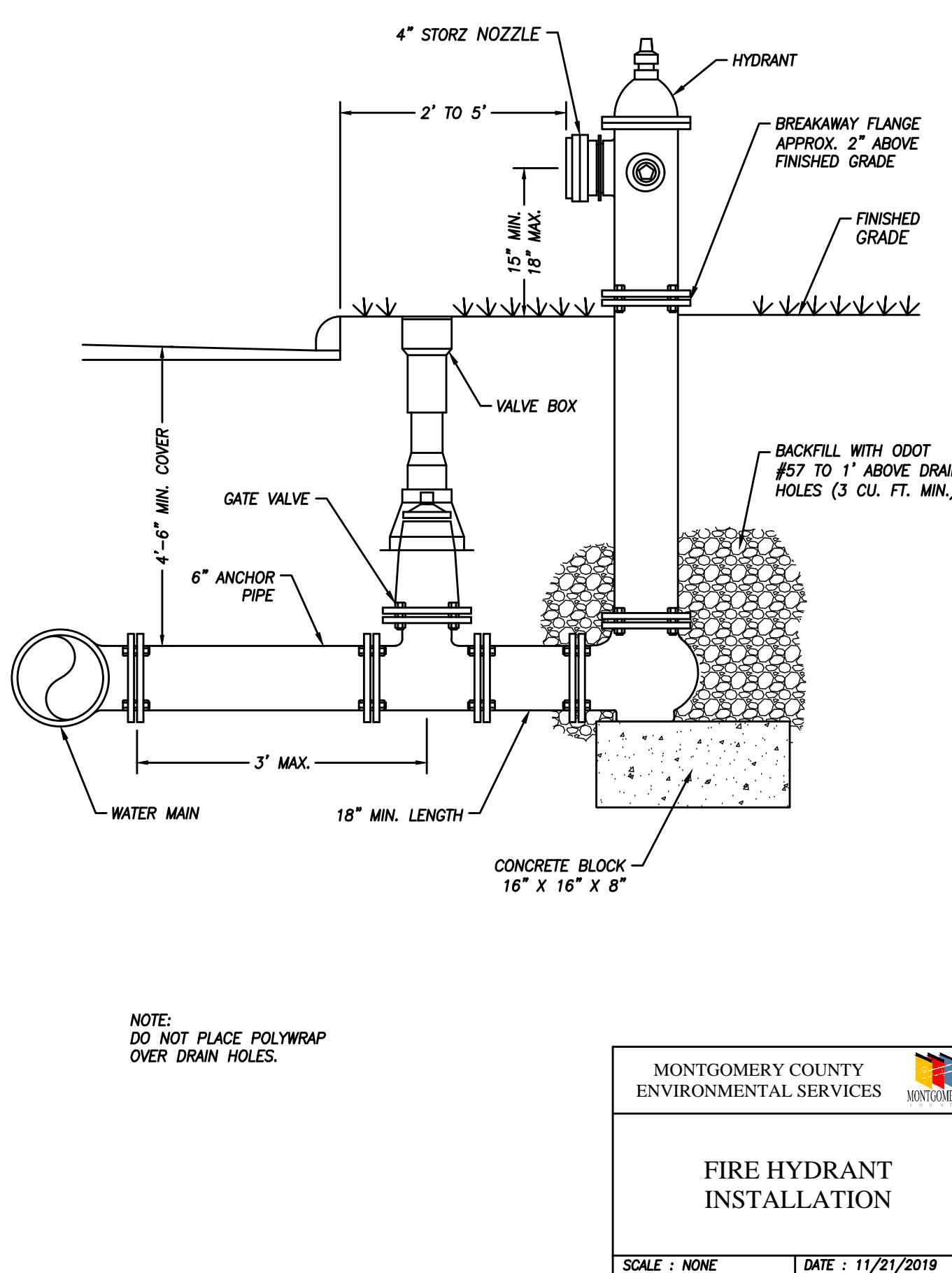
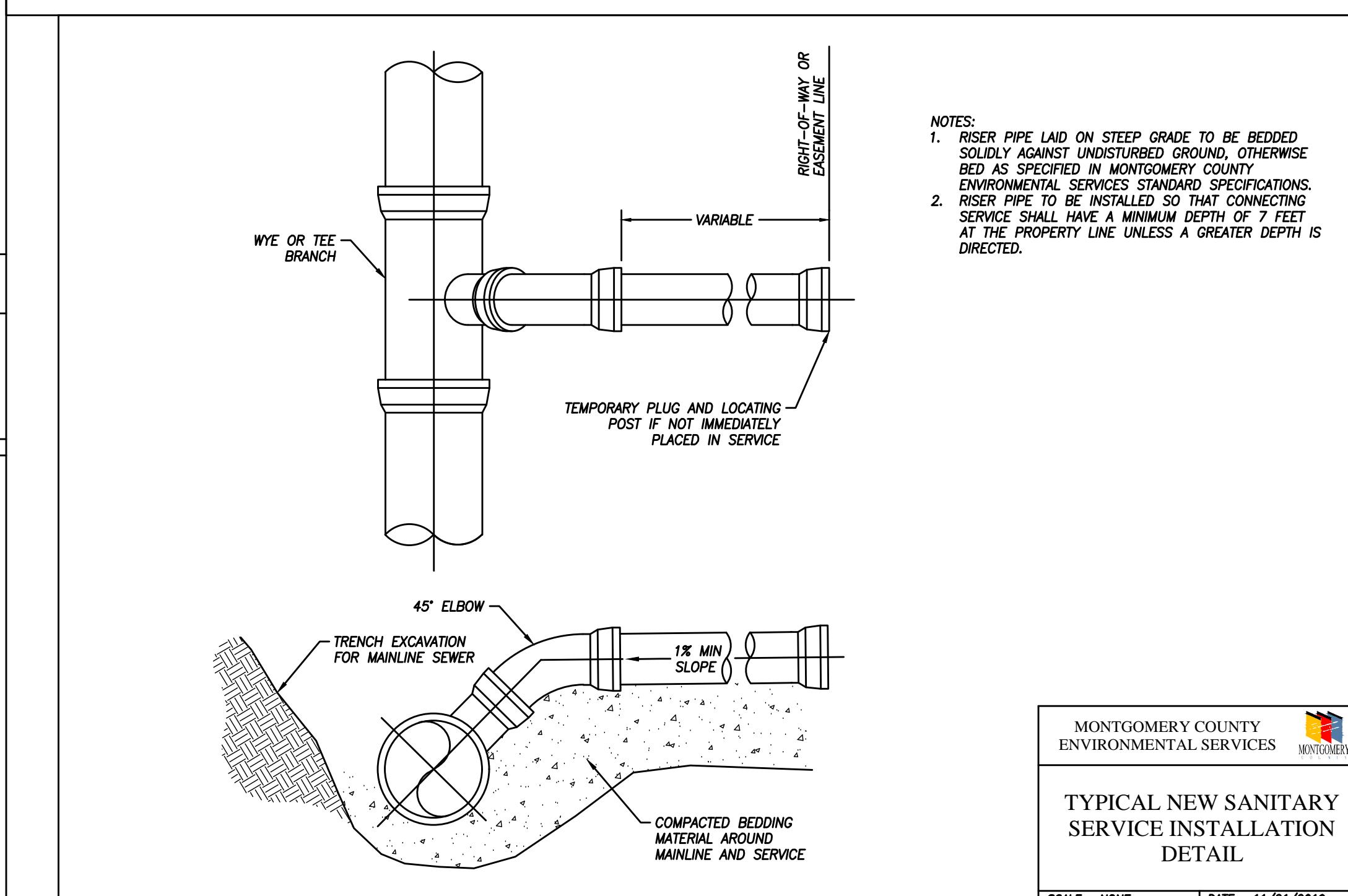
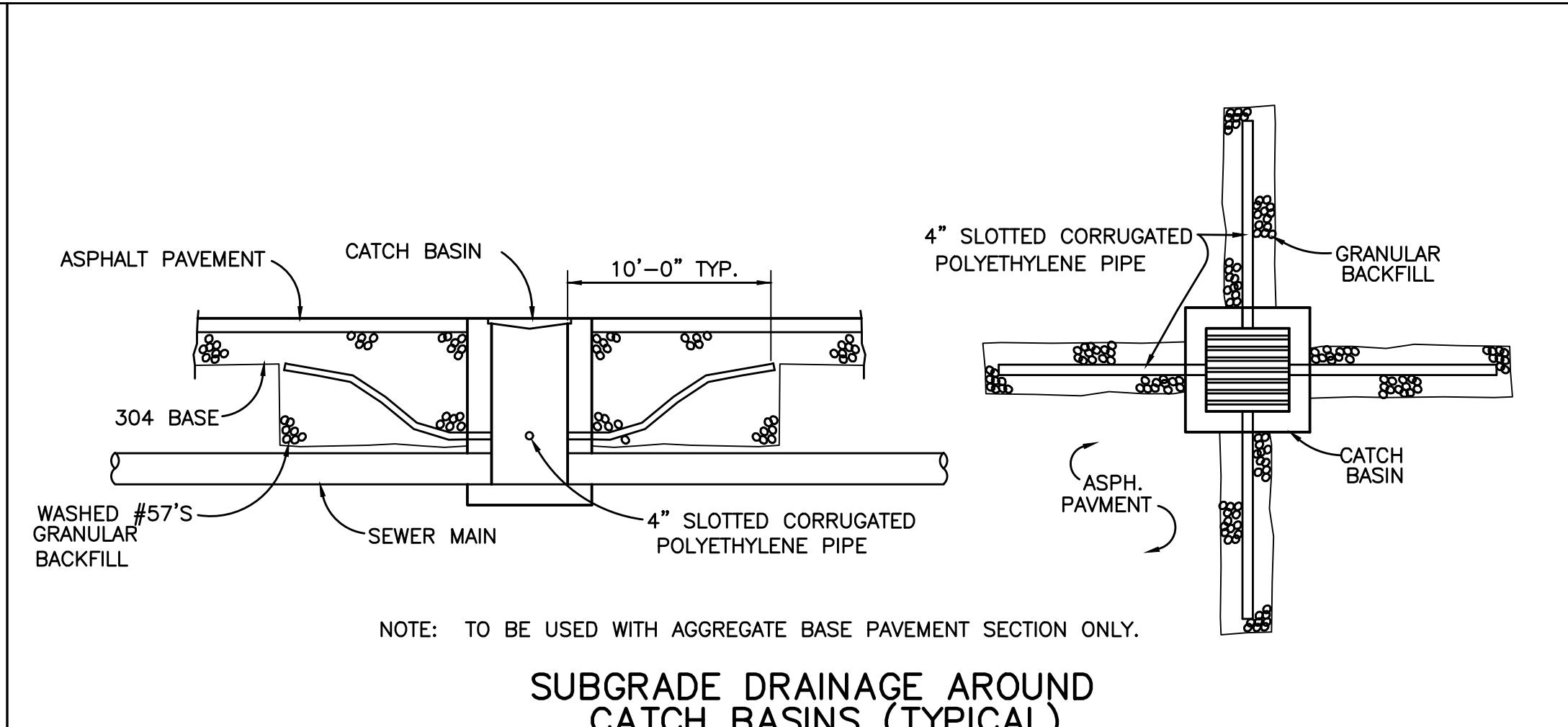
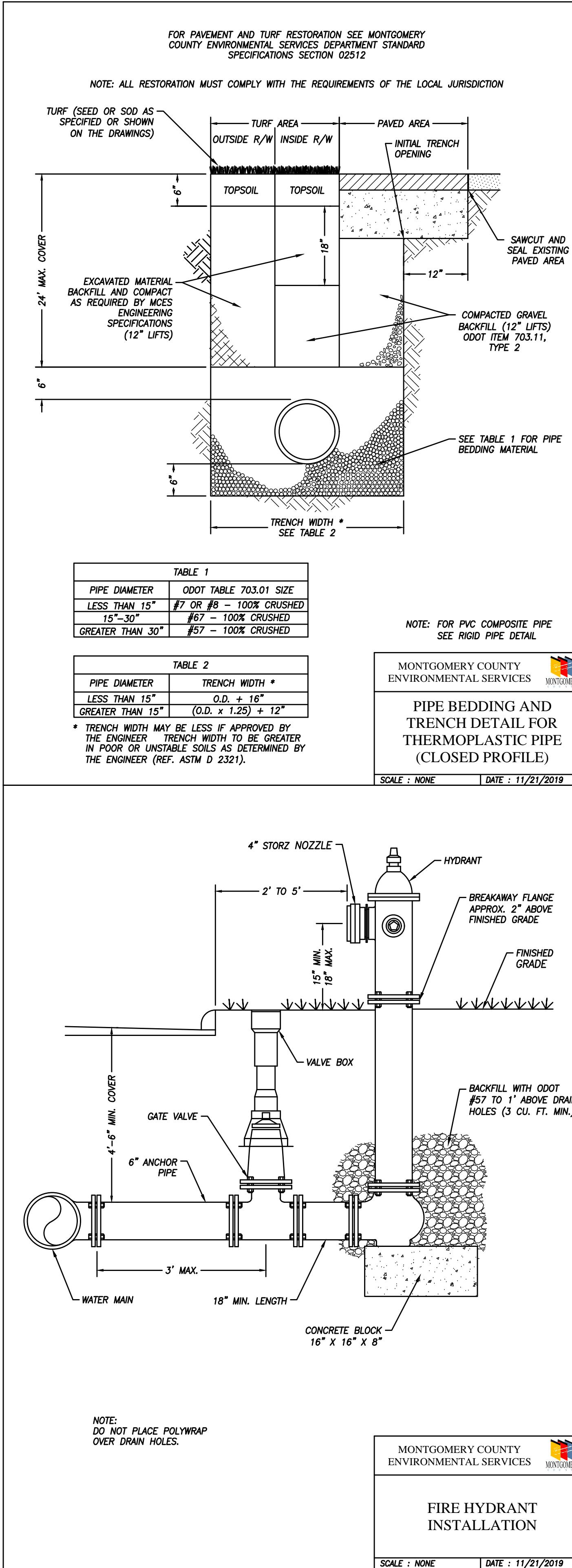
DATE: FEBRUARY 2024
SCALE: AS SHOWN
PROJECT No. XXXX
FILE No. _____
SHEET NO. _____
4 of 8



NOTES:

- 1) CONCRETE FOR SIDEWALKS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 608.
- 2) ALL EXPOSED SURFACES SHALL BE BROOMED AND EDGED.
- 3) SIDEWALKS SHALL BE 4" THICK, EXCEPT THRU DRIVEWAYS WHICH SHALL BE 6".
- 4) 4" OF GRAVEL BASE SHALL BE PLACED UNDER WALKS.
- 5) WALK SHALL BE BACKFILLED WITHIN 5 DAYS OF BEING POURED.
- 6) CURING COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH ITEM 451.10.

SIDEWALK DETAIL
NTS



CAESER CREEK SOFTWARE

LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 NRS
CITY OF SPRINGBORO
MONTGOMERY COUNTY, OHIO

DETAILS - 2

DATE: FEBRUARY 2024
SCALE: NTS
PROJECT No. XXXX
FILE No. _____
SHEET NO. _____

SITE NOTES:

THE PRE-EXISTING CONDITIONS ON SITE IS UNDEVELOPED LAND.
THE PROPOSED PROJECT IS A NEW OFFICE BUILDING.

APPROXIMATELY 2.15± ACRES OF 4.19± WILL BE DISTURBED AS A PART OF THIS PROJECT.

THE PRE-CONSTRUCTION RUNOFF COEFFICIENT IS 0.30.
THE POST-CONSTRUCTION RUNOFF COEFFICIENT IS 0.50.

THE PROPOSED IMPERVIOUS AREA IS APPROXIMATELY 1.43 ACRES
THE PERCENT IMPERVIOUSNESS OF THE POST DEVELOPED CONDITION IS 34%.

RECEIVING WATER IS CITY OF SPRINGBORO STORM SEWER.

SOILS ON SITE CONSIST OF: RUSSELL MIAMIAN SILT (TYPE C)

STRUCTURAL BMP LONG-TERM MAINTENANCE (GENERAL NOTES)

- THE OWNER AGREES TO MAINTAIN IN PERPETUITY THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH APPROVED MAINTENANCE PLANS LISTED IN #2 BELOW AND IN A MANNER THAT WILL PERMIT THE STORM WATER MANAGEMENT PRACTICES TO PERFORM THE PURPOSES FOR WHICH THEY WERE DESIGNED AND CONSTRUCTED. THIS INCLUDES ALL PIPES, STRUCTURES, IMPROVEMENTS, AND VEGETATION PROVIDED TO CONTROL THE QUANTITY OF THE STORM WATER.
- THE OWNER SHALL PROVIDE A MAINTENANCE PLAN FOR EACH STORM WATER MANAGEMENT PRACTICE. THE MAINTENANCE PLANS SHALL INCLUDE A SCHEDULE FOR MONTHLY AND ANNUAL MAINTENANCE. THE OWNER SHALL MAINTAIN, UPDATE AND STORE THE MAINTENANCE RECORDS FOR THE STORM WATER MANAGEMENT PRACTICES. THE SPECIFIC MAINTENANCE PLANS FOR EACH STORM WATER MANAGEMENT PRACTICE ARE AS FOLLOWS.

MAINTENANCE TO BE COMPLETED EVERY 3 MONTHS

- REMOVE TRASH AND/OR ACCUMULATED SEDIMENT FROM THE UNDERGROUND DETENTION.
- REMOVE OBSTRUCTIONS IN ORIFICES AND/OR OUTLETS WITHIN THE UNDERGROUND DETENTION.
- REMOVE DEBRIS AND SEDIMENT FROM INLET PIPES, OUTLET PIPES AND STRUCTURES.

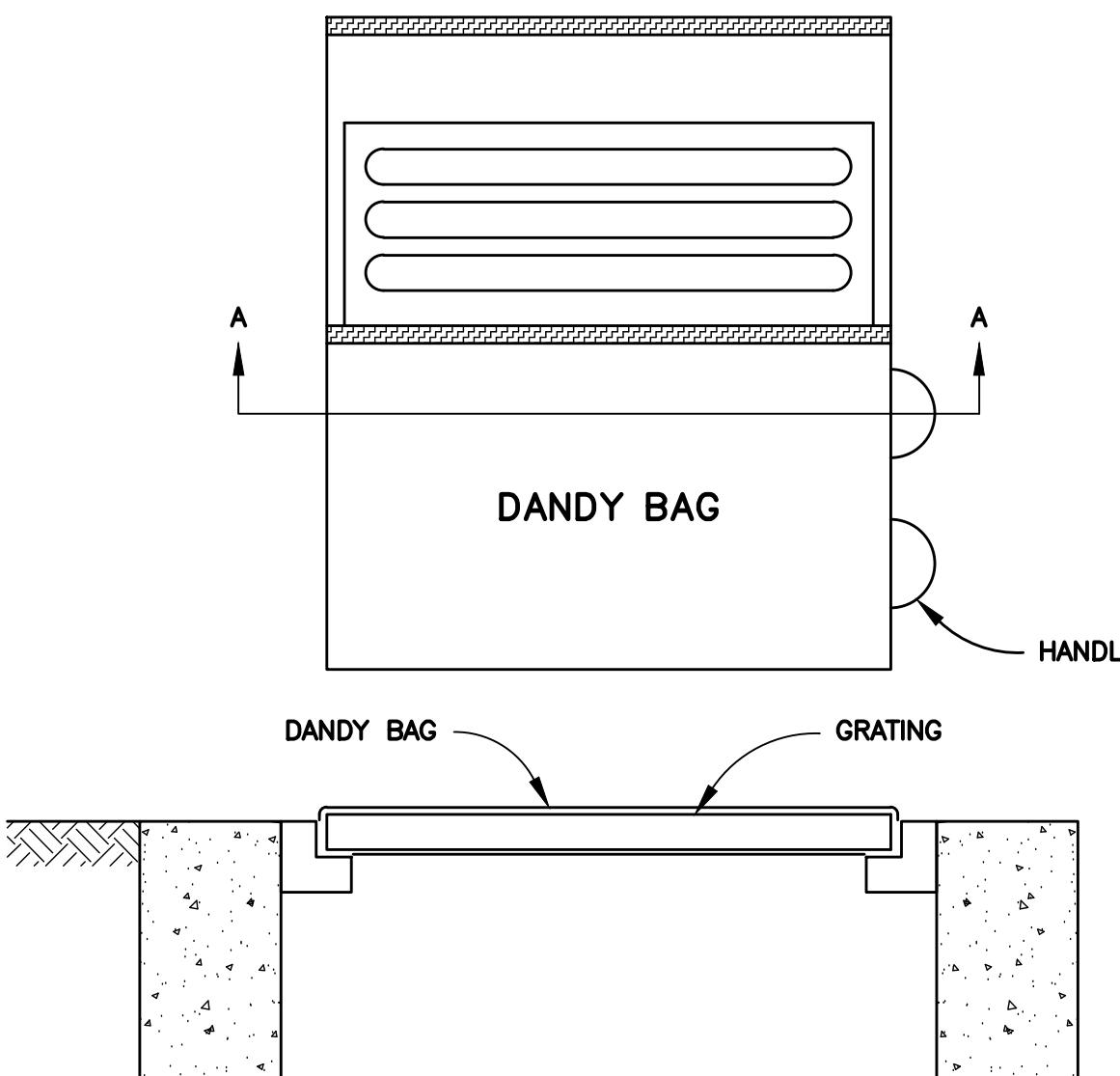
MAINTENANCE TO BE COMPLETED YEARLY

- REPAIR EROSION TO OUTFALL OR SPILLWAY OF THE UNDERGROUND DETENTION.
- REPAIR AND/OR REPLACE DAMAGED STRUCTURES, SUCH AS CATCH BASINS, RISERS, PIPES AND HEADWALLS.
- MOW EMBANKMENTS AND REMOVE WOODY VEGETATION ON EMBANKMENTS

YEARLY REPORT REQUIREMENTS
SKETCH SHOWING GENERAL AREA OF BMP'S, SUMMARY OF ALL MAINTENANCE ACTIVITIES SINCE LAST ANNUAL INSPECTION, PHOTOS AND DESCRIPTION OF ALL BMP DESIGN FEATURES, INDICATION OF ANY DEVIATION FROM APPROVED PLAN FOR BMP, IDENTIFICATION OF IMPROVEMENTS NECESSARY TO RESTORE ORIGINAL DESIGN FUNCTION, MAINTENANCE ACTIVITIES REQUIRED IN THE NEXT 6 MONTHS, IDENTIFICATION AND CONTACT INFORMATION OF ENTITY RESPONSIBLE FOR BMP, AND IDENTIFICATION AND CONTACT INFORMATION FOR ENGINEER PREPARING THE REPORT INCLUDING SIGNATURE AND SEAL.

SEQUENCE OF CONSTRUCTION

- CONDUCT PRE-CONSTRUCTION MEETING
- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING CONSTRUCTION ENTRANCE, SEDIMENT TRAPS, ROCK CHECK DAMS, INLET PROTECTION & SILT FENCE.
- CONSTRUCT TEMPORARY PARKING AND STORAGE AREA.
- PERFORM CLEARING AND GRUBBING AS NECESSARY.
- BEGIN GRADING THE SITE, MAKING SURE THAT EROSION CONTROL MEASURES ARE IN PLACE AND WORKING PROPERLY THROUGHOUT GRADING OPERATIONS.
- APPLY TEMPORARY SOIL STABILIZATION WITHIN (7) DAYS OF EXCAVATION.
- BEGIN CONSTRUCTION OF ALL UTILITIES INCLUDING STORM SEWER. INSTALL INLET PROTECTION CONCURRENT WITH CONSTRUCTION OF PROPOSED STORM STRUCTURES.
- BEGIN CONSTRUCTION OF BUILDING PADS AND STRUCTURES.
- BEGIN CONSTRUCTION OF STREETS. INSTALL CURB AND GUTTER. PREPARE FOR PAVING.
- PERMANENTLY SEED AND MULCH & LANDSCAPE REMAINDER OF PVIOUS AREAS. PERMANENT SEEDING SHALL BE INSTALLED WITHIN (7) DAYS OF COMPLETION OF FINAL GRADING IN UNPAVED AREAS.
- PAVE SITE.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SITE ACHIEVES "FINAL STABILIZATION"

**SECTION A-A**

INSTALLATION : STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP, PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE : AFTER SILT HAS DRIED, REMOVE IT FROM THE SURFACE OF DANDY BAG WITH BROOM.

DANDY BAG 
NTS

STORM WATER POLLUTION PREVENTION PLAN NOTES

- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO: SWPPP AND DETAIL PLANS; ACCORDING TO THE LATEST OHIO EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. SEE OHIO EPA PERMIT NO. OHCO00006 FOR SWPPP RULES AND REGULATIONS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT. EVERY EFFORT SHALL BE MADE TO PRESERVE THE NATURAL RIPARIAN SETBACK ADJACENT TO STREAMS OR OTHER SURFACE WATER BODIES.
- SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABLISHED. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.
- TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE REMAINING DORMANT FOR OVER FOURTEEN (14) DAYS.
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN FOURTEEN (14) DAYS.
PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
- PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
- TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:
SEEDING: ANNUAL RYEGRASS AT 2.02#/1,000 S.F.
MULCHING: STRAW MATERIAL SHALL BE UNROLLED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 80-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.
FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER STATE DOT SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.
- PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH ODOT STANDARD SPECIFICATIONS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEEDED, AND CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.
- OHIO EPA SWPPP REGULATIONS REQUIRES THAT A SEDIMENT TRAP OR POND BE SIZED TO PROVIDE AT LEAST 104 CUBIC YARDS (67 CY FOR DEWATERING AND 37 CY FOR SEDIMENT STORAGE) OF STORAGE PER ACRE OF TOTAL CONTRIBUTING AREA. MAXIMUM DEPTH OF SEDIMENT SETTLING POND SHALL BE EQUAL OR LESS THAN 5-FEET WITH A LENGTH TO WIDTH RATIO GREATER THAN OR EQUAL TO 2:1.
- OUTLET STRUCTURES IN SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT MUST BE REMOVED FROM BASINS AND OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 40% (APPROXIMATELY ONE-HALF OF POND DEPTH).
- NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF.
- ALL TOXIC WASTES, HAZARDOUS WASTES AND NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE. NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS OR BY BURYING, BURNING OR MIXING THE WASTES.
- CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
- CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN AN OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE 3745-20).
- AREA SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
- ALL DESIGNATED CONCRETE CHUTE OR WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
- THERE IS A POTENTIAL FOR HIGH GROUND WATER AT THIS SITE. CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND IMPLEMENTING A PLAN TO CONTROL BOTH SURFACE AND GROUND WATER DURING THE COURSE OF CONSTRUCTION.
- DISCHARGE OF WATER WITH POTENTIAL SEDIMENT FROM THE SITE SHALL BE THROUGH A FILTER BAG, SUMP PIT OR OTHER SEDIMENT REMOVAL DEVICE.
- ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).
- IF THE SITE CONTAINS CONTAMINATED SOIL, THE FOLLOWING SHALL BE USED TO PREVENT CONTAMINATION FROM BEING RELEASED:
1. BERMS, TRENCHES AND PITS TO COLLECT CONTAMINATED RUNOFF AND PREVENT DISCHARGES.
2. PUMPING RUNOFF INTO A SANITARY SEWER (WITH PRIOR APPROVAL OF THE SANITARY SYSTEM OPERATOR) OR INTO A CONTAINER FOR TRANSPORT TO AN APPROPRIATE TREATMENT/DISPOSAL FACILITY.
3. COVERING AREAS OF CONTAMINATION WITH TARP OR OTHER METHODS THAT PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.
- IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL. ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. AS SOON AS POSSIBLE, THE SPILL WILL BE REPORTED TO THE APPROPRIATE AGENCIES. AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT, ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES WILL BE PROPERLY REPORTED. THE GENERAL CONTRACTOR WILL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEAN-UP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICH EVER IS LESS.

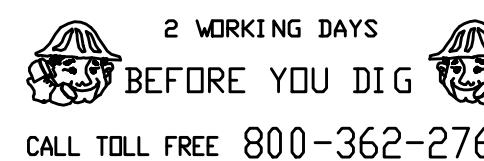
STORM WATER POLLUTION PREVENTION PLAN NOTES (CONT.)

- THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800.282.9378, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
- OPEN BURNING IS NOT PERMITTED ON THE SITE.
- DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. DUST SUPPRESSANTS SHALL NOT BE APPLIED NEAR CATCH BASINS FOR STORM SEWERS OR OTHER DRAINAGE WAYS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
- APPROPRIATE MEASURES MUST BE TAKEN TO ENSURE THAT ALL PROPER AIR POLLUTION PERMITS ARE OBTAINED.
- PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL AND CONCRETE WASH-OUTS) SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
- SANITARY AND WATER PTI FORMS SHALL BE FILED WITH THE OHIO EPA AS REQUIRED.
- PROTECTED STORAGE AREAS SHALL BE USED FOR INDUSTRIAL AND CONSTRUCTION MATERIALS IN ORDER TO MINIMIZE THE EXPOSURE OF SUCH MATERIALS TO STORMWATER.
- ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
- INSPECTIONS OF BMPs SHALL BE PERFORMED BY QUALIFIED PERSONS PROVIDED BY THE PERMITTEE AND THE INSPECTION LOGS ARE TO BECOME A PART OF THIS PLAN. INSPECTIONS RECORDS SHALL BE SIGNED BY THE INSPECTOR AND WILL BE KEPT FOR 3 YEARS AFTER THE NOTICE OF TERMINATION IS SUBMITTED.
- INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE IN EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD, FROM THE BEGINNING OF CONSTRUCTION THROUGH THE FINAL INSPECTION PRIOR TO THE NOTICE OF TERMINATION.
- NON-SEDIMENT POND BMPs TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT POND BMPs WITHIN 10 DAYS OF INSPECTION. BMPs NOT MEETING THE INTENDED FUNCTION SHALL BE REPLACED WITHIN 10 DAYS OF INSPECTION. MISSING BMPs SHALL BE INSTALLED WITHIN 10 DAYS OF INSPECTION.
- IF THE SITE IS STABILIZED AND WILL BE DORMANT FOR A LONG PERIOD OF TIME, LESS FREQUENT INSPECTIONS MAY BE REQUESTED OF THE OCEPA VIA A WAIVER REQUEST.
- INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DEGRADATION.
- ALL SEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
- SILT FENCES, INLET PROTECTION, SILT DIKES AND PERVERIOUS LOGS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT ACCUMULATION MUST BE REMOVED WHEN SEDIMENT HEIGHT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE, INLET PROTECTION, SILT DIKE AND PERVERIOUS LOG.
- MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED AND IN GOOD WORKING ORDER AT ALL TIMES; THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION ENTRANCE DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, INCLUDING DETENTION PONDS, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
- ALL RIP RAP MUST BE PLACED OVER GEOTEXTILE FILTER.
- STONE CONSTRUCTION ENTRANCE TO BE MAINTAINED BY CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
- ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
- ROCK CHECK DAMS SHOULD BE ROUTINELY CLEANED ONCE SEDIMENT BEGINS TO APPEAR ON THE UPSTREAM SIDE OF THE ROCK.
- ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- CONTRACTOR TO DELINEATE STOCK PILE LOCATION ON PLANS TO BE KEPT ON SITE DURING CONSTRUCTION.
- CONSTRUCT STOCKPILES IN ACCESSIBLE LOCATIONS THAT DO NOT INTERFERE WITH NATURAL DRAINAGE. INSTALL APPROPRIATE SEDIMENT CONTROLS TO TRAP SEDIMENT SUCH AS SILT FENCE IMMEDIATELY ADJACENT TO THE STOCKPILE OR SEDIMENT TRAPS OR BASINS DOWNSTREAM OF STOCKPILE. STOCKPILE SIDE SLOPES SHALL NOT EXCEED A RATIO OF 2:1.
- IF STOCKPILE IS STORED FOR MORE THAN 14 DAYS, IT SHOULD BE TEMPORARILY SEDED, OR COVERED WITH A TARP.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
- THE LAST LAYER OF SOIL, INCLUDING TOP SOIL SHOULD BE COMPAKTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY, IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION. THIS IS PARTICULARLY IMPORTANT IN CUT SLOPES AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPAKTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY; THE LAST COMPAKTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
- DU TO THE DISTURBED AREA BEING ONE OR LESS ACRES, THE POST CONSTRUCTION RUN-OFF REQUIREMENTS OF OHIO EPA PERMIT OHCO00004 ARE NOT REQUIRED FOR THIS SITE.

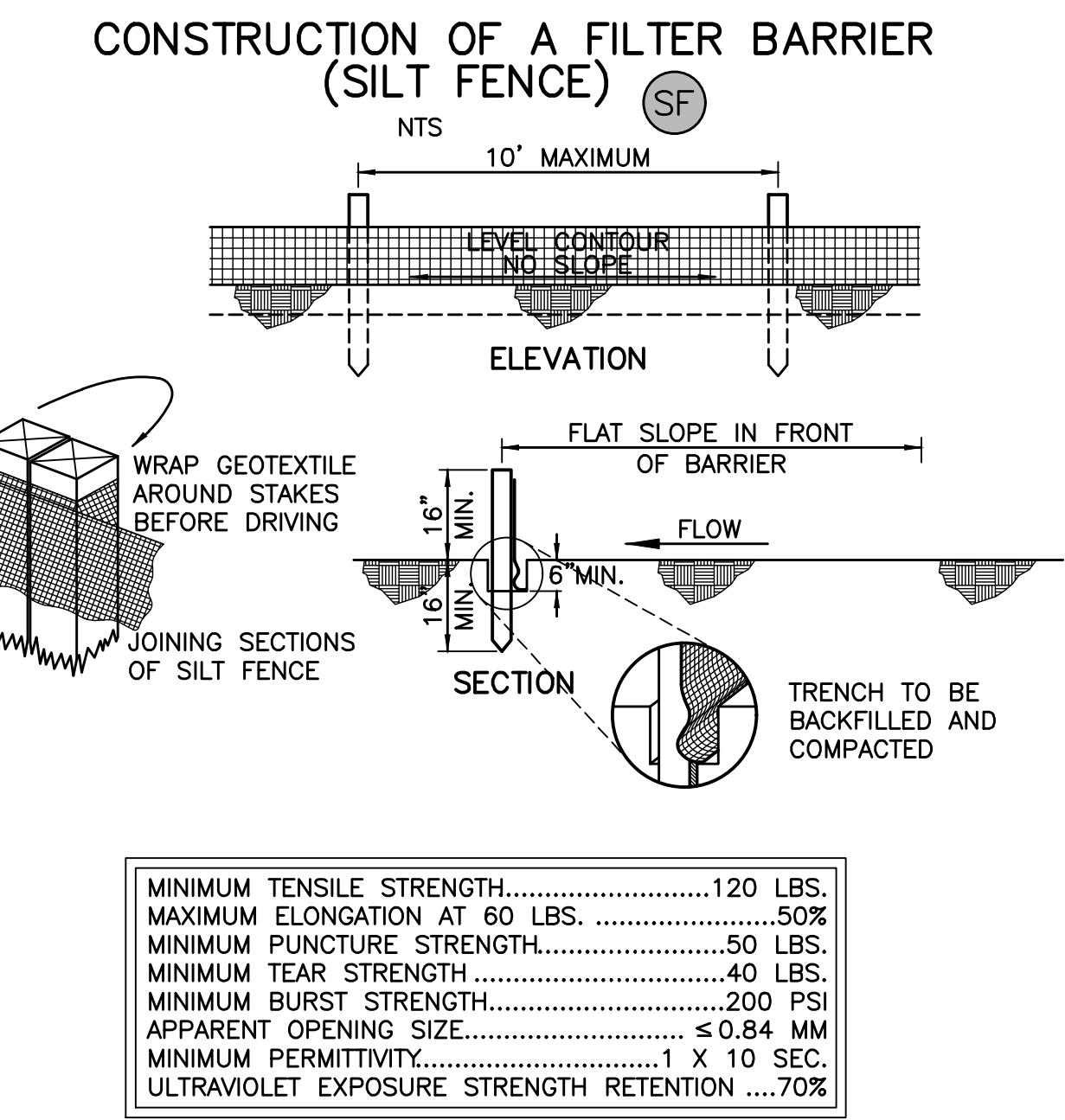
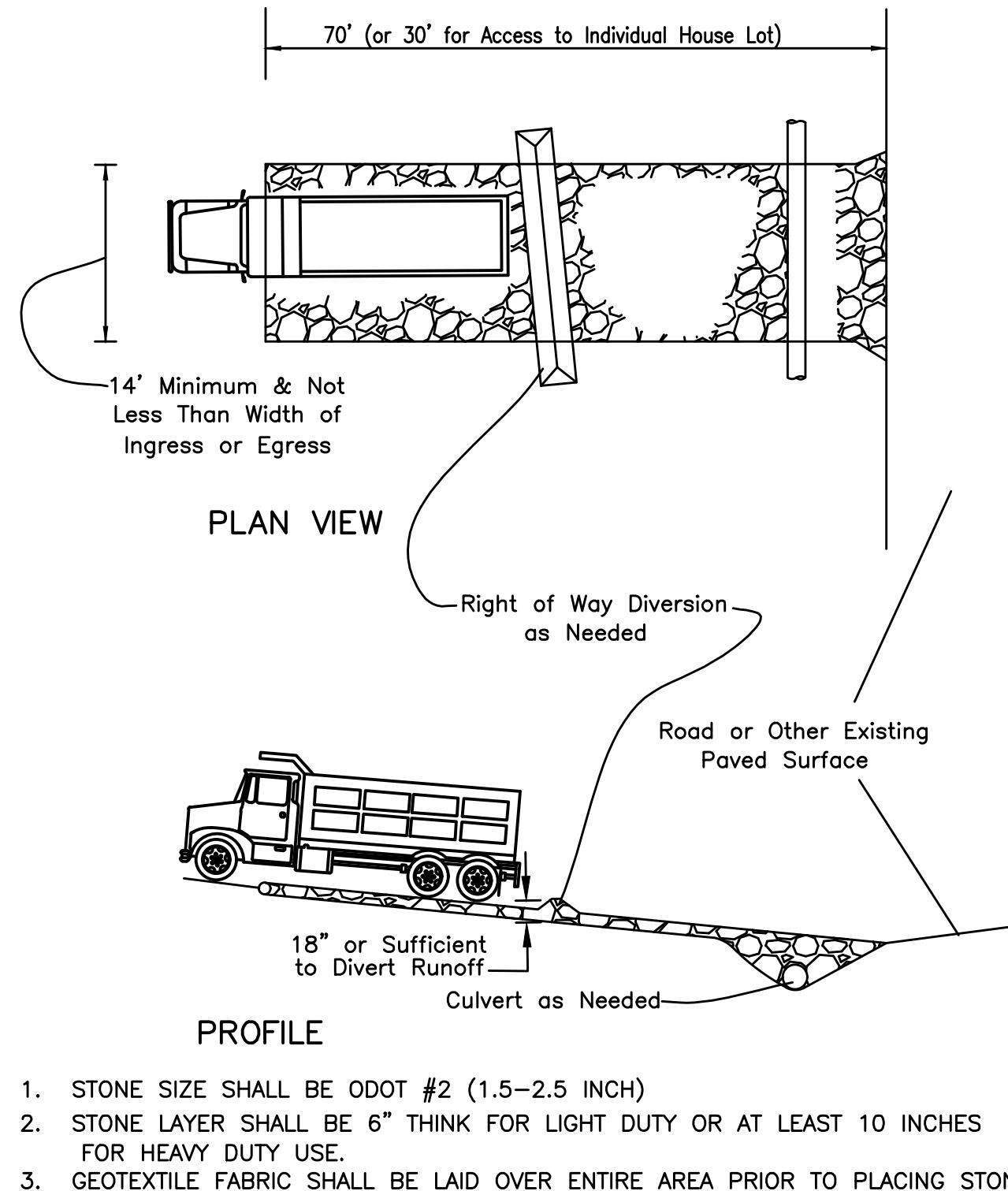
CAESER CREEK SOFTWARE
LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 MRS
CITY OF SPRINGBORO, MONTGOMERY COUNTY, OHIO

REVISION	
DATE	
NO.	

DATE: **FEBRUARY 2024**
SCALE: **NTS**
PROJECT NO. **XXXX**
FILE NO. **XXXX**
SHEET NO. **XXXX**



2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE



CRITERIA FOR SILT FENCE MATERIAL

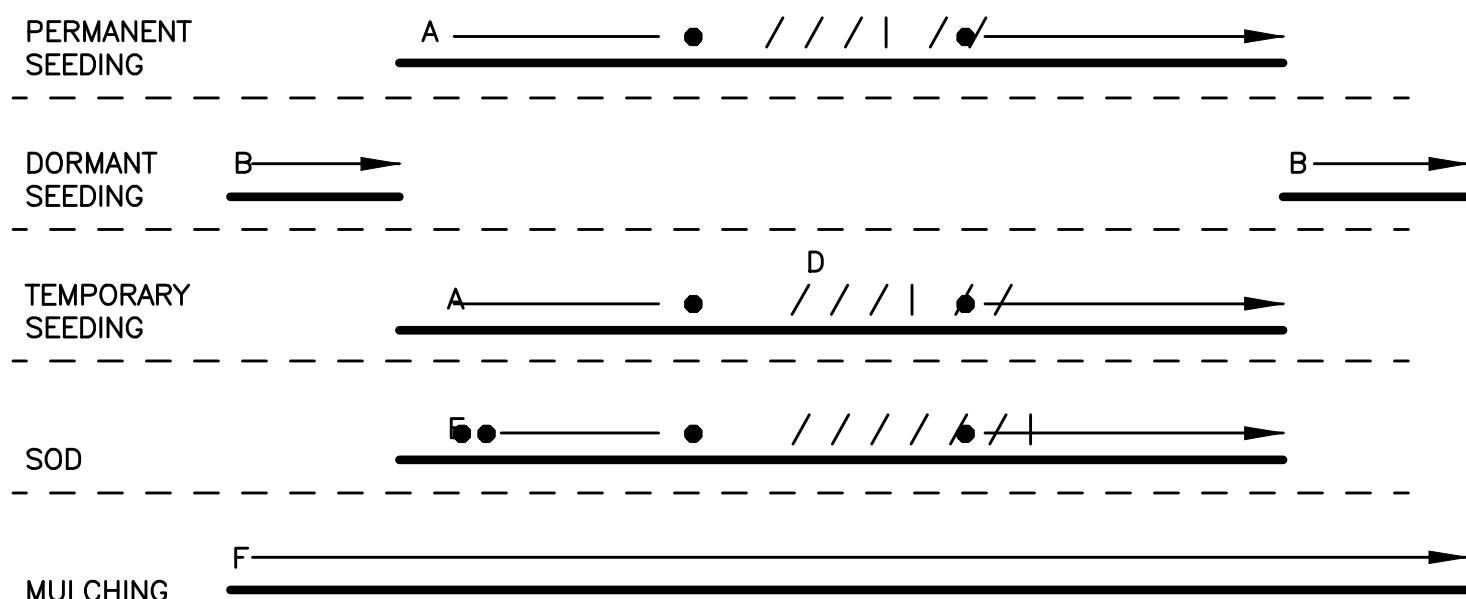
- 1) FENCE POSTS - THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2 BY 2-INCH HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FEET.
- 2) SILT FENCE SHALL BE ODOT TYPE C GEOTEXTILE FABRIC OR AS DESCRIBED BY THE CHART BELOW;
- 3) SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- 4) ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- 5) TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
- 6) WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- 7) WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- 8) THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 9) THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE, WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- 10) SEAMS BETWEEN SECTION OF SILT SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
- 11) MAINTENANCE - SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

TEMPORARY CONSTRUCTION ENTRANCE DETAIL

(CE)

SEEDING SCHEDULE

STABILIZATION PRACTICE: JAN. FEB. MAR. APR. MAY JUNE JULY AUG. SEPT. OCT. NOV. DEC.



A = KENTUCKY BLUEGRASS @ 90 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS @ 30 LBS./ACRE PLUS 2 TONS OF STRAW MULCH/ACRE

B = KENTUCKY BLUEGRASS @ 135 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS @ 45 LBS./ACRE PLUS 2 TONS/ACRE STRAW MULCH

C = SPRING OATS 100 LBS./ACRE

D = WHEAT OR RYE 150 LBS./ACRE

E = SOD

F = STRAW MULCH (2 TONS/ACRE)

● / | / ● IRRIGATION NEEDED DURING JUNE AND JULY

● ● IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

INSPECTION SCHEDULE

DIVERSION AND STRUCTURAL MEASURES - WILL BE INSPECTED AT SEVEN (7) DAY INTERVALS OR AFTER EVERY RAIN STORM PRODUCING RUNOFF.

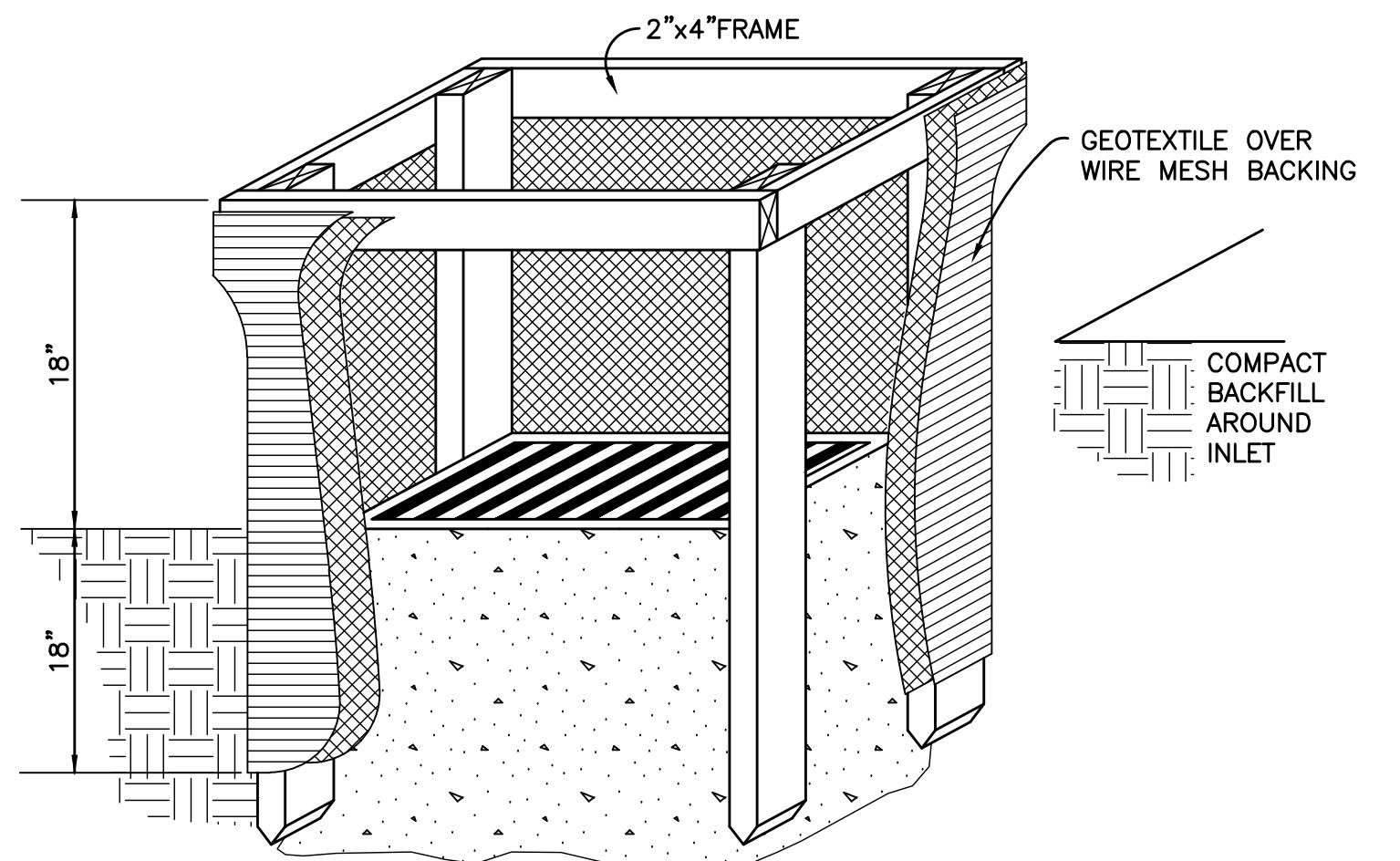
SEDIMENT AND PONDS - WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION.

VEGETATIVE PLANTING - SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.

REPAIRS - ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN SEVEN (7) DAYS.

MOWING - DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOVED REGULARLY TO MAINTAIN THAT FLOW.

FERTILIZATION - SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE INSPECTED AND FERTILIZED AS NECESSARY.

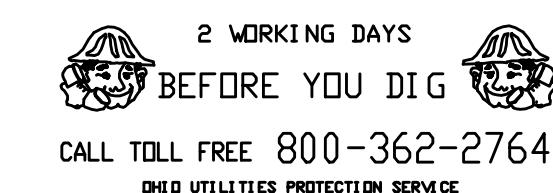


- 1) INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
- 2) THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- 3) THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4 INCH CONSTRUCTION-GRADE LUMBER. THE 2-BY-4 INCH POSTS SHALL BE DRIVEN 1 FOOT INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4 INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- 4) WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- 5) GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- 6) BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- 7) A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

(USE INLET PROTECTION ON ALL NON-CURB INLETS CATCH BASINS)
INLET PROTECTION
(IN SWALES, DITCH LINES OR YARD INLETS)

NTS

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CAESER CREEK SOFTWARE

EROSION CONTROL DETAILS
LOCATED IN SECTION 15 & 16, TOWN 2, RANGE 5 MRS
CITY OF SPRINGBORO
MONTGOMERY COUNTY, OHIO

DATE: FEBRUARY 2024
SCALE: NTS
PROJECT No. XXXX
FILE No. _____
SHEET NO. _____

KEYNOTES - SITE PLAN

NO.	NOTE
1	SITE PLAN TEXT NOTE GOES HERE.



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CAESAR CREEK SOFTWARE - Building 2

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ISSUANCES

No.	Description	Date
1	ZONING SUBMISSION	02.22.24

Drawn By
Author

Checked By
Checker

Client
Number
727

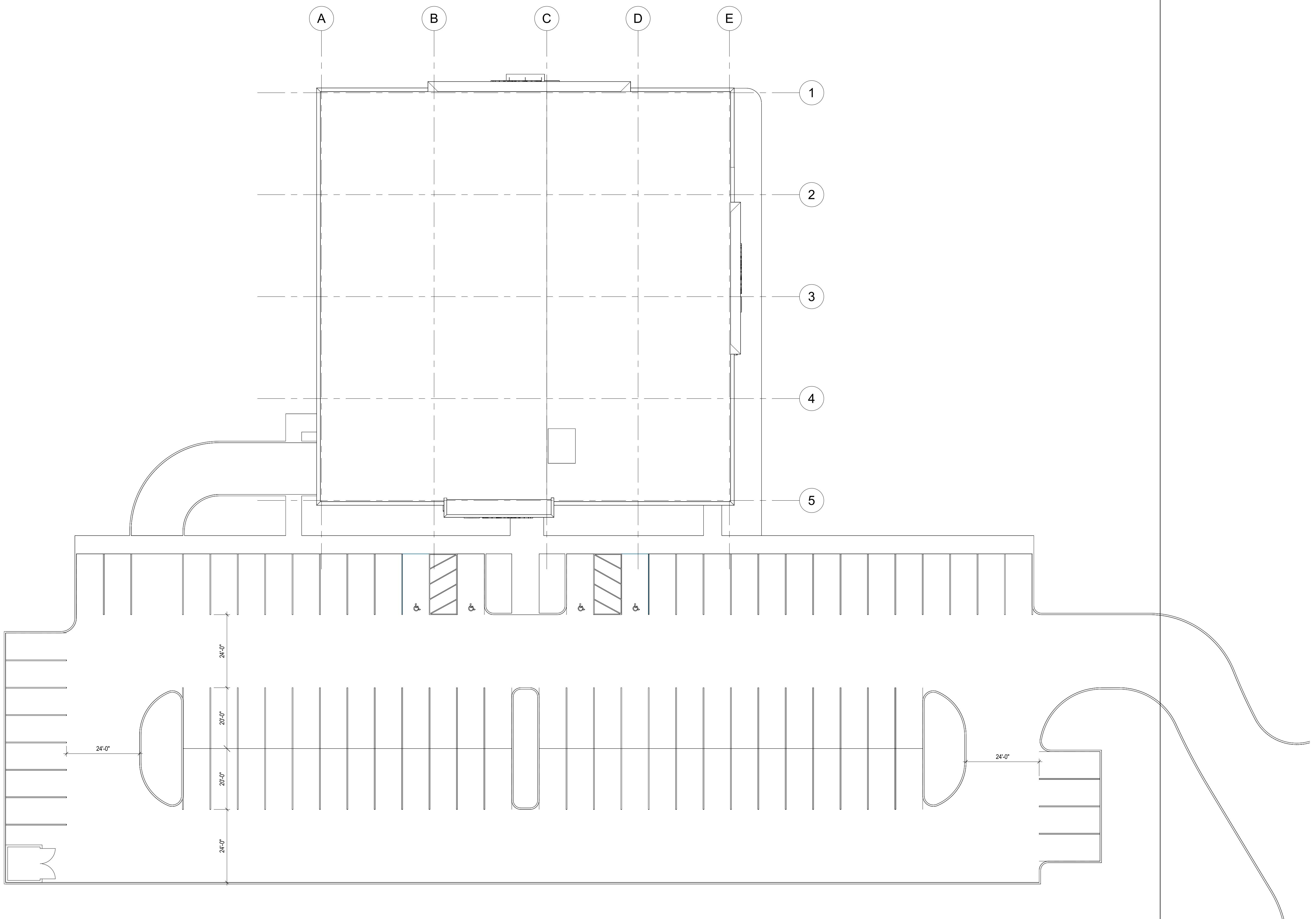
Project
Number
7390

ARCHITECTURAL SITE PLAN

SHEET

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**CAESAR CREEK
SOFTWARE -
Building 2**

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ISSUANCES

No.	Description	Date
1	ZONING SUBMISSION	02.22.24

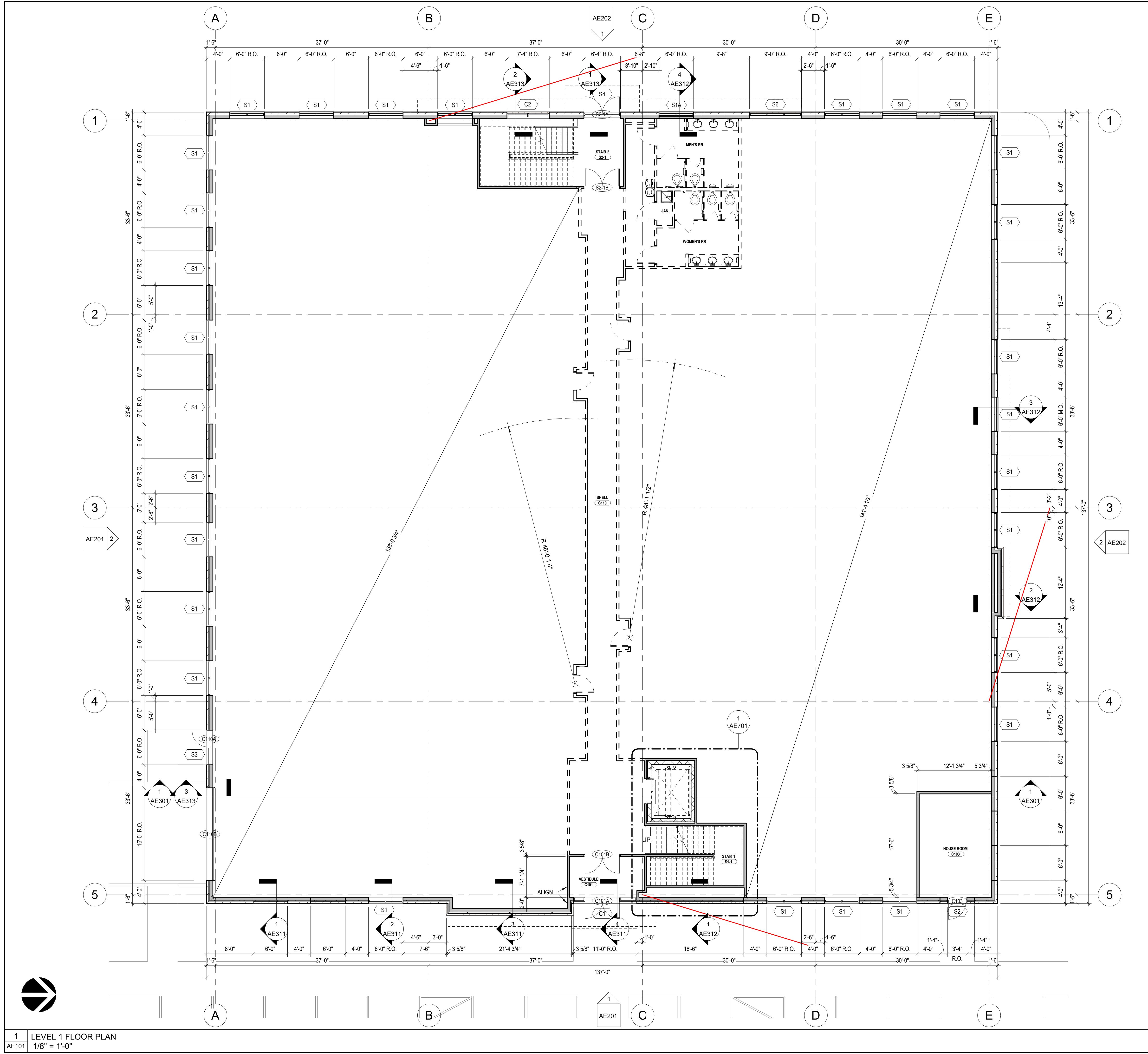
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Project
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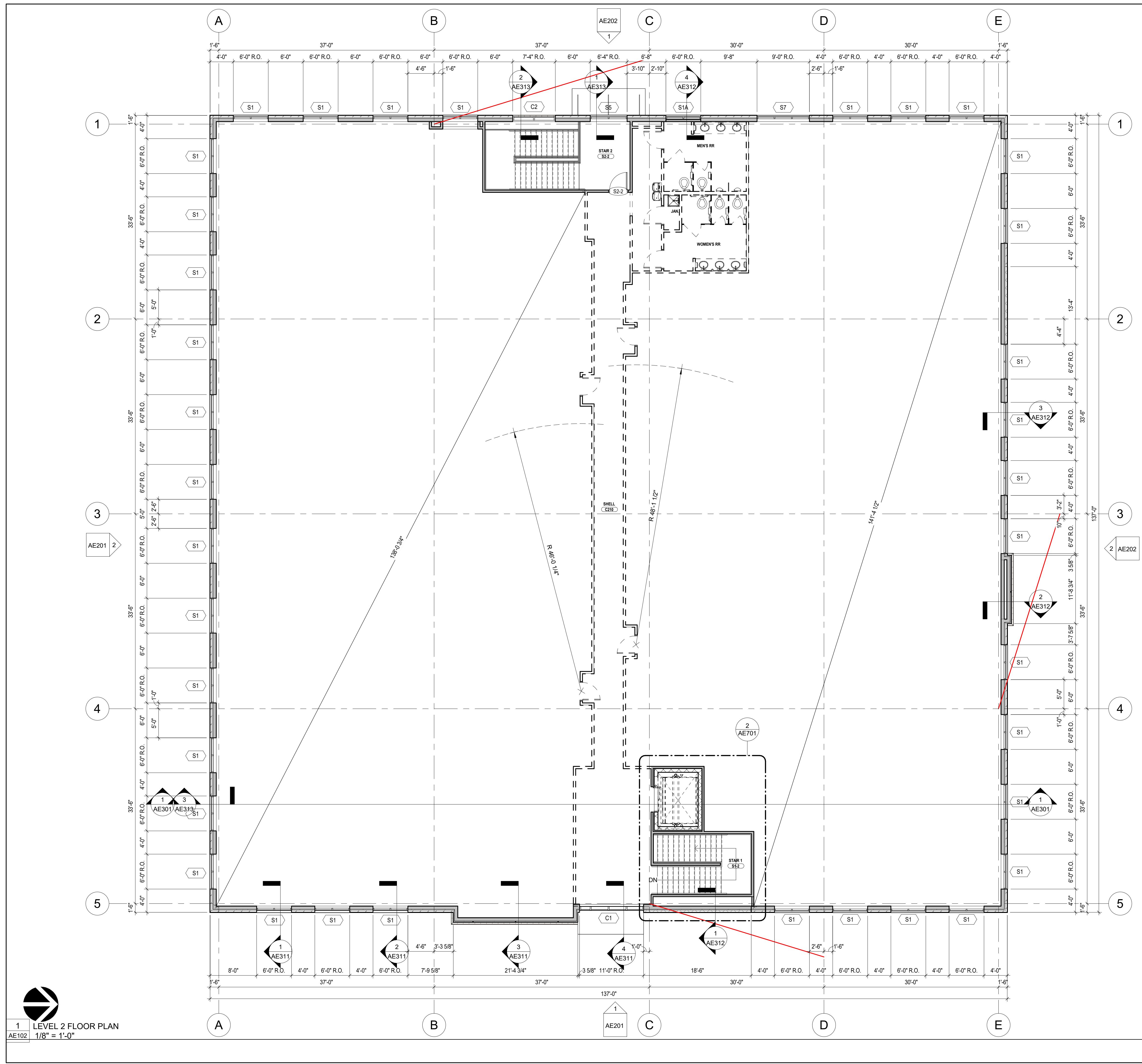
DRAWING
FLOOR PLAN - FIRST
FLOOR

SHEET

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FLOOR PLAN LEGEND	
SEE G002 FOR ALL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS	
(E) CONSTRUCTION TO REMAIN	
(N) CONSTRUCTION	
ASSEMBLY RATING	
0 SMOKE BARRIER NON-RATED	██████████
1 ONE HOUR RATED	███████████
2 TWO HOUR RATED	███████████
LIFE SAFETY WALL TYPES	
A. REFER TO SHEET G002 FOR PROJECT GENERAL NOTES, SYMBOLS, ABBREVIATIONS, AND RECOMMENDED MOUNTING HEIGHTS FOR FIXTURES AND ACCESSORIES.	
B. REFER TO DISCIPLINE-SPECIFIC DRAWINGS (STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, TECHNOLOGY, FIRE PROTECTION) FOR ADDITIONAL INFORMATION.	
C. ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE.	
D. CEILING SYSTEMS SHALL NOT BE USED AS PARTITION BRACING ELEMENTS. PARTITION BRACES SHALL EXTEND TO DECK ABOVE OR TO A STRUCTURAL ELEMENT.	
E. REFER TO INTERIOR ELEVATIONS FOR WALL-MOUNTED ITEMS.	
F. REFER TO ENLARGED PLANS FOR WALL TYPES NOT SHOWN ON NEW WORK PLANS.	
G. SEE FINISH LEGEND, FINISH SCHEDULE, AND FINISH PLANS FOR FINISH MATERIAL INFORMATION.	
H. REFER TO PARTITION SCHEDULE FOR PARTITION ASSEMBLY DESIGNS.	
I. REFER TO LIFE SAFETY PLANS FOR FIRE AND SMOKE PARTITION LOCATIONS.	
J. DIMENSIONS LABELED "MIN" OR "CLEAR" SHALL NOT BE LESS THAN INDICATED. DIMENSIONS LABELED "HOLD" SHALL BE EXACTLY AS INDICATED AND NO MORE OR NO LESS.	
K. WHERE PARTITIONS OF DIFFERENT THICKNESSES MEET, MAINTAIN A FLUSH SURFACE ON THE THICKER PARTITION.	
L. INSPECT ANY JOIDS IN PARTITIONS ARISING OUT OF DEMOLITION AND CONSTRUCTION ACTIVITIES.	
M. SEAL ALL MECHANICAL, ELECTRICAL, AND PLUMBING PENETRATIONS THROUGH PARTITIONS.	
N. MASONRY WORK SHALL TOOTH-IN WITH AND MATCH COURSING OF EXISTING MASONRY.	
GENERAL NOTES - NEW WORK PLANS	
KEYNOTES - FLOOR PLANS	
NO.	NOTE
1	FLOOR PLAN TEXT NOTE GOES HERE.



FLOOR PLAN LEGEND	
SEE G002 FOR ALL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS	
(E) CONSTRUCTION TO REMAIN	
(N) CONSTRUCTION	
ASSEMBLY RATING	
0	SMOKE BARRIER NON-RATED
1	ONE HOUR RATED
2	TWO HOUR RATED

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SYNERGY
BUILDING SYSTEMS

LIFE SAFETY WALL TYPES

- A. REFER TO SHEET G002 FOR PROJECT GENERAL NOTES, SYMBOLS, ABBREVIATIONS, AND RECOMMENDED MOUNTING HEIGHTS FOR FIXTURES AND ACCESSORIES.
- B. REFER TO DISCIPLINE-SPECIFIC DRAWINGS (STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, TECHNOLOGY, FIRE PROTECTION) FOR ADDITIONAL INFORMATION.
- C. ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE.
- D. CEILING SYSTEMS SHALL NOT BE USED AS PARTITION BRACING ELEMENTS. PARTITION BRACES SHALL EXTEND TO DECK ABOVE OR TO A STRUCTURAL ELEMENT.
- E. REFER TO INTERIOR ELEVATIONS FOR WALL-MOUNTED ITEMS.
- F. REFER TO ENLARGED PLANS FOR WALL TYPES NOT SHOWN ON NEW WORK PLANS.
- G. SEE FINISH LEGEND, FINISH SCHEDULE, AND FINISH PLANS FOR FINISH MATERIAL INFORMATION.
- H. REFER TO PARTITION SCHEDULE FOR PARTITION ASSEMBLY DESIGNS.
- I. REFER TO LIFE SAFETY PLANS FOR FIRE AND SMOKE PARTITION LOCATIONS.
- J. DIMENSIONS LABELED "MIN" OR "CLEAR" SHALL NOT BE LESS THAN INDICATED. DIMENSIONS LABELED "HOLD" SHALL BE EXACTLY AS INDICATED AND NO MORE OR NO LESS.
- K. WHERE PARTITIONS OF DIFFERENT THICKNESSES MEET, MAINTAIN A FLUSH SURFACE ON THE FACES THAT ALIGN.
- L. INFILL ANY VOIDS IN PARTITIONS ARISING OUT OF DEMOLITION AND CONSTRUCTION ACTIVITY.
- M. SEAL ALL MECHANICAL, ELECTRICAL, AND PLUMBING PENETRATIONS THROUGH PARTITIONS.
- N. MASONRY WORK SHALL TOOTH-IN WITH AND MATCH COURSING OF EXISTING MASONRY.

GENERAL NOTES - NEW WORK PLANS

KEYNOTES - FLOOR PLANS

NO.	NOTE
1	FLOOR PLAN TEXT NOTE GOES HERE.

CAESAR CREEK SOFTWARE - Building 2

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FLOOR PLAN - SECOND FLOOR

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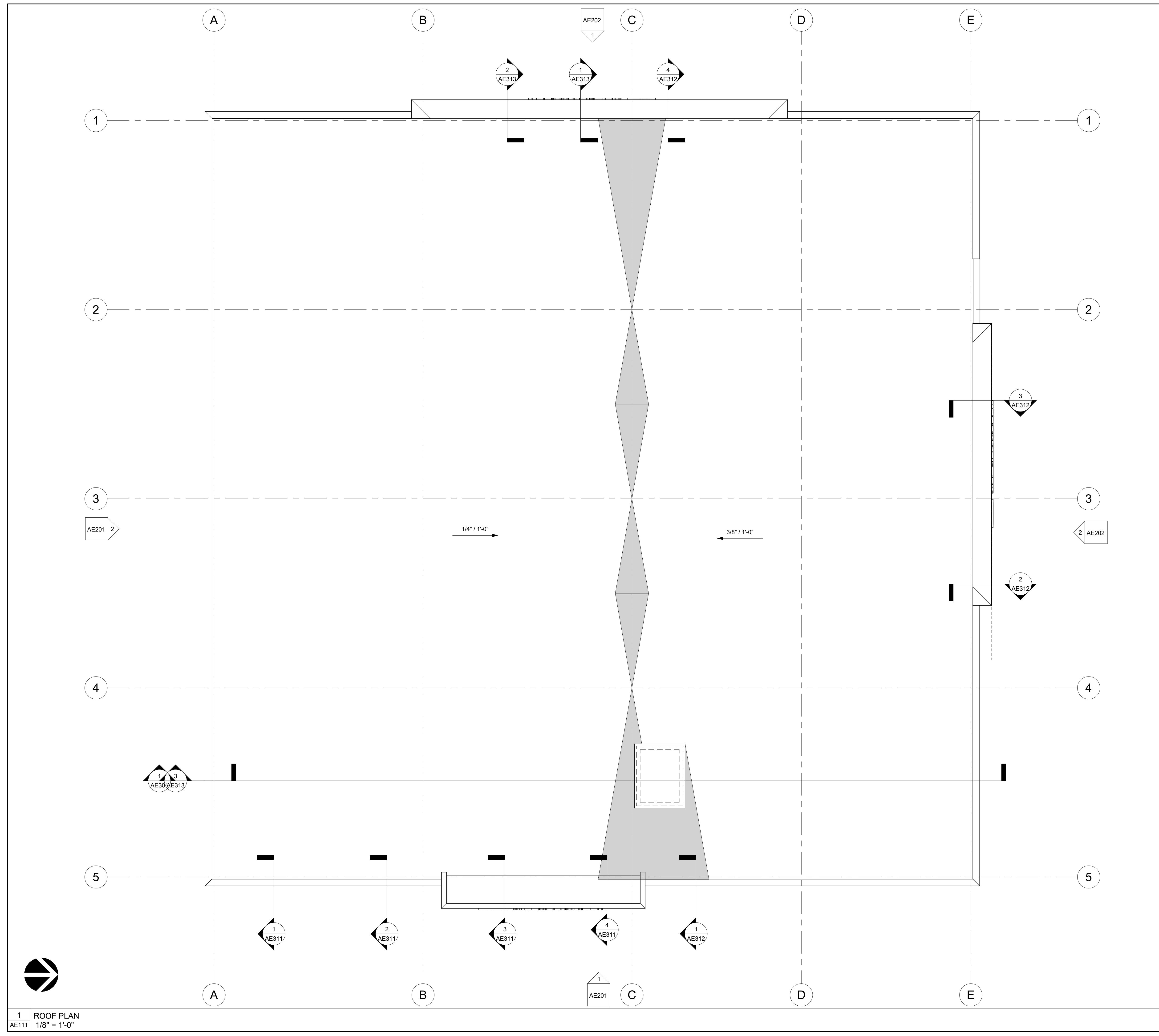
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DRAWING
ROOF PLAN

SHEET

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1 EXTERIOR VIEW FROM NORTHEAST
AE200 12" = 1'-0"

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Project Number	
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EXTERIOR RENDERING

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AE200



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SYNERGY BUILDING SYSTEMS

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	ZONING SUBMISSION	02.22.2023

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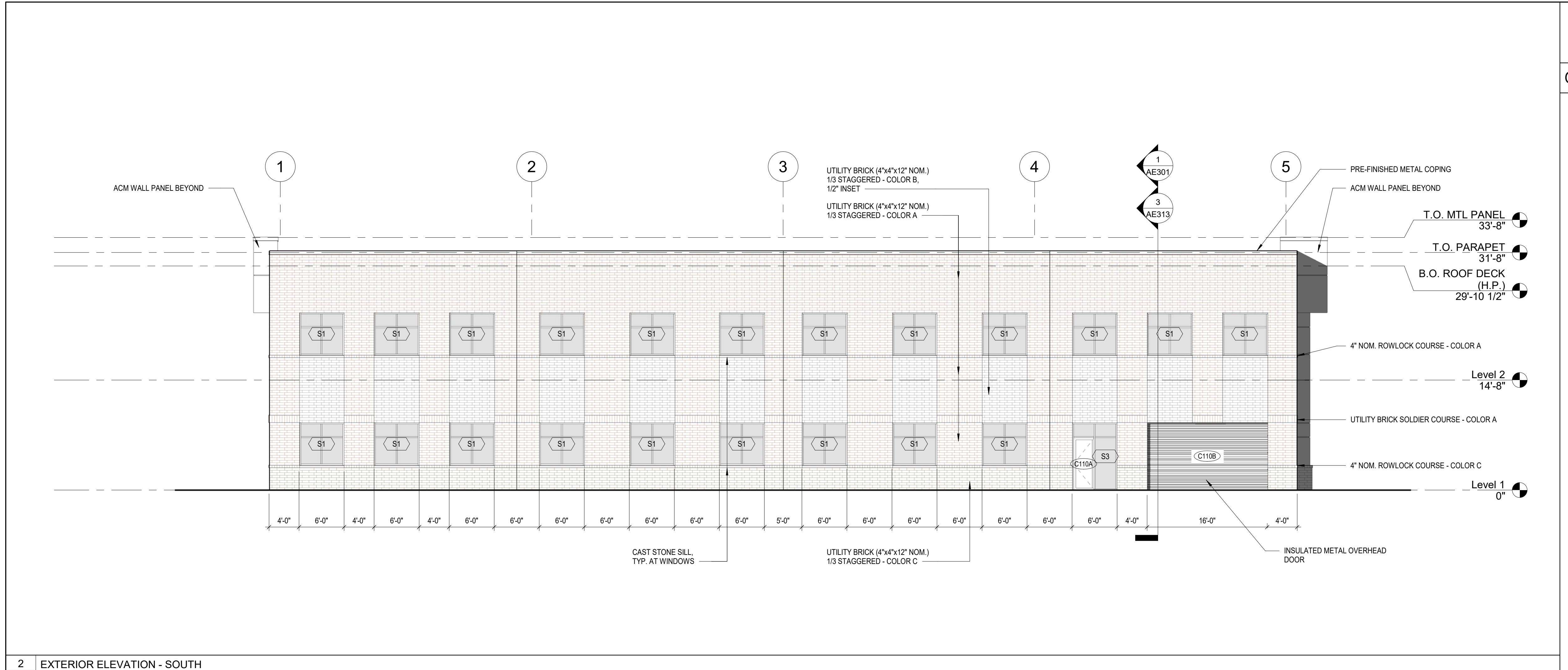
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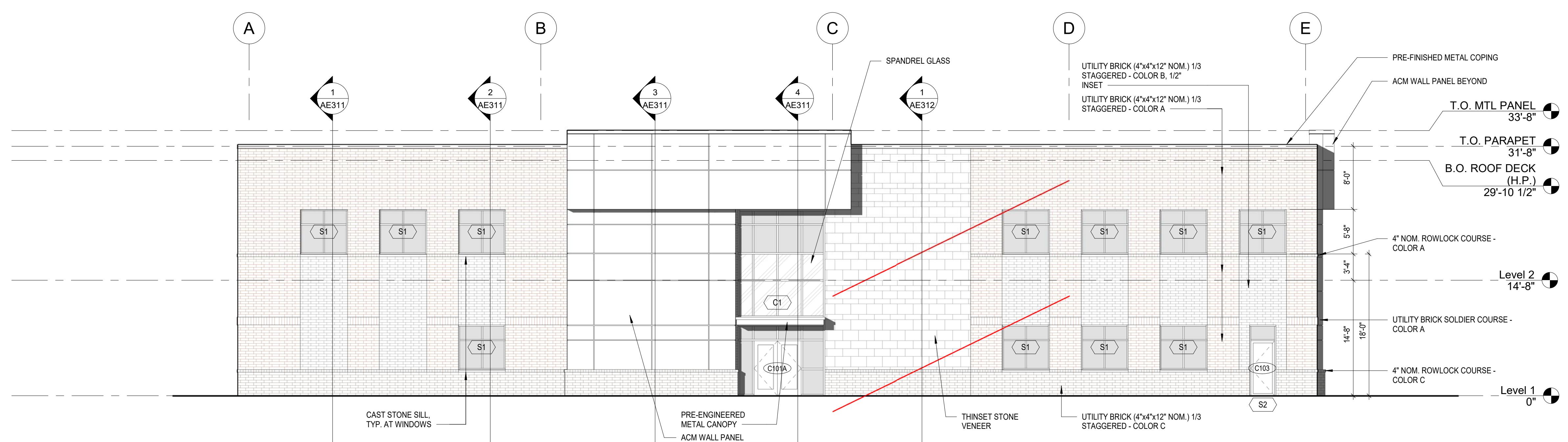
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2	EXTERIOR ELEVATION - SOUTH
AE201	1/8" = 1'-0"



1	EXTERIOR ELEVATION - EAST
AE201	1/8" = 1'-0"



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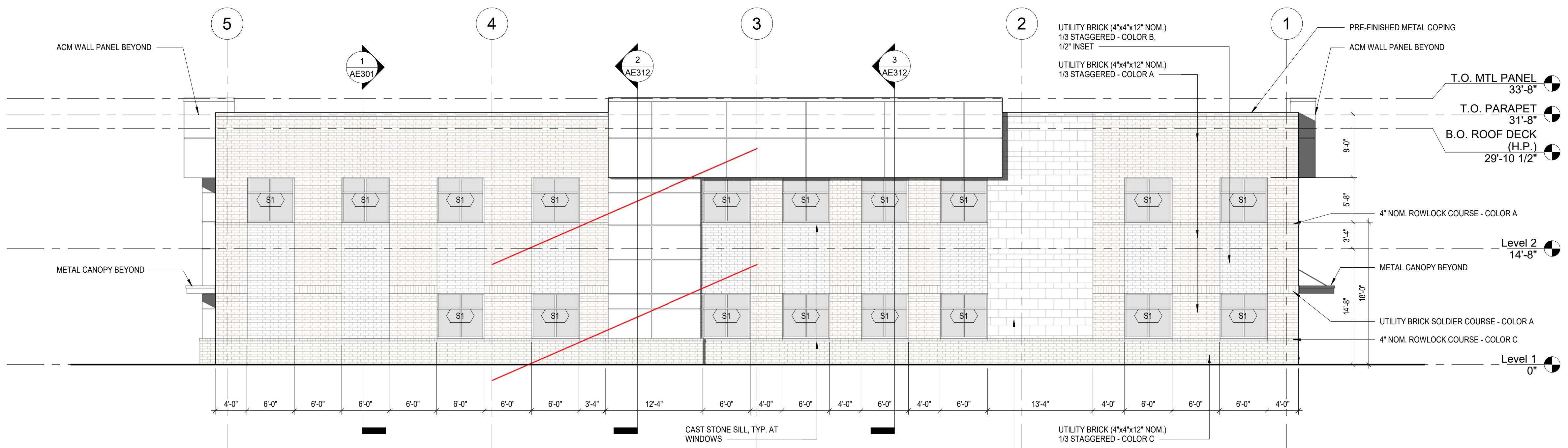


CAESAR CREEK SOFTWARE - Building 2

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1. EXTERIOR MATERIALS TO MATCH EXISTING BUILDING 1.
2. ENGINEERED SHOP DRAWINGS FOR METAL CANOPIES TO BE SUBMITTED AS REQUIRED FOR BUILDING PERMIT.

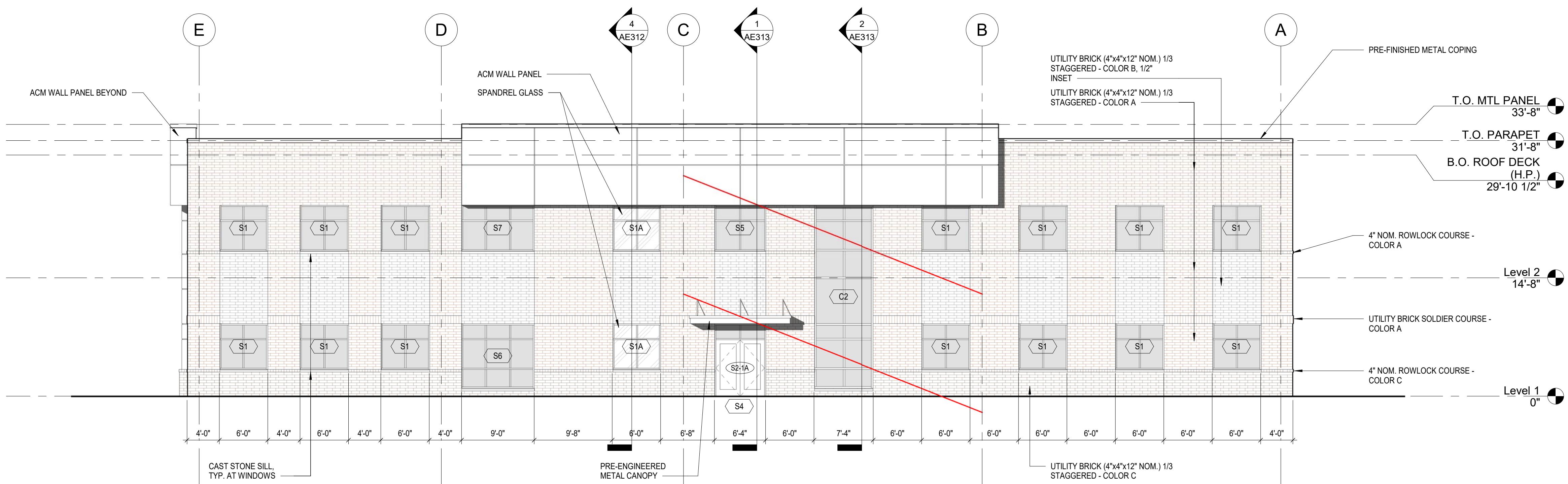
GENERAL ELEVATION NOTES



2 EXTERIOR ELEVATION - NORTH
AE202 1/8" = 1'-0"

ISSUANCES

No.	Description	Date
1	ZONING SUBMISSION	02.22.2023



1	EXTERIOR ELEVATION - WEST
AE202	1/8" = 1'-0"

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Checked By	
Checker	
Client Number	
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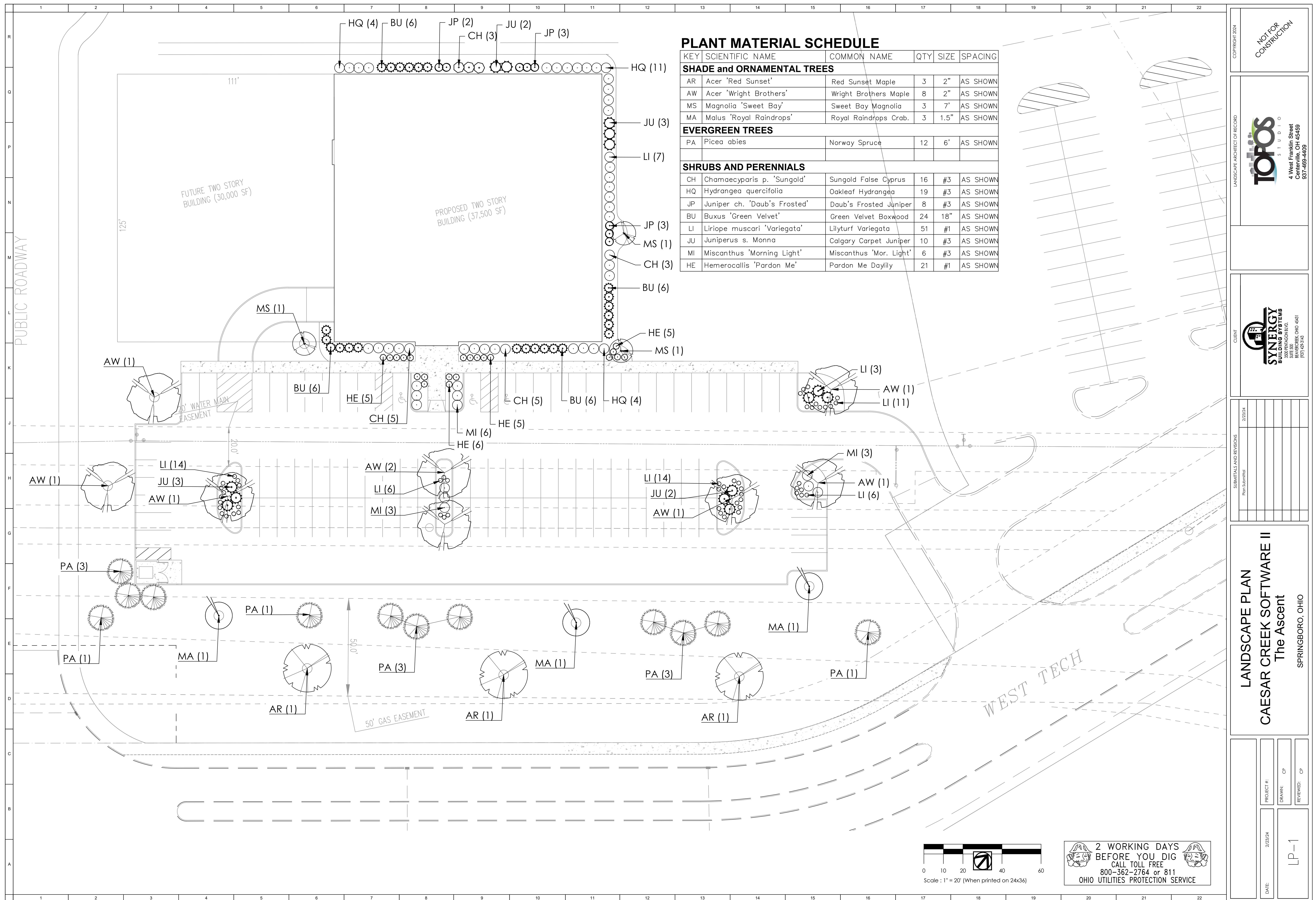
Project
Number
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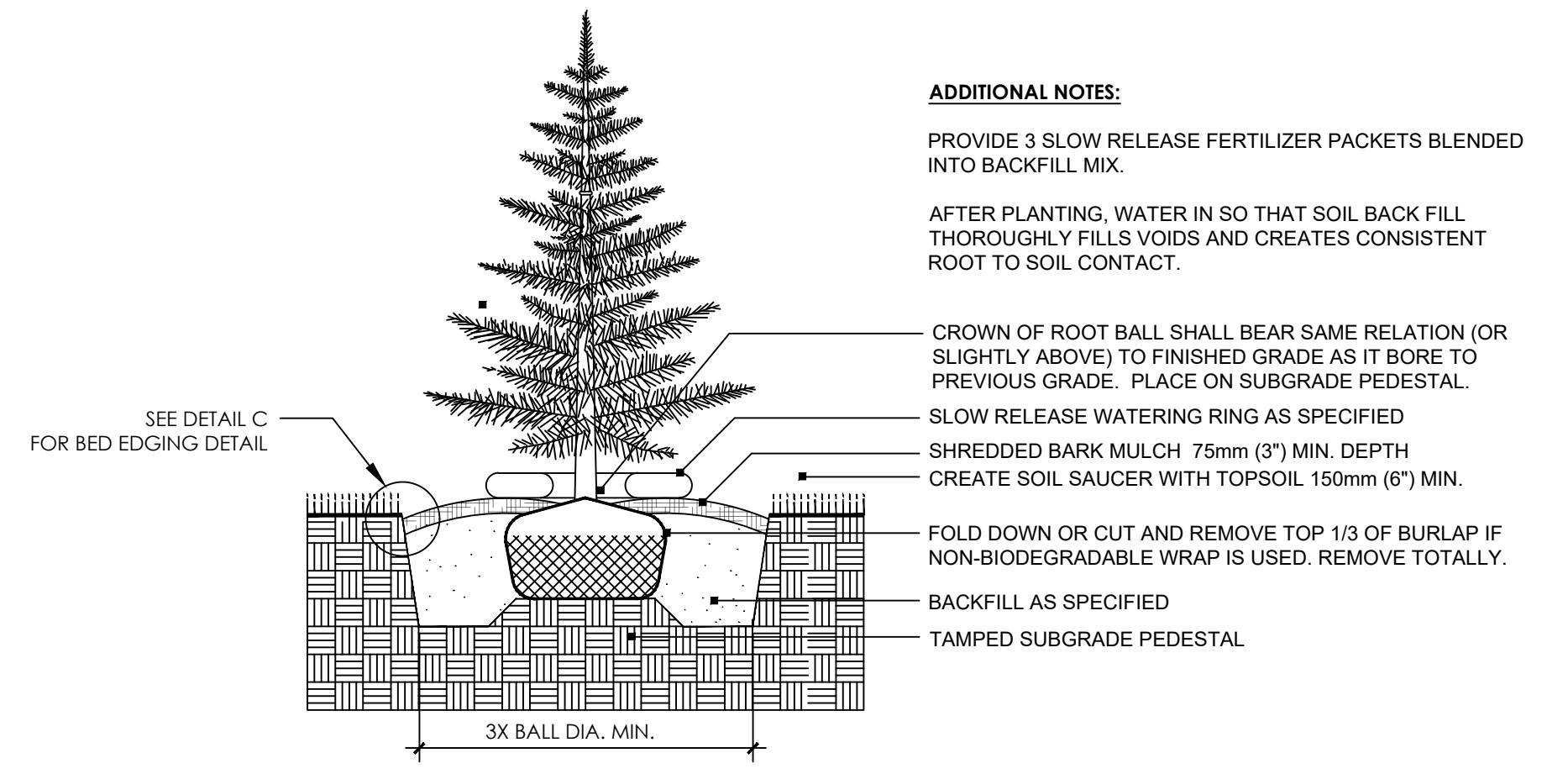
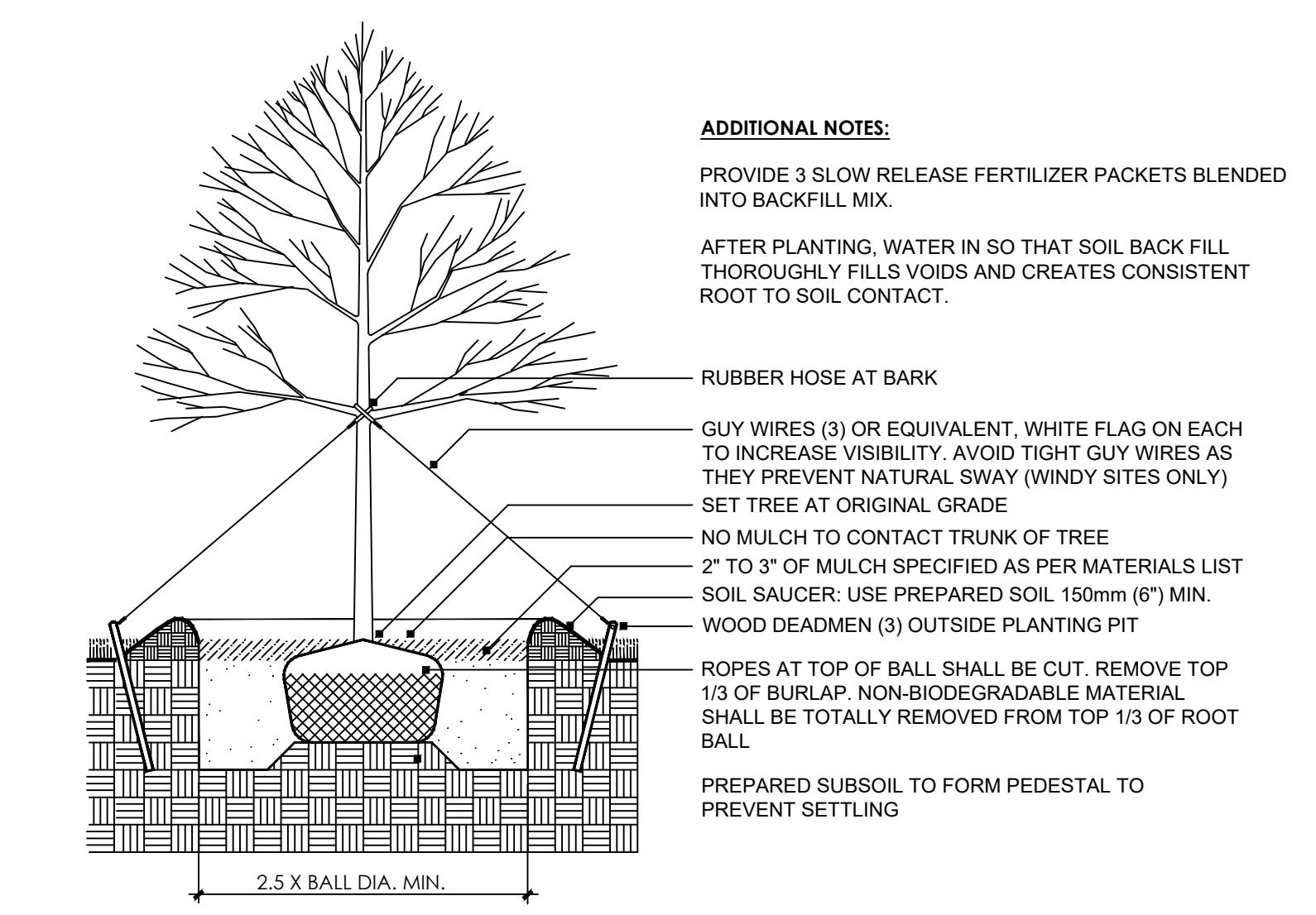
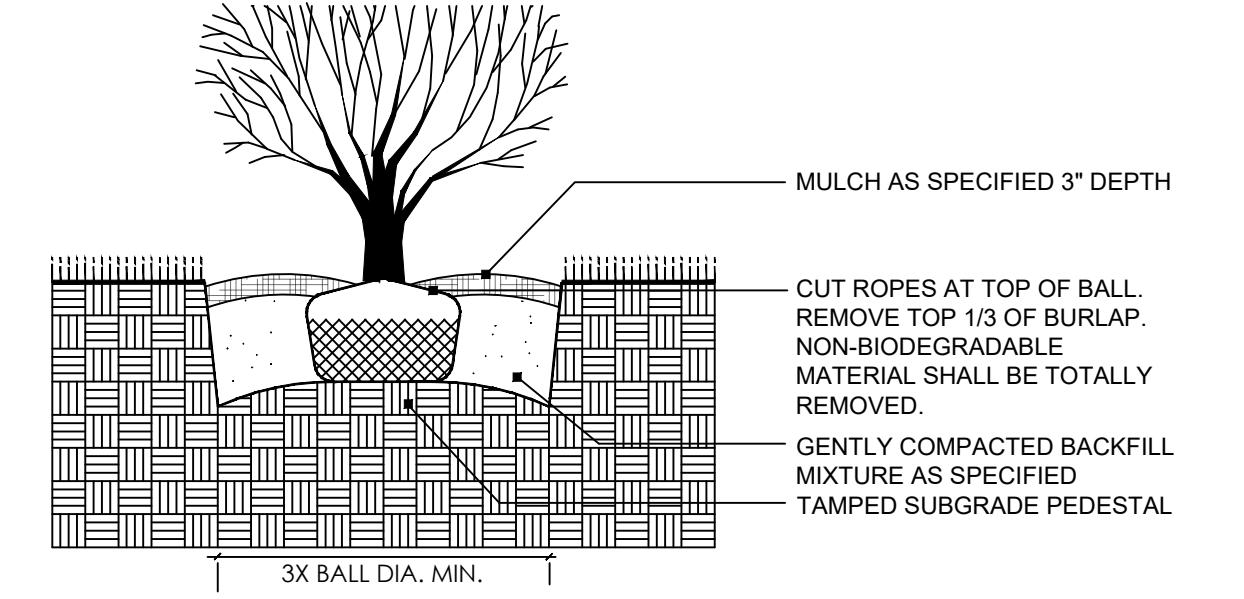
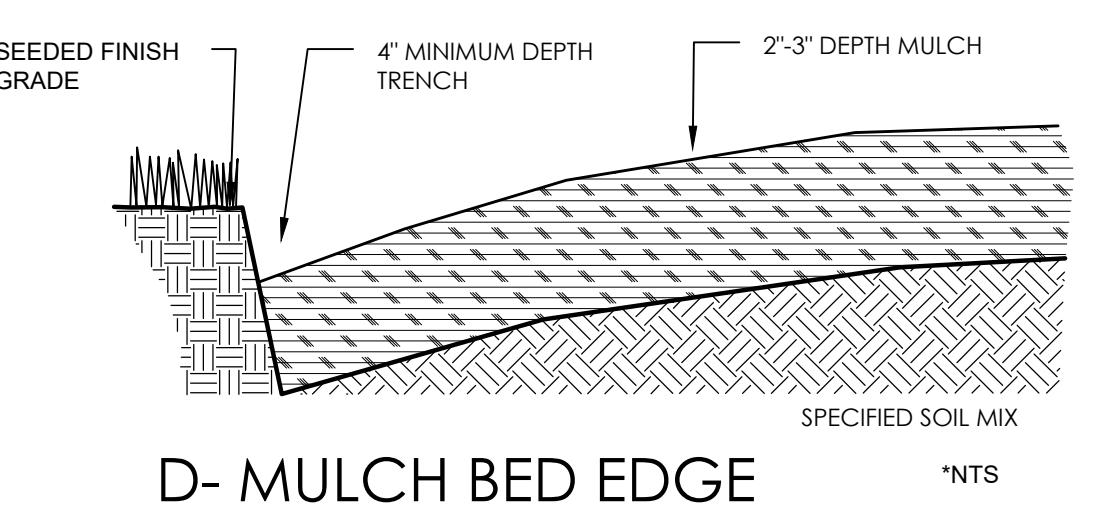
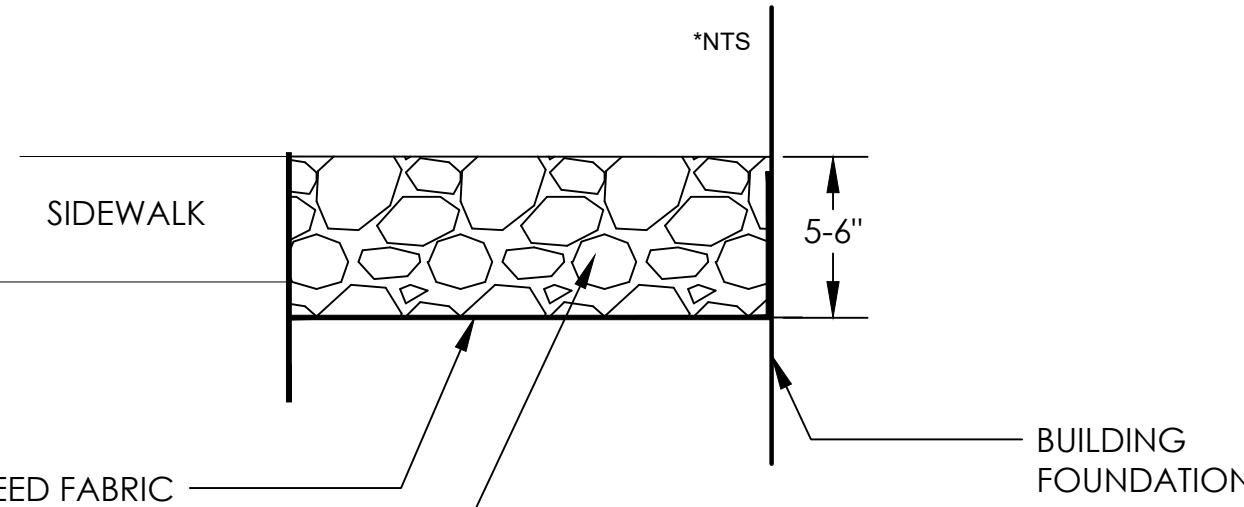
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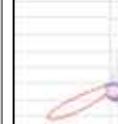
EXTERIOR ELEVATIONS

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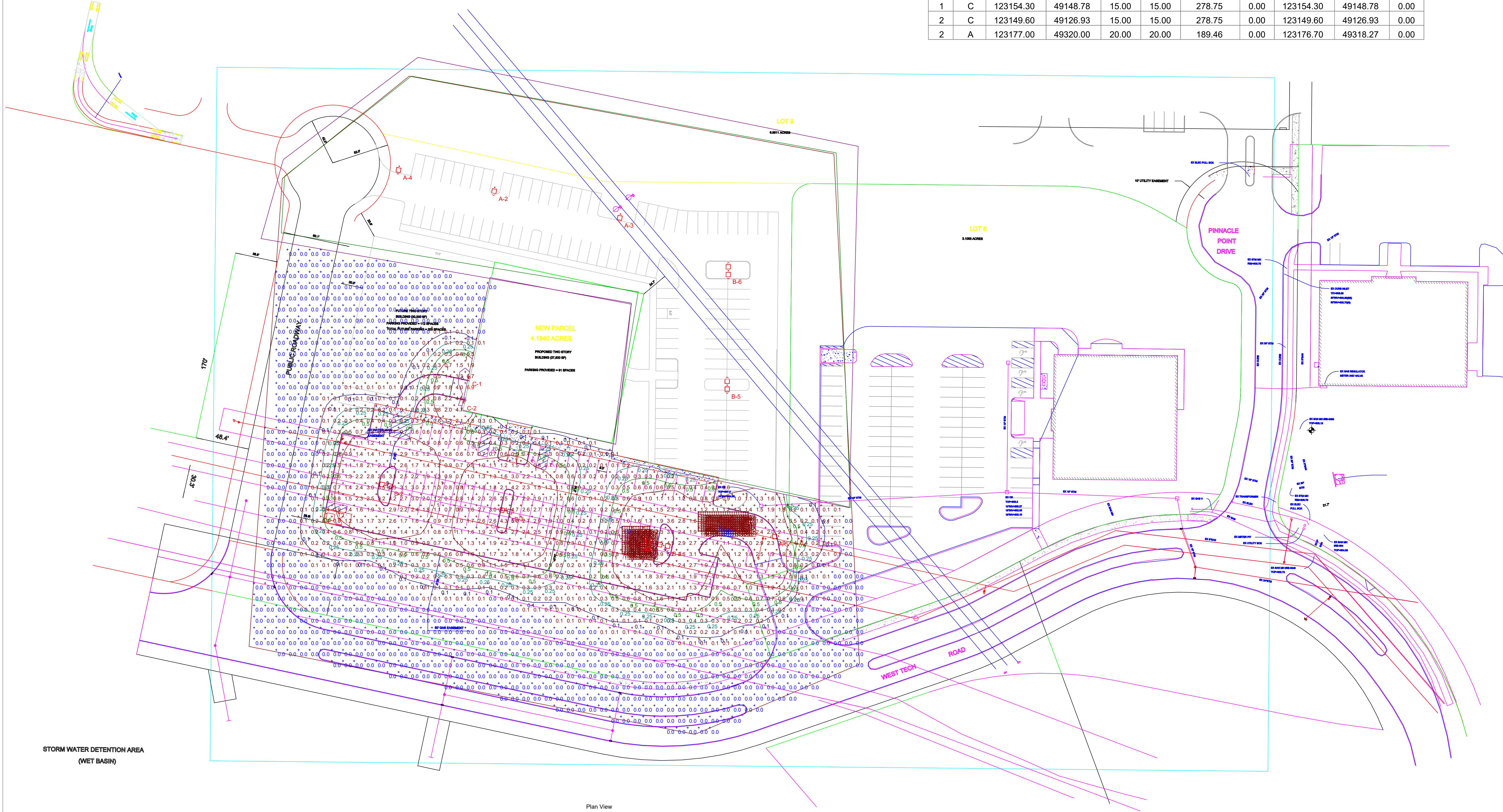


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SUBMITTALS AND REVISIONS 2/23/24 Plan Submitted																						
PROJECT #: CP DRAWN: CP REVIEWED: CP DATE: 2/23/24 P-2																						
LANDSCAPE PLAN CAESAR CREEK SOFTWARE II The Ascent SPRINGBORO, OHIO																						
LANDSCAPE CONSTRUCTION GENERAL NOTES: <ol style="list-style-type: none"> CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS AS REQUIRED FOR PROJECT IMPLEMENTATION. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS APPLICABLE TO THE EXECUTION OF THIS PROJECT. THE OWNER AND LANDSCAPE ARCHITECT ASSUME NO LIABILITY FOR THE MISMANAGEMENT OF CONSTRUCTION. CONTRACTOR SHALL KEEP ALL ORIGINAL PERMITS ONSITE AT ALL TIMES. CONTRACTOR IS RESPONSIBLE FOR BECOMING TOTALLY FAMILIAR WITH THE SITE PRIOR TO CONSTRUCTION OR ESTIMATING. ALL WORK IS TO BE COMPLETED PER DRAWINGS AND SPECIFICATIONS. MINOR VARIATIONS DUE TO SITE DISCREPANCIES WILL BE ACCEPTED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT. DIMENSIONS AND QUANTITIES ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE, DETAILS AND ENLARGEMENTS OVER SITE PLANS, AND CALLOUTS OVER KEYS AND SCHEDULES. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL MATERIALS AND SYMBOLS ARE ACCOUNTED FOR AND ARE CONSISTENT WITH MATERIAL SCHEDULES. IF DISCREPANCIES ARE DETECTED IN THESE PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION AND INSTALLATION OF WATER AND ELECTRICAL HOOKUPS INCLUDING IRRIGATION AND LIGHTING. CONTRACTOR IS TO MAINTAIN ALL EROSION CONTROL DEVICES REQUIRED BY LOCAL AUTHORITIES WITHIN THE PROJECT LIMITS UNTIL PROJECT ACCEPTANCE. THE CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES AND LIGHTS AT ALL OPEN EXCAVATIONS AS REQUIRED BY THE LOCAL AUTHORITIES. CONSTRUCTION STAKING AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ELECTRONIC FILES FOR ASSISTANCE IN FIELD LAYOUT AND CONTROL AVAILABLE FROM TOPOS STUDIO 937-469-4409. CONTRACTOR SHALL CONTACT OHIO UTILITIES PROTECTION SERVICE (OUPS) A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION OPERATIONS. OUPS CAN BE CONTACTED BY DIALING 811, OR 1-800-362-2764. DO NOT REMOVE ANYTHING THAT MAY COMPROMISE EXISTING UTILITIES OR STRUCTURES. IF ANY REMOVALS NOTED ON THE PLAN PUT STRUCTURES, UTILITIES, OR THE PUBLIC AT RISK, CONTACT THE LANDSCAPE ARCHITECT. AFTER PROJECT HAS BEEN AWARDED TO THE CONTRACTOR, THE CONTRACTOR, OWNER, AND LANDSCAPE ARCHITECT SHALL CONDUCT A PRE-CONSTRUCTION MEETING TO ENSURE A CLEAR UNDERSTANDING OF THE INTENDED DESIGN AND IMPLEMENTATION OF THE PROJECT. PROJECT COMPLETION: CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL REVIEW OF THE PROJECT, UPON COMPLETION, WITH THE LANDSCAPE ARCHITECT TO ANSWER QUESTIONS, PROVIDE WRITTEN CARE INSTRUCTIONS FOR NEW PLANTINGS AND TURF, AND ENSURE THAT ALL SPECIFICATIONS HAVE BEEN MET. 																						
LAYOUT, DIMENSIONING & QUANTITIES <ol style="list-style-type: none"> CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND QUANTITIES ON SITE. TOPOS STUDIO ASSUMES NO LIABILITY FOR THE MISMANAGEMENT OF ESTIMATING PRACTICES. WRITTEN DIMENSIONS ARE BASED ON BUILDING FOUNDATION, BACK OF CURB, OR EDGE OF PAVEMENT AND ARE IN FEET. OBJECTS NOTED AS "O.C." (ON CENTER) SHALL BE SPACED ACCORDING TO THE NOTED O.C. DIMENSION. 																						
SITE PREPARATION AND DEMOLITION <ol style="list-style-type: none"> CONTRACTOR SHALL REMOVE AND STOCKPILE ALL ITEMS AS NOTED ON PLAN. IF ADDITIONAL REMOVALS ARE NECESSARY FOR PROJECT SUCCESS, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE EXECUTION OF THE ADDITIONAL REMOVALS. ADDITIONAL: DO NOT REMOVE ANYTHING THAT MAY COMPROMISE EXISTING UTILITIES OR STRUCTURES. IF ANY REMOVALS NOTED ON THE PLAN PUT STRUCTURES, UTILITIES, OR THE PUBLIC AT RISK, CONTACT THE ENGINEER. 																						
PLANT BED PREPARATION AND PLANT INSTALLATION <ol style="list-style-type: none"> ALL PLANTING BEDS SHALL BE PREPARED FOR PLANTS BY REMOVING ALL EXISTING TURF, GRAVEL, AND OTHER DEBRIS AND DISPOSING SPOILS DEBRIS IN AN ENVIRONMENTALLY RESPONSIBLE MANNER. CONTRACTOR SHALL ADD A MINIMUM OF 2 INCHES OF LEAF COMPOST AND ROTOTILL LEAF COMPOST INTO EXISTING TOPSOIL. REMOVE AS MUCH GRAVEL AND OTHER DEBRIS FROM EXISTING TOPSOIL AS POSSIBLE. IF SOIL ANALYSIS REVEALS THE SOIL REQUIRES AMENDMENTS OR REPLACEMENT, CONTRACTOR SHALL FOLLOW ALL SOIL AMENDMENT RECOMMENDATIONS BASED ON THE SOIL ANALYSIS, AND PRESCRIBED SOIL USE. ONCE SOIL HAS BEEN PROPERLY AMENDED AND PREPARED, CONTRACTOR SHALL NOTIFY THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW OF PLANT STOCK, AND APPROVAL OF BED PREPARATION AND SOIL AMENDMENTS. ONE TO TWO WEEKS BEFORE MULCHING, EXISTING TREES SHALL BE PREPARED FOR MULCH RINGS BY SPRAYING HERBICIDE TO A DISTANCE OF 24" FROM BASE OF THE TRUNK. BED OF TREE RING WILL BE EDGED ACCORDING TO SPECIFICATIONS DESCRIBED IN MULCH NOTES. DO NOT CUT THROUGH ANY SURFACE ROOTS FROM EXISTING TREE. MULCH MAY BE APPLIED ON TOP OF THOROUGHLY DEAD GRASS AFTER OWNER APPROVAL OF PLANT STOCK AND BED PREPARATION CONTRACTOR MAY INSTALL PLANTINGS ACCORDING TO THE STANDARDS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY 																						
																						
STOCK AND THE SPECIFICATIONS FOUND HEREIN. <ol style="list-style-type: none"> AFTER PLANTS HAVE BEEN INSTALLED, PRIOR TO MULCH PLACEMENT OR WATERING, CONTRACTOR SHALL PLACE A BALANCED SLOW RELEASE FERTILIZER AND A PRE-EMERGENT HERBICIDE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. AFTER MULCH PLACEMENT AND CLEANUP, CONTRACTOR SHALL THEN WATER PLANTS IN TO ACHIEVE THOROUGH ROOT TO SOIL CONTACT. SEE MULCH NOTES FOR MULCH SPECIFICATIONS. TEMPORARY IRRIGATION EQUIPMENT MAY BE USED FOR UP TO 18 MONTHS 																						
MULCH <ol style="list-style-type: none"> MULCH BEDS SHALL BE EDGED AGAINST OTHER TYPES OF GROUND COVER AREAS SUCH AS GRAVEL OR LAWN. LAWN EDGES SHALL BE EDGED USING A SPADE OR MECHANICAL EDGER TO A DEPTH OF 3 INCHES AND LINES SHALL BE CLEARLY DEFINED WHEN FINISHED. BED EDGES ALONG PAVEMENT OR OTHER HARD SURFACE WILL HAVE SOIL REMOVED TO A DEPTH OF 3 INCHES TO ACCOMMODATE PROPER MULCH DEPTH. PROVIDE MULCH THAT CONSISTS OF SHREDDED BARK AND SHREDDED WOOD FREE OF SOIL, ROCKS, WEEDS, DEBRIS, RUBBISH, OR ENVIRONMENTALLY HAZARDOUS MATERIALS. WOOD PALETTES, TREATED LUMBER, WOOD CHIPS, AND OTHER TYPES OF NON-ORGANIC MATERIALS ARE NOT AN ACCEPTABLE MULCH MEDIUM. THE LENGTH OF ANY INDIVIDUAL COMPONENTS CANNOT EXCEED 2 INCHES. (THIS MAY BE CALLED TRIPLE SHREDDED). ENSURE THAT AT LEAST 75 PERCENT OF THE MULCH CAN PASS THROUGH A 1-INCH SCREEN. LANDSCAPE MULCH MAY CONTAIN UP TO 50 PERCENT SHREDDED WOOD. ENSURE MULCH HAS BEEN AGED AT LEAST ONE YEAR BEFORE INSTALLATION. MULCH COLOR SHALL BE BROWN. SPREAD MULCH IN PLANT BED AREAS AND TREE RINGS WITH A 2 TO 3 INCH LAYER OF LANDSCAPE MULCH UNIFORM IN TEXTURE AND SIZE. DO NOT PLACE MULCH IN DIRECT CONTACT WITH THE TRUNKS OF ANY TREES, SHRUBS, OR PERENNIALS. RAKE AND SMOOTH ALL PLANTING BEDS UPON COMPLETION OF THE WORK. 																						
GRAVEL BEDS <ol style="list-style-type: none"> GRAVEL BEDS SHALL BE EDGED USING AN APPROVED STEEL EDGING ACCORDING TO THE GRAVEL BED CONSTRUCTION & EDGE DETAIL IN THE LANDSCAPE DETAILS. STEEL EDGING SHALL BE PLACED ANYWHERE THAT GRAVEL MEETS A DIFFERENT GROUND COVER. STEEL EDGING IS NOT NECESSARY AGAINST HARDCAPE OR CONSTRUCTED EDGES SUCH AS CURBS, SIDEWALKS, OR BUILDING FOUNDATIONS. FILTER FABRIC SHALL BE PLACED BETWEEN SOIL AND GRAVEL IN ALL GRAVEL BEDS. 																						
SEED <ol style="list-style-type: none"> BARE SOIL/NEW BUILD <ol style="list-style-type: none"> AREAS CALLED OUT AS "SEED" ON THE DRAWINGS SHALL BE PREPARED BY REMOVING ALL ROCKS AND GRAVEL FROM TOP SOIL. IF SOIL IS AN UNACCEPTABLE GROWTH MEDIUM, A MINIMUM OF 2" OF ORGANIC TOPSOIL SHALL BE ADDED TO ALL SEED AREAS AFTER FINE GRADING AND ROCK/DEBRIS REMOVAL. RECOMMENDED SEED MIXTURE SHALL BE GREEN VELVET "HYBRID POWER 90/10 TALL FESCUE," 90% ELITE TALL FESCUE, 10% HYBRID BLUEGRASS. SEED SHALL BE APPLIED AT A RATE OF 8-10 POUNDS PER 1000 SQUARE FEET AND SHALL NOT BE MOWED FOR A MINIMUM OF 21 DAYS. DO NOT SPREAD SEED IN NEW PLANT BEDS OR GRAVEL AREAS. OVERSEEDING <ol style="list-style-type: none"> AREAS CALLED OUT AS "OVERSEED" ON THE DRAWINGS SHALL BE PREPARED BY MOWING THE EXISTING LAWN AREAS TO BE OVERSEEDED DOWN TO 2 INCHES OR LESS AND BAG THE CLIPPINGS. AFTER MOWING, USE A METAL THATCH RAKE TO REMOVE ANY REMAINING CLIPPINGS OR DEBRIS. RECOMMENDED SEED MIXTURE SHALL BE GREEN VELVET "HYBRID POWER 90/10 TALL FESCUE," 90% ELITE TALL FESCUE, 10% HYBRID BLUEGRASS. TAKE TIME TO DETHATCH AND CORE AERATE COMPACTED LAWNS. DO NOT SPREAD SEED IN NEW PLANT BEDS OR GRAVEL AREAS. FERTILIZATION & WATERING <ol style="list-style-type: none"> APPROPRIATE STARTER FERTILIZER SHALL BE APPLIED FOR SEDED AREAS ONLY ACCORDING TO MANUFACTURER'S RECOMMENDATIONS TO STIMULATE GERMINATION AND ROOT ESTABLISHMENT. DO NOT PLACE PRE-EMERGENT HERBICIDES IN SEDED AREAS. ENSURE THAT THE SELECTED FERTILIZER IS IN COMPLIANCE WITH LOCAL ENVIRONMENTAL LAWS. CONTRACTOR IS RESPONSIBLE FOR WATERING. FOR SEDED APPLICATIONS, ENSURE SEED AND SOIL STAYS MOIST THROUGH GERMINATION/ESTABLISHMENT PERIOD. WATER LIGHTLY TWICE DAILY FIRST FOUR DAYS. WATER MORE HEAVILY EVERY OTHER DAY FOR THE NEXT FIVE DAYS, THEN WATER AS NEEDED TO PREVENT WILTING. ONCE LAWN HAS RETURNED TO NORMAL THICKNESS AND MATURITY, RETURN TO REGULAR MAINTENANCE PRACTICES. FOR SOD APPLICATIONS, ENSURE SOD STAYS MOIST DURING INSTALLATION, WATERING HEAVILY IMMEDIATELY UPON COMPLETION. WATER FOUR TIMES DAILY FOR FIFTEEN MINUTES AT A TIME ON ALL AREAS WITH A WAVE SPRINKLER OR COMPARABLE METHOD FOR THE NEXT TWO WEEKS. FOR THE REST OF THE GROWING SEASON, ENSURE TURF RECEIVES AT LEAST ONE INCH OF WATER PER WEEK THROUGH RAIN OR IRRIGATION. TEMPORARY IRRIGATION EQUIPMENT MY BE USED FOR UP TO 18 MONTHS 																						
A - EVERGREEN TREE PLANTING  <p>ADDITIONAL NOTES:</p> <ul style="list-style-type: none"> SEE DETAIL C FOR BED EDGING DETAIL 3X BALL DIA. MIN. PROVIDE 3 SLOW RELEASE FERTILIZER PACKETS BLENDED INTO BACKFILL MIX. AFTER PLANTING, WATER IN SO THAT SOIL BACK FILL THOROUGHLY FILLS Voids AND CREATES CONSISTENT ROOT TO SOIL CONTACT. CROWN OF ROOT BALL SHALL BEAR SAME RELATION (OR SLIGHTLY ABOVE) TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE. PLACE ON SUBGRADE PEDESTAL. SLOW RELEASE WATERING RING AS SPECIFIED SHREDDED BARK MULCH 75mm (3") MIN. DEPTH CREATE SOIL SAUCER WITH TOPSOIL 150mm (6") MIN. FOLD DOWN OR CUT AND REMOVE TOP 1/3 OF BURLAP IF NON-Biodegradable WRAP IS USED. REMOVE TOTALLY. BACKFILL AS SPECIFIED TAMPED SUBGRADE PEDESTAL 																						
B - DECIDUOUS TREE PLANTING  <p>ADDITIONAL NOTES:</p> <ul style="list-style-type: none"> SEE DETAIL C FOR BED EDGING DETAIL 2.5 X BALL DIA. MIN. PROVIDE 3 SLOW RELEASE FERTILIZER PACKETS BLENDED INTO BACKFILL MIX. AFTER PLANTING, WATER IN SO THAT SOIL BACK FILL THOROUGHLY FILLS Voids AND CREATES CONSISTENT ROOT TO SOIL CONTACT. RUBBER HOSE AT BARK GUY WIRES (3) OR EQUIVALENT, WHITE FLAG ON EACH TO INCREASE VISIBILITY. AVOID TIGHT GUY WIRES AS THEY PREVENT NATURAL SWAY (WINDY SITES ONLY) SET TREE AT ORIGINAL GRADE NO MULCH TO CONTACT TRUNK OF TREE 2" TO 3" OF MULCH SPECIFIED AS PER MATERIALS LIST SOIL SAUCER: USE PREPARED SOIL 150mm (6") MIN. WOOD DEADMEN (3) OUTSIDE PLANTING PIT ROPE AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-Biodegradable MATERIAL SHALL BE TOTALLY REMOVED FROM TOP 1/3 OF ROOT BALL PREPARED SUBSOIL TO FORM PEDESTAL TO PREVENT SETTLING 																						
C - SHRUB PLANTING  <p>ADDITIONAL NOTES:</p> <ul style="list-style-type: none"> 3X BALL DIA. MIN. MULCH AS SPECIFIED 3" DEPTH CUT ROPES AT TOP OF BALL. REMOVE TOP 1/3 OF BURLAP. NON-Biodegradable MATERIAL SHALL BE TOTALLY REMOVED. GENTLY COMPACTED BACKFILL MIXTURE AS SPECIFIED TAMPED SUBGRADE PEDESTAL 																						
D - MULCH BED EDGE  <p>ADDITIONAL NOTES:</p> <ul style="list-style-type: none"> SEEDED FINISH GRADE 4" MINIMUM DEPTH TRENCH 2'-3" DEPTH MULCH SPECIFIED SOIL MIX *NTS 																						
E - DECORATIVE RIVER ROCK  <p>ADDITIONAL NOTES:</p> <ul style="list-style-type: none"> SIDEWALK WEED FABRIC RIVER ROCK "CREEK JACK" GROUND COVER BUILDING FOUNDATION 5-6" *NTS 																						

Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		4	COOPER LIGHTING - McGRAW-EDISON	GLEON-AE-02-LED-E1-T4W	GALLEON LED AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1A LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS	32	326	1	107	 Max: 8364cd
	B		5	COOPER LIGHTING - McGRAW-EDISON	GLEON-AE-02-LED-E1-T4W	GALLEON LED AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1A LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS	32	326	1	214	 Max: 8364cd
	C		2	RAB LIGHTING INC.	SLIM37N	CAST BROWN PAINTED METAL HOUSING, EXTRUDED 2-PIECE DIFFUSE METAL HEAT SINK, 1 WHITE CIRCUIT BOARD WITH 16 LEDS, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH, CLEAR FLAT PRISMATIC GLASS LENS IN CAST 2-PIECE BROWN PAINTED METAL LENS RETAINING BRACKET. LENS PRISMS DOWN.	16	242	1	34.6	 Max: 2004cd

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVER ALL PARKING LOT	+	0.5 fc	6.0 fc	0.0 fc	N/A	N/A
PARKING AREA	+	2.4 fc	3.2 fc	1.3 fc	2.5:1	1.8:1
Stat Zone # 1	✗	N/A	N/A	N/A	N/A	N/A
DRIVING AREA	+	1.5 fc	2.3 fc	1.2 fc	1.9:1	1.3:1

Luminaire Locations										
		Location						Aim		
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
3	A	123290.00	49296.00	20.00	20.00	189.46	0.00	123289.70	49294.27	0.00
4	A	123091.00	49339.00	20.00	20.00	189.46	0.00	123090.70	49337.27	0.00
5	A	123432.20	49006.32	20.00	20.00	263.07	0.00	123430.50	49006.11	0.00
2	B	123079.00	49052.00	20.00	20.00	281.31	0.00			
3	B	123187.00	49029.00	20.00	20.00	281.31	0.00			
4	B	123329.00	48998.00	20.00	20.00	281.31	0.00			
5	B	123386.00	49142.00	20.00	20.00	0.00	0.00			
6	B	123387.00	49245.00	20.00	20.00	0.00	0.00			
1	C	123154.30	49148.78	15.00	15.00	278.75	0.00	123154.30	49148.78	0.00
2	C	123149.60	49126.93	15.00	15.00	278.75	0.00	123149.60	49126.93	0.00
2	A	123177.00	49320.00	20.00	20.00	189.46	0.00	123176.70	49318.27	0.00



Project		Catalog #		Type	
Prepared by		Notes		Date	



McGraw-Edison GALN Galleon II

Area / Site Luminaire

Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 5
- Product Specifications page 5
- Energy and Performance Data page 6
- Control Options page 10

Product Certifications



Resources



Quick Facts

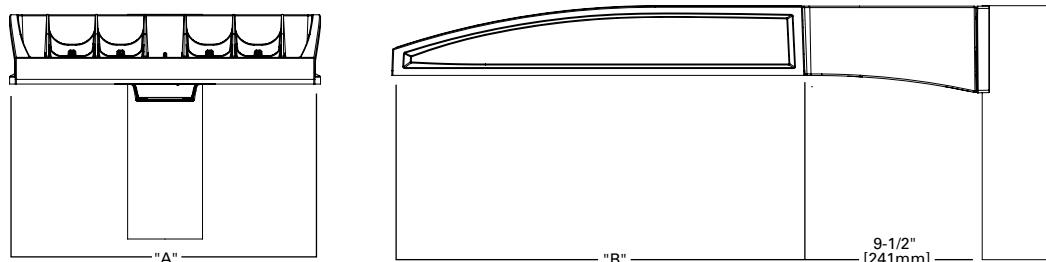
- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 16 optical distributions
- Efficacy up to 159 lumens per watt

Connected Systems

- WaveLinx Lite
- WaveLinx

Dimensional Details

Standard Arm



Number of Light Squares	Width "A"	Housing Length "B"	Weight with Standard or QM Arm	EPA with Standard or QM Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-9	22"	28-1/8"	48 lb	1.1

NOTES:
For arm selection requirements and additional line art, see Mounting Details section.

Ordering Information

SAMPLE NUMBER: GALN-SA4C-740-U-T4FT-GM

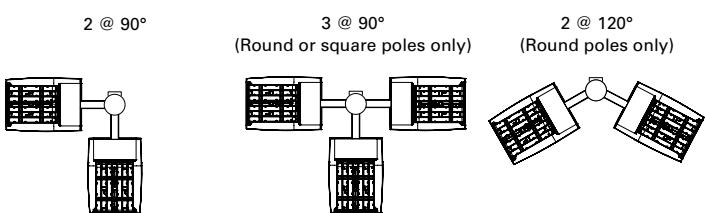
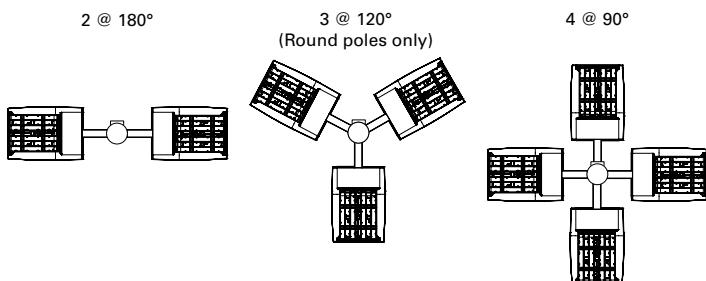
Product Family ^{1,2}	Light Engine		Color Temperature	Voltage	Distribution	Mounting	Finish
	Configuration	Drive Current					
GALN=Galleon II	SA1=1 Square SA2=2 Squares SA3=3 Squares SA4=4 Squares SA5=5 Squares SA6=6 Squares SA7=7 Squares SA8=8 Squares SA9=9 Squares	A=600mA B=800mA C=1000mA D=1200mA ^{4,17}	722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 760=70CRI, 6000K 827=80CRI, 2700K 830=80CRI, 3000K AMB=Amber, 590nm ^{15,17}	U=120-277V H=347V-480V 1=120V 2=208V 3=240V 4=277V 8=480V 9=347V	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide SNQ=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	[Blank]=Standard Pole Mount Arm QM=Standard Pole Mount Arm with Quick Mount Adaptor PA=Pole Mount, Adjustable SP=Slipfitter, Adjustable MA=Mast Arm, Fixed WM=Wall Mount, Fixed WA=Wall Mount, Adjustable UP=Upswept Arm	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)		Controls and Systems Options (Add as Suffix)		Accessories (Order Separately)			
DIM =External 0-10V Dimming Leads ²⁰ F =Single Fuse (120, 277 or 347V Specify Voltage) FF =Double Fuse (208, 240 or 480V Specify Voltage) 20K =20kV UL 1449 fused surge protective device ¹⁰ 2L =Two Circuits ¹⁰ HA =50°C High Ambient HSS =Installed House Side Shield ¹⁸ GRSBK =Glare Reducing Shield, Black ²³ GRSWH =Glare Reducing Shield, White ²³ LCF =Light Square Trim Painted to Match Housing ²⁶ TH =Tool-less Door Hardware ⁵ CC =Coastal Construction finish ³ L90 =Optics Rotated 90° Left R90 =Optics Rotated 90° Right AHD145 =After Hours Dim, 5 Hours ²² AHD245 =After Hours Dim, 6 Hours ²² AHD255 =After Hours Dim, 7 Hours ²² AHD355 =After Hours Dim, 8 Hours ²² DALI =DALI Drivers		BPC =Button Type Photocontrol ⁶ PR =NEMA 3-PIN Photocontrol Receptacle PR7 =NEMA 7-PIN Photocontrol Receptacle ²¹ SPB2 =Dimming Motion Sensor, 9'-20' mounting ²⁴ SPB4 =Dimming Motion Sensor, 21'-40' mounting ²⁴ SPB4/X =Dimming Motion Sensor, limited square count, 9'-20' mounting ²⁴ ZW =WaveLinx Module and 4-PIN Receptacle ¹⁹ ZD =WaveLinx Module with DALI driver and 4-PIN Receptacle ¹⁹ ZW-SWPD4XX =WaveLinx Sensor Only, 7-15ft ^{19,12,13} ZW-SWPD5XX =WaveLinx Sensor Only, 15-40ft ^{19,12,13} ZW-WOBXX =WaveLinx Sensor with Bluetooth, 7-15ft ^{19,12,13} ZW-WOFXX =WaveLinx Sensor with Bluetooth, 15-40ft ^{19,12,13} ZD-WOBXX =WaveLinx Sensor with Bluetooth, 7-15ft ^{19,12,13} ZD-WOFXX =WaveLinx Sensor with Bluetooth, 15-40ft ^{19,12,13} DIM10-MS/DIM-L20 =Synapse Occupancy Sensor (9'-20' Mounting) ¹⁹ DIM10-MS/DIM-L40 =Synapse Occupancy Sensor (21'-40' Mounting) ¹⁹		OA/RA1016 =NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027 =NEMA Photocontrol - 480V OA/RA1021 =NEMA Photocontrol - 347V OA/RA1013 =Photocontrol Shorting Cap OA/RA1014 =120V Photocontrol MA1252 =10kV Surge Module Replacement MA1036-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX-2 @180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX-3 @120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX-4 @90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX-2 @90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX-3 @90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX-2 @120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX-3 =Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX-2 @180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX-3 @120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX-4 @90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX-2 @90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX-3 @90° Tenon Adapter for 3-1/2" O.D. Tenon SRA238 =Adapter kit for mounting to 2-3/8" O.D. Tenon LS/HSS =Field Installed House Side Shield ^{9,18} LS/GRSBK =Glare Reducing Shield, Black ^{9,23} LS/GRSWH =Glare Reducing Shield, White ^{9,23} LS/PFS =Perimeter Shield, Black ¹⁶ WOLC-7P-10A =WaveLinx Outdoor Control Module ^{11,19} WOA-XX =WaveLinx Wireless Sensor, 7'-15' Mounting Height ^{12,13,14,19} WOE-XX =WaveLinx Wireless Sensor, 15'-40' Mounting Height ^{12,13,14,19}			
NOTES: <ol style="list-style-type: none"> Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. Not available with TH option. Drive current 1200mA not available with color temperatures 722, 727 or 830 when either HA or HSS options are selected. TH option not 3G rated. Not available with Coastal Construction (CC) option. Not available with voltage options H, 8 or 9. Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A. Adjustable Slipfitter arm limited to vertical 3° tenon. For mounting to 2-3/8" O.D. tenons, order accessory SRA238. One required for each Light Square. 2L is not available with SPB at 347V or 480V. Not available with WaveLinx or Enlighted sensors, or 20kV surge option. Requires PR7. Replace XX with sensor color (WH, BZ or BK.) WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. WAC not required for LC Bluetooth sensors. Requires ZW or ZD receptacle. Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option. Set of 4 pcs. One set required per Light Square. Not available with HA option. Not for use with SNO, 5MQ, 5WQ or RW optics. A black trim plate is used when HSS is selected. Cannot be used with other control options. Low voltage control lead brought out 18" outside fixture. Not available with DALI or integrated controls options. Not available if any SPB, LWR, or WaveLinx sensor is selected. Motion sensor has an integral photocell. Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory. Not for use with T4FT, T4W or SL4 optics. See IES files for details. Sensor configuration mobile application required for configuration. See controls page for details. Replace X with number of Light Squares controlled by the SPB, referencing the "SPB/X Availability Table" on the controls page. Not available with HSS, GRSWB or GRSWH. 							

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

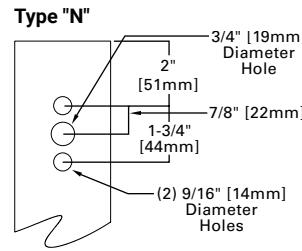
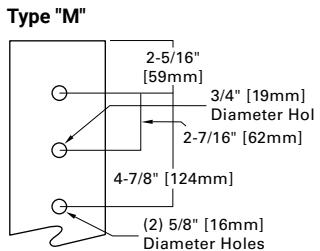
Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology  LumenSafe Technology	D=Standard Dome Camera H=Hi-Res Dome Camera Z=Remote PTZ Camera	C=Cellular, No SIM A=Cellular, AT&T V=Cellular, Verizon S=Cellular, Sprint R=Cellular, Rogers W=Wi-Fi Networking w/ Omni-Directional Antenna E=Ethernet Networking

Mounting Details

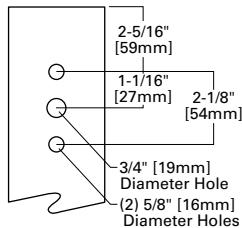
Pole Configuration Options



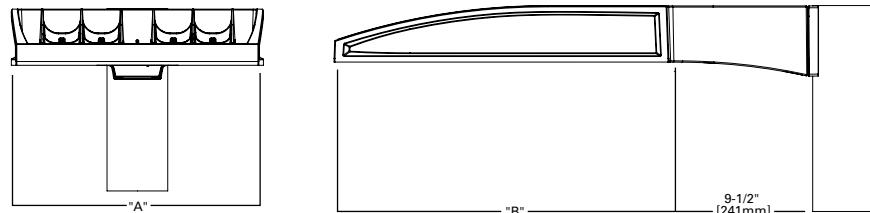
Pole Drilling Patterns



Type "R"

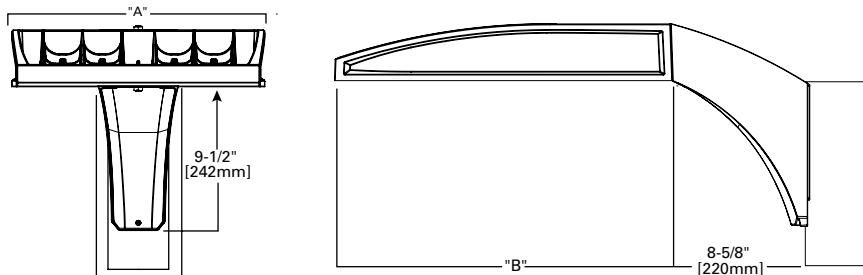


Quick Mount Arm (QM) *



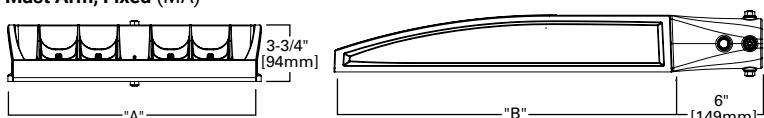
*NOTE: Use Type N drilling pattern

Upswept Arm (UP) *

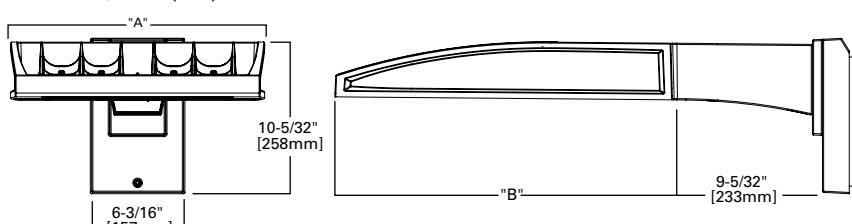


*NOTE: Use Type N, R or M drilling pattern

Mast Arm, Fixed (MA)

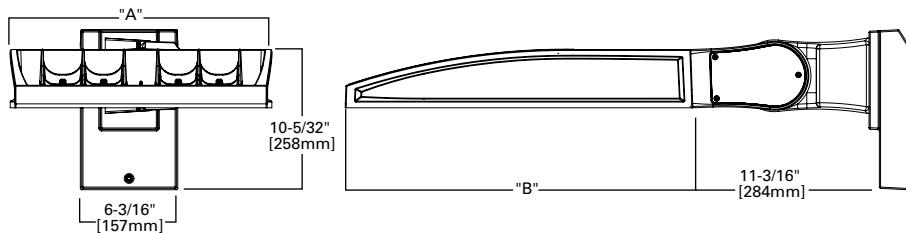


Wall Mount, Fixed (WM)



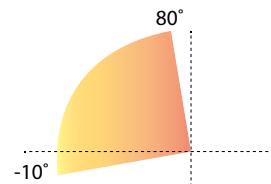
Mounting Details

Wall Mount, Adjustable (WA)

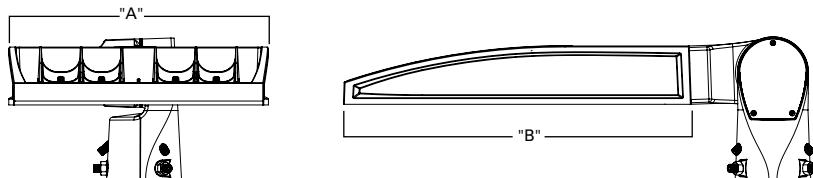


Adjustable Arm Range of Motion

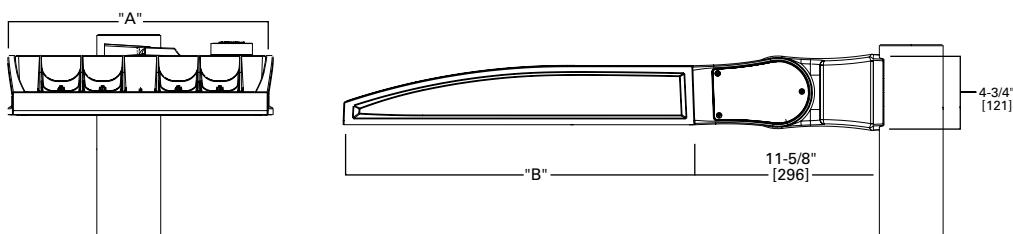
- Wall Mount (WA), Slipfitter (SP) and Pole Mount (PA)
- Adjustable in increments of 5°
- Must maintain downward facing orientation



Slipfitter, Adjustable (SP)



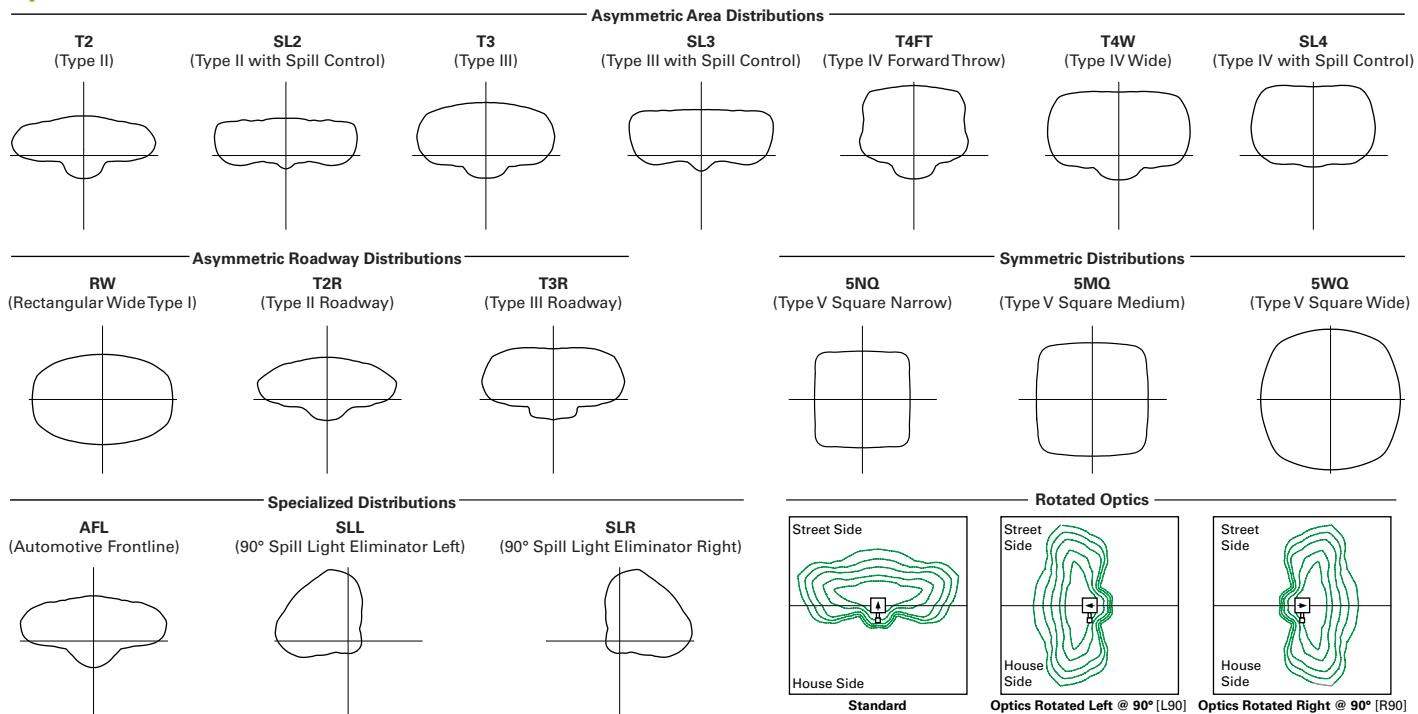
Pole Mount, Adjustable Arm (PA)



Fixture Weights and EPAs

Tilt Angle (Degrees)	Number of Light Squares	Weight	1 @ 90°	2 @ 180°	2 @ 90°	2 @ 120°	3 @ 90°	3 @ 120°	4 @ 90°
0°	1-4	33.5 lb (15.2 kg)	0.85	1.70	1.46	1.66	2.31	2.25	2.35
	5-6	43.5 lb (19.7 kg)	0.86	1.71	1.62	1.80	2.49	2.35	2.50
	7-9	52.5 lb (23.8 kg)	0.98	1.95	1.75	1.98	2.73	2.55	2.76
15°	1-4	33.5 lb (15.2 kg)	1.10	1.71	1.95	2.26	2.81	3.30	2.87
	5-6	43.5 lb (19.7 kg)	1.42	1.71	2.27	2.72	3.13	3.63	3.15
	7-9	52.5 lb (23.8 kg)	1.69	1.96	2.67	3.22	3.65	4.38	3.72
30°	1-4	33.5 lb (15.2 kg)	1.72	1.81	2.58	3.21	3.44	4.59	3.53
	5-6	43.5 lb (19.7 kg)	2.26	2.29	3.11	4.00	3.97	5.27	4.00
	7-9	52.5 lb (23.8 kg)	2.75	2.85	3.73	4.83	4.71	6.45	4.81
45°	1-4	33.5 lb (15.2 kg)	2.25	2.36	3.10	4.00	3.96	5.63	4.08
	5-6	43.5 lb (19.7 kg)	2.96	2.99	3.81	5.06	4.67	6.49	4.71
	7-9	52.5 lb (23.8 kg)	3.63	3.76	3.73	6.17	5.59	8.03	5.73
60°	1-4	33.5 lb (15.2 kg)	2.63	2.77	3.49	4.58	4.34	6.21	4.48
	5-6	43.5 lb (19.7 kg)	3.46	3.51	4.32	5.84	5.19	7.01	5.22
	7-9	52.5 lb (23.8 kg)	4.27	4.44	5.25	7.15	6.23	8.80	6.40

Optical Distributions



Product Specifications

Construction

- Die-cast aluminum housing and heat sink
- Three housing sizes, using 1 to 9 light squares

Optics

- High-efficiency injection-molded AccuLED Optics technology
- 16 optical distributions for area site and roadway applications
- 3 shielding options include HSS, GRS and PFS
- IDA certified (3000K CCT and warmer only, arms at 0° tilt)

Electrical

- Removable power tray assembly includes drivers, surge modules and control modules for ease of maintenance and serviceability

- Standard with 0-10V dimming
- Standard with 10kV surge module, optional 20kV surge module
- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration

Mounting

- Arms are factory installed, enabling closed-housing installation
- All arms suitable for round or square pole installation
- All arms provide clearance for multiple fixture installations at 90°

Finish

- 6 standard finishes use super durable TGIC polyester powder coat paint, providing 2.5 mil nominal thickness and salt-spray tested to 3,000 hours per ASTM B117
- RAL and custom color matches available
- Coastal Construction (CC) option salt-spray tested to 5,000 hours per ASTM B117, achieving a scribe rating of 9 per ASTM D1654

Warranty

- Five year limited warranty

Energy and Performance Data

Lumen Maintenance (TM-21)

Drive Current	Ambient Temperature	25,000 hours*	50,000 hours*	60,000 hours*	100,000 hours**	Theoretical L70 hours**
Up to 1A	25°C	99.4%	99.0%	98.9%	98.3%	> 2.4M
	40°C	98.7%	98.3%	98.1%	97.4%	> 1.9M
	50°C	98.2%	97.2%	96.8%	95.2%	> 851,000
1.2A	25°C	99.4%	99.0%	98.9%	98.3%	> 2.4M
	40°C	98.5%	97.9%	97.7%	96.7%	> 1.3M

* Supported by IES TM-21 standards

** Theoretical values represent estimations commonly used; however, refer to the IES position on LED Product Lifetime Prediction, IES PS-10-18, explaining proper use of IES TM-21 and LM-80.

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Performance Table, Drive Current "A" (615mA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	
Nominal Power (Watts)	33	63	93	121	154	182	215	244	274	
Input Current @ 120V	0.283	0.529	0.778	1.058	1.310	1.556	1.839	2.089	2.335	
Input Current @ 208V	0.165	0.309	0.460	0.618	0.771	0.919	1.082	1.240	1.379	
Input Current @ 240V	0.143	0.270	0.398	0.540	0.671	0.796	0.944	1.078	1.194	
Input Current @ 277V	0.125	0.237	0.352	0.473	0.581	0.705	0.818	0.962	1.057	
Input Current @ 347V	0.098	0.181	0.272	0.362	0.454	0.544	0.636	0.738	0.816	
Input Current @ 480V	0.073	0.133	0.200	0.267	0.335	0.400	0.470	0.554	0.600	
Optics										
T2	4000K Lumens	4,654	9,249	13,730	18,194	23,032	27,273	32,034	37,138	41,694
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	
	Lumens per Watt	141	147	148	150	150	150	149	152	152
T2R	4000K Lumens	4,716	9,372	13,913	18,437	23,340	27,637	32,462	37,634	42,251
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	
	Lumens per Watt	143	149	150	152	152	152	151	154	154
T3	4000K Lumens	4,589	9,120	13,538	17,940	22,711	26,892	31,587	36,620	41,112
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	
	Lumens per Watt	139	145	146	148	147	148	147	150	150
T3R	4000K Lumens	4,735	9,411	13,970	18,513	23,436	27,751	32,596	37,790	42,425
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	
	Lumens per Watt	143	149	150	153	152	152	152	155	155
T4FT	4000K Lumens	4,617	9,176	13,622	18,051	22,851	27,058	31,782	36,847	41,366
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	
	Lumens per Watt	140	146	146	149	148	149	148	151	151
T4W	4000K Lumens	4,631	9,203	13,662	18,104	22,918	27,138	31,876	36,955	41,488
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	
	Lumens per Watt	140	146	147	150	149	149	148	151	151
SL2	4000K Lumens	4,619	9,180	13,627	18,058	22,860	27,069	31,795	36,861	41,383
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	
	Lumens per Watt	140	146	147	149	148	149	148	151	151
SL3	4000K Lumens	4,586	9,115	13,531	17,931	22,699	26,879	31,571	36,602	41,091
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	
	Lumens per Watt	139	145	145	148	147	148	147	150	150
SL4	4000K Lumens	4,529	9,002	13,363	17,708	22,417	26,544	31,178	36,146	40,580
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	
	Lumens per Watt	137	143	144	146	146	146	145	148	148
5NQ	4000K Lumens	4,829	9,598	14,247	18,880	23,901	28,301	33,242	38,539	43,266
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
	Lumens per Watt	146	152	153	156	155	155	155	158	158
5MQ	4000K Lumens	4,853	9,645	14,318	18,974	24,020	28,442	33,407	38,731	43,482
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	147	153	154	157	156	156	155	159	159
5WQ	4000K Lumens	4,843	9,625	14,288	18,934	23,969	28,382	33,337	38,649	43,390
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
	Lumens per Watt	147	153	154	156	156	156	155	158	158
SLL/SLR	4000K Lumens	3,989	7,927	11,768	15,594	19,741	23,375	27,456	31,831	35,736
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	
	Lumens per Watt	121	126	127	129	128	128	128	130	130
RW	4000K Lumens	4,774	9,488	14,085	18,665	23,628	27,979	32,863	38,100	42,774
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
	Lumens per Watt	145	151	151	154	153	154	153	156	156
AFL	4000K Lumens	4,673	9,286	13,785	18,268	23,126	27,384	32,164	37,290	41,864
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
	Lumens per Watt	142	147	148	151	150	150	150	153	153

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Performance Table, Drive Current "B" (800mA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	
Nominal Power (Watts)	44	82	121	164	204	243	286	325	364	
Input Current @ 120V	0.367	0.689	1.014	1.378	1.704	2.027	2.393	2.716	3.041	
Input Current @ 208V	0.213	0.401	0.594	0.802	0.997	1.188	1.400	1.605	1.782	
Input Current @ 240V	0.184	0.347	0.510	0.694	0.860	1.021	1.210	1.386	1.531	
Input Current @ 277V	0.160	0.303	0.449	0.605	0.757	0.898	1.065	1.242	1.347	
Input Current @ 347V	0.125	0.235	0.355	0.471	0.592	0.710	0.828	0.958	1.065	
Input Current @ 480V	0.092	0.172	0.258	0.344	0.432	0.517	0.605	0.706	0.775	
Optics										
T2	4000K Lumens	5,790	11,508	17,083	22,638	28,658	33,935	39,859	46,210	51,879
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	132	140	141	138	140	140	139	142	143
T2R	4000K Lumens	5,868	11,662	17,311	22,941	29,041	34,388	40,391	46,827	52,572
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
	Lumens per Watt	133	142	143	140	142	142	141	144	144
T3	4000K Lumens	5,710	11,347	16,845	22,322	28,258	33,461	39,303	45,565	51,155
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G4	B4-U0-G5	B4-U0-G5
	Lumens per Watt	130	138	139	136	139	138	137	140	141
T3R	4000K Lumens	5,892	11,710	17,383	23,035	29,161	34,530	40,558	47,020	52,788
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	134	143	144	140	143	142	142	145	145
T4FT	4000K Lumens	5,745	11,418	16,949	22,460	28,433	33,668	39,546	45,847	51,471
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	131	139	140	137	139	139	138	141	141
T4W	4000K Lumens	5,762	11,451	16,999	22,526	28,517	33,767	39,662	45,982	51,622
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4
	Lumens per Watt	131	140	140	137	140	139	139	141	142
SL2	4000K Lumens	5,747	11,422	16,956	22,469	28,444	33,681	39,561	45,865	51,491
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	131	139	140	137	139	139	138	141	141
SL3	4000K Lumens	5,707	11,342	16,836	22,311	28,244	33,444	39,283	45,542	51,129
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	130	138	139	136	138	138	137	140	140
SL4	4000K Lumens	5,636	11,201	16,627	22,034	27,893	33,028	38,794	44,976	50,493
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	128	137	137	134	137	136	136	138	139
5NQ	4000K Lumens	6,009	11,942	17,727	23,492	29,739	35,214	41,362	47,953	53,835
	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
	Lumens per Watt	137	146	147	143	146	145	145	148	148
5MQ	4000K Lumens	6,039	12,001	17,816	23,609	29,887	35,389	41,568	48,191	54,103
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
	Lumens per Watt	137	146	147	144	147	146	145	148	149
5WQ	4000K Lumens	6,026	11,976	17,778	23,559	29,824	35,315	41,480	48,090	53,989
	BUG Rating	B3-U0-G1	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	137	146	147	144	146	145	145	148	148
SLL/SLR	4000K Lumens	4,963	9,863	14,642	19,403	24,563	29,085	34,163	39,607	44,465
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	113	120	121	118	120	120	119	122	122
RW	4000K Lumens	5,940	11,806	17,526	23,224	29,400	34,813	40,891	47,407	53,222
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	135	144	145	142	144	143	143	146	146
AFL	4000K Lumens	5,814	11,555	17,153	22,730	28,775	34,073	40,021	46,398	52,090
	BUG Rating	B1-U0-G1	B2-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4
	Lumens per Watt	132	141	142	139	141	140	140	143	143

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Performance Table, Drive Current "C" (1050mA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	
Nominal Power (Watts)	57	108	160	213	269	321	377	429	481	
Input Current @ 120V	0.478	0.905	1.338	1.810	2.244	2.675	3.150	3.584	4.013	
Input Current @ 208V	0.279	0.532	0.780	1.064	1.313	1.559	1.845	2.093	2.339	
Input Current @ 240V	0.243	0.458	0.664	0.916	1.123	1.328	1.582	1.788	1.991	
Input Current @ 277V	0.213	0.404	0.582	0.808	0.997	1.164	1.401	1.589	1.745	
Input Current @ 347V	0.164	0.322	0.471	0.644	0.795	0.943	1.117	1.269	1.414	
Input Current @ 480V	0.121	0.235	0.341	0.469	0.579	0.681	0.814	0.923	1.022	
Optics										
T2	4000K Lumens	7,154	14,219	21,107	27,970	35,408	41,927	49,247	57,094	64,098
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	126	132	132	131	132	131	131	133	133
T2R	4000K Lumens	7,250	14,408	21,389	28,344	35,881	42,487	49,905	57,857	64,954
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	127	133	134	133	133	132	132	135	135
T3	4000K Lumens	7,054	14,020	20,812	27,580	34,914	41,342	48,560	56,297	63,203
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	124	130	130	129	130	129	129	131	131
T3R	4000K Lumens	7,280	14,468	21,477	28,461	36,029	42,663	50,111	58,096	65,222
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	128	134	134	134	134	133	133	135	136
T4FT	4000K Lumens	7,098	14,107	20,941	27,751	35,130	41,598	48,860	56,646	63,594
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	125	131	131	130	131	130	130	132	132
T4W	4000K Lumens	7,119	14,148	21,003	27,832	35,233	41,720	49,004	56,812	63,781
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5	B5-U0-G5
	Lumens per Watt	125	131	131	131	131	130	130	132	133
SL2	4000K Lumens	7,101	14,112	20,949	27,761	35,144	41,614	48,879	56,668	63,619
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	125	131	131	130	131	130	130	132	132
SL3	4000K Lumens	7,051	14,013	20,802	27,566	34,897	41,321	48,535	56,269	63,172
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	124	130	130	129	130	129	129	131	131
SL4	4000K Lumens	6,963	13,839	20,543	27,223	34,463	40,808	47,932	55,569	62,386
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	122	128	128	128	128	127	127	130	130
5NQ	4000K Lumens	7,424	14,755	21,903	29,025	36,743	43,508	51,104	59,247	66,515
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	130	137	137	136	137	136	136	138	138
5MQ	4000K Lumens	7,461	14,828	22,012	29,169	36,926	43,725	51,359	59,542	66,846
	BUG Rating	B3-U0-G1	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	131	137	138	137	137	136	136	139	139
5WQ	4000K Lumens	7,445	14,797	21,966	29,108	36,849	43,633	51,250	59,417	66,705
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	131	137	137	137	137	136	136	139	139
SLL/SLR	4000K Lumens	6,132	12,187	18,091	23,973	30,348	35,936	42,210	48,935	54,938
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	108	113	113	113	113	112	112	114	114
RW	4000K Lumens	7,340	14,587	21,653	28,694	36,325	43,013	50,522	58,573	65,757
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	129	135	135	135	135	134	134	137	137
AFL	4000K Lumens	7,183	14,276	21,193	28,084	35,552	42,098	49,448	57,327	64,359
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G4
	Lumens per Watt	126	132	132	132	132	131	131	134	134

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Performance Table, Drive Current "D" (1200mA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	
Nominal Power (Watts)	65	125	184	245	309	368	433	493	552	
Input Current @ 120V	0.546	1.041	1.535	2.082	2.578	3.070	3.619	4.114	4.605	
Input Current @ 208V	0.318	0.610	0.893	1.219	1.504	1.786	2.113	2.397	2.679	
Input Current @ 240V	0.276	0.523	0.758	1.046	1.282	1.516	1.806	2.041	2.274	
Input Current @ 277V	0.241	0.460	0.662	0.920	1.133	1.325	1.593	1.807	1.987	
Input Current @ 347V	0.187	0.370	0.543	0.740	0.915	1.085	1.285	1.459	1.628	
Input Current @ 480V	0.138	0.269	0.391	0.537	0.663	0.782	0.932	1.057	1.173	
Optics										
T2	4000K Lumens	7,872	15,645	23,225	30,777	38,962	46,135	54,189	62,824	70,530
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	121	125	126	126	126	125	125	127	128
T2R	4000K Lumens	7,977	15,854	23,535	31,188	39,482	46,751	54,913	63,663	71,472
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	123	127	128	127	128	127	127	129	129
T3	4000K Lumens	7,762	15,427	22,901	30,348	38,418	45,491	53,433	61,947	69,546
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	119	123	124	124	124	124	123	126	126
T3R	4000K Lumens	8,010	15,920	23,632	31,317	39,645	46,944	55,139	63,925	71,767
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	123	127	128	128	128	128	127	130	130
T4FT	4000K Lumens	7,810	15,522	23,043	30,535	38,655	45,772	53,763	62,330	69,976
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	120	124	125	125	125	124	124	126	127
T4W	4000K Lumens	7,833	15,568	23,110	30,625	38,769	45,907	53,921	62,513	70,182
	BUG Rating	B2-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G5	B4-U0-G5	B5-U0-G5
	Lumens per Watt	121	125	126	125	125	125	125	127	127
SL2	4000K Lumens	7,813	15,528	23,052	30,547	38,670	45,790	53,784	62,354	70,003
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	120	124	125	125	125	124	124	126	127
SL3	4000K Lumens	7,758	15,419	22,889	30,332	38,398	45,468	53,406	61,916	69,511
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	119	123	124	124	124	124	123	126	126
SL4	4000K Lumens	7,662	15,228	22,605	29,955	37,921	44,903	52,742	61,146	68,646
	BUG Rating	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	118	122	123	122	123	122	122	124	124
5NQ	4000K Lumens	8,169	16,235	24,101	31,938	40,431	47,874	56,232	65,193	73,190
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	126	130	131	130	131	130	130	132	133
5MQ	4000K Lumens	8,210	16,316	24,221	32,097	40,632	48,113	56,512	65,517	73,554
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	126	131	132	131	131	131	131	133	133
5WQ	4000K Lumens	8,192	16,282	24,170	32,029	40,546	48,011	56,393	65,379	73,399
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	126	130	131	131	131	130	130	133	133
SLL/SLR	4000K Lumens	6,747	13,410	19,906	26,379	33,394	39,542	46,445	53,846	60,451
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	104	107	108	108	108	107	107	109	110
RW	4000K Lumens	8,076	16,050	23,826	31,574	39,970	47,329	55,592	64,450	72,356
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
	Lumens per Watt	124	128	129	129	129	129	128	131	131
AFL	4000K Lumens	7,904	15,709	23,320	30,902	39,120	46,323	54,410	63,079	70,817
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4
	Lumens per Watt	122	126	127	126	127	126	126	128	128

* Nominal data for 70 CRI. ** For additional performance data, please reference the Galleon Supplemental Performance Guide.

Control Options

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (BPC, PR and PR7)

Optional button-type photocontrol (BPC) and photocontrol receptacles (PR and PR7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PR7 receptacle.

After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (SPB)

These passive infrared (PIR) sensors are factory installed in the luminaire housing. When the SPB sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when no motion is detected. After a period of time, the luminaire turns off, and when motion is detected, the luminaire returns to full light output. The SPB sensor default parameters are listed in the table below, and can be configured utilizing the Sensor Configuration mobile application for iOS and Android devices. The SPB/X is configured to control only the specified number of light squares. An integral photocontrol can be activated with the app for "dusk-to-dawn" control or daylight harvesting - the factory default is off. Three sensor lenses are available to optimize the coverage pattern for mounting heights from 8'-40'. Four sensor colors are available; Bronze, Black, Gray and White, and are automatically selected based on the luminaire finish as indicated by the table below.

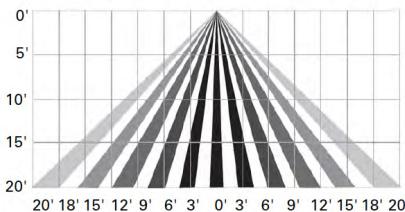
SPB sensor finish matched to luminaire finish		
Luminaire Finish	SPB Sensor Finish	
WH	White	White
BK	Black	Black
GM	Graphite Metallic	Black
BZ	Bronze	Bronze
AP	Gray	Gray
DP	Dark Platinum	Gray

SPB/X Availability Table	
Fixture Square Count	Available SPB/X Square Count
1	Not Available
2	Not Available
3	Not Available
4	2
5	2 or 3
6	3
7	2, 3, 4 or 5
8	2, 3, 5 or 6
9	3 or 6

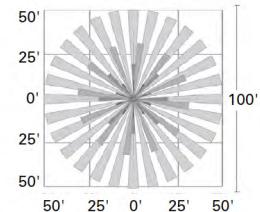
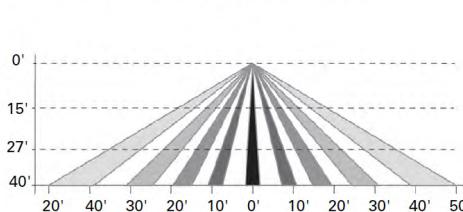
WaveLinx Wireless Control and Monitoring System

Operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. WaveLinx and WaveLinx Lite sensors utilize the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW), while the WOLC control module utilizes a 7-PIN receptacle. ZW option provides 4-PIN receptacle and control module to enable future installation of WaveLinx sensors. ZD option provides 4-PIN receptacle and sensor-ready (SR) driver to enable future installation of WaveLinx sensors, power monitoring, and advanced functionality. WaveLinx (SWPD4 to SWPD5) outdoor wireless sensors offer passive infrared (PIR) occupancy and photocell for closed loop daylight harvesting, and can be factory or field-installed. Sensors are factory preset to dim down to 50% after 15 minutes of no motion detected. Two lens options are available for mounting heights of 7' to 40'. Use the WaveLinx mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets). WaveLinx Lite (WOF and WOB) outdoor wireless sensors provide PIR occupancy and photocell for closed loop daylight harvesting, and can be factory or field-installed. Sensors are factory preset to dim down to 50% after 15 minutes of no motion detected. Two lens options are available for mounting heights of 7' to 40'. Use the WaveLinx Lite mobile application for set-up and configuration. WAC not required. WaveLinx Outdoor Control Module (WOLC-7P-10A) accessory provides a photocontrol enabling astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

For mounting heights up to 15' (SWPD4 and WOB)



For mounting heights up to 40' (SWPD5 and WOF)



LumenSafe Integrated Network Security Camera (LD)

Cooper Lighting Solutions brings ease of camera deployment to a whole new level. No additional wiring is needed beyond providing line power to the luminaire. A variety of networking options allows security integrators to design the optimal solution for active surveillance. As the ideal solution to meet the needs for active surveillance, the LumenSafe integrated network camera is a streamlined, outdoor-ready fixed dome that provides HDTV 1080p video. This IP camera is optimally designed for deployment in the video management system or security software platform of choice.

Synapse (DIM10)

SimplySNAP integrated wireless controls system by Synapse. Includes factory installed DIM10 Synapse control module and MS/DC motion sensor; requires additional Synapse system components for operation. Contact Synapse at www.synapsewireless.com for product support, warranty and terms and conditions.

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

REZONING/GENERAL PLAN

FINAL DEVELOPMENT PLAN

RECORD PLAN

VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

Owner
 Agent
 Lessee
 Signed Purchase Contract

APPLICANT NAME:

M/I Homes of Cincinnati, LLC

Address

9349 Waterstone Blvd. Suite 100

Cincinnati, OH 45249

Telephone No.

(513) 833-2206

Fax No.

() N/A

Email Address

jlanham@mihomes.com

PROPERTY OWNER NAME (IF OTHER): Peter S. Morris, Successor Trustee

Address: 1525 S. Main Street

Springboro, OH 45066

Telephone No. (407) 786-5125

Property Address or General Location: 1525 S. Main Street Springboro, OH 45066

Parcel Number(s): 08182000131 & 08182000132

Acreage: 35.62

PUD Category: Residential Retail Office Manufacturing Mixed Use

If Mixed Use, Acreage in Each Category: N/A

For Residential Proposed Density 2.11 Number of Residential Units 75 + existing house

Proposed Use: 75 for sale new homes with a typical lot size of 62'x135'

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.



(Signature of Applicant and/or Agent)

2/21/24

(Date)

Justin Lanham

Printed Name

Authorization to Submit FDP for the Morris Property

Please allow this letter to authorize M/I Homes and its agents to submit a Final Development Plan for the Property identified below.



Peter S Morris , Trustee

February 6, 2024

Peter S. Morris

Date

February 23, 2024

Daniel J. Boron, AICP
Planner, City of Springboro
320 West Central Avenue
Springboro, Ohio 45066

Subject: Northampton – Final Development Plan
Enclosed: Proposed Seating Shelter Style (1 Page)
Proposed House Elevations and Floorplans (10 Pages)

Dear Mr. Boron,

M/I Homes is pleased to provide an Application for a Final Development Plan for Northampton located at 1525 S Main Street Springboro, OH 45066. The plan is consistent with the approved General Plan and includes:

1. Seventy-five (75) single-family detached homes as shown in the enclosed renderings. Home plans will comply with Section 1264.06, Design Standards for Single-Family Detached Dwellings, of Planning and Zoning Code. Vinyl siding is not permitted.
2. Typical lot size is 62' wide, 8,370sf and average lot size is 9,000sf. Lots are fee simple. Front and rear setbacks are 25' each, and side setback is 5' on each side measured from roof overhang.
3. All streets are public in a 50' right-of way including 29' back-to-back of curb and 5' sidewalk on both sides of the internal streets except where the 10' multi-use trail is provided.
4. The project will be built in 2 phases with phase 1 including both entrances onto S. Main Street and a total of 41 lots including all necessary improvements. Phase 1 is expected to be completed in 2024 and phase 2 in 2025 or 2026. Site clearing and demo of existing structures may occur with phase 1 or be separated into phases accordingly.
5. Improvements along S. Main Street shall be included in phase 1 and include dedication of right-of-way, a 200' turn lane extension, and 5' sidewalk along the property frontage.
6. The existing home will be preserved and platted on a 2-acre lot. All other structures, with the possible exception of the garage to the southwest of the house, will be removed. M/I plans to work with interested parties to market and sell the home as is.

7. HOA owned and maintained open space totals 12.92 acres which is 36.3% of the gross acreage. Typical HOA Conditions, Covenants, and Restrictions have been provided and shall govern the maintenance and operation of all open space, retention basins, structures in open space, signage, and central mailboxes.
8. Given the size of the property (35.62 acres) and required planting of 1 tree per 3,000sf, a total of 517 trees are required. A tree survey was completed for the property identifying 237 existing trees (to remain) of varying diameters which provide a credit of 482 trees. We are proposing to plant 189 trees within open space and front yards for a total of 671 trees.
9. The public 10' multi-use trail shall extend from S. Main Street through the property. M/I will include public access language on the record plat.
10. The retention basin proposed at the entry will include a fountain, retaining wall, and extensive landscape plantings. The wall will be on the west side of the pond and will include 6' tall "Northhampton" lettering and act as entry signage. The northwest retention basin shall include a fountain. The existing pond shall be preserved and will not have a fountain.
11. The residence to the north is buffered with mounding and evergreen trees. When mounding is not appropriate, grading and storm drain facilities are proposed to capture and control runoff allowing water to leave the site within existing drainage features.
12. A rendering of the proposed style of the seating shelter is enclosed. Central mailboxes have been proposed to serve all residents including the existing house.

We appreciate your review and comment on the proposed Final Development Plan. Should you have any questions, please contact me.

Respectfully,



Justin Lanham

M/I Homes of Cincinnati, LLC
(513) 551-3954
jlanham@mihomes.com



Cincinnati Division
9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249
513.248.5400 **OFFICE**

Proposed Seating Shelter Style



Faulkner



Elevation B - Shown w/ Opt coach lights, black windows & Brick Wainscot



Elevation A - Shown w/ Opt coach lights & Brick Wainscot



Elevation C - Shown w/ Opt coach lights & Brick Wainscot

Square Feet: 1,544
Bedrooms: 2-3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1

Note: Other elevation materials available and may be required by community. See MIHomes.com for more elevations.

M/I HOMES
Welcome to Better



Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details and designs without notice. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Printed 4-20



NORTHAMPTON



M/I HOMES

Cooper



Elevation C - Shown w/ Opt coach lights & Stone Wainscot



Elevation A - Shown w/ Opt coach lights & Brick Wainscot



Elevation B - Shown w/ Opt coach lights & Brick Wainscot

1,776
3
2

Half Baths: 0
Garages: 2
Stories: 1

*Note: Other elevation materials available and may be required by community. See MILITARYHOME.COM for more information.



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NORTHAMPTON



M/I HOMES

Melville



Elevation B - Shown w/ Opt Coach Lights & Brick Wainscot



Elevation A - Shown w/ Opt Coach Lights & Brick Wainscot



Elevation C - Shown w/ Opt. Coach Lights & Brick Wainscot

Square Feet: 1,865
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 2
Stories: 1



*Note: Other elevation materials available and may be required by community; see Mihomes.com for more elevations.



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NORTHAMPTON



M/I HOMES

Serenity



Elevation B - Shown w/ Opt Full Brick Front



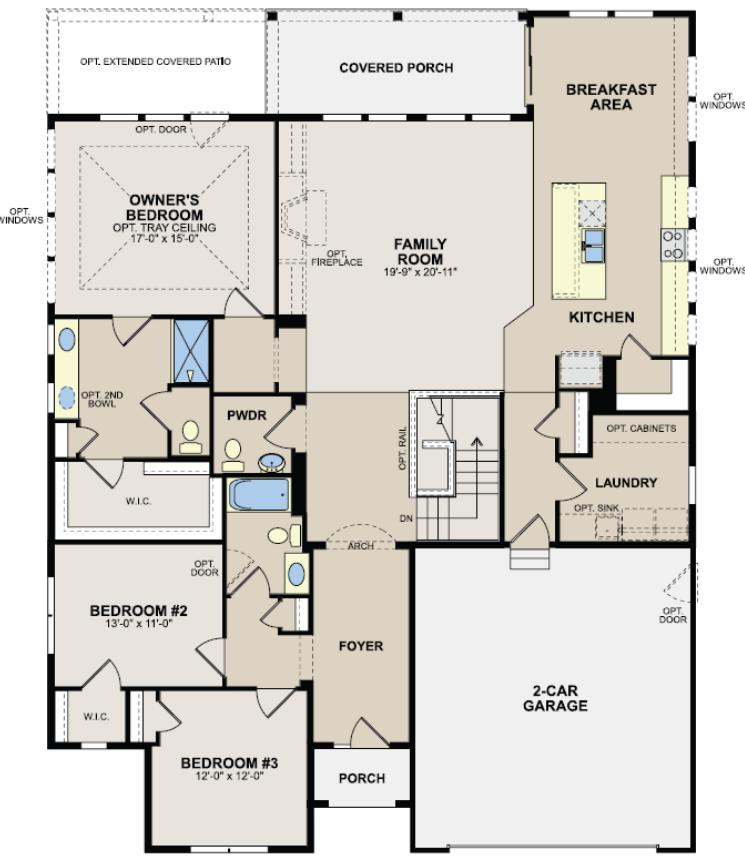
Elevation C - Shown w/ Opt Stone



Elevation E

Square Feet: 2,330
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 1



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NORTHAMPTON


M/I HOMES

Dawson



Elevation A



Elevation D - Shown w/Opt Stone

Square Feet: 2,461
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON



M/I HOMES

Inglewood



Elevation E - Shown w/ Opt Coach Lights



Elevation B - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 2,558
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

M/I HOMES
Welcome to Better



FIRST FLOOR



SECOND FLOOR

Because we are constantly improving our products, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details and designs without notice. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Printed 4/18.



NORTHAMPTON



M/I HOMES

Cooke



Elevation C—Shown w/ Opt Stone and Bonus Room



Elevation A



Elevation B



Elevation E

Square Feet: 2,624
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

M I HOMES
Welcome to Better



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NORTHAMPTON



M I HOMES

Dillon



Elevation A



Elevation B

Square Feet: 2,913
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

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NORTHAMPTON



Barrett



Elevation B - Shown w/ Opt Coach Lights



Elevation A - Shown w/ Opt Coach Lights



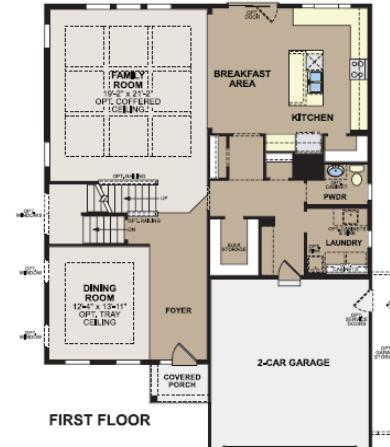
Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 3,035
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



FIRST FLOOR



SECOND FLOOR

Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details and designs without notice. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Printed 12-17



NORTHAMPTON



M/I HOMES

Fairview



Elevation E - Shown w/ Opt Coach Lights



Elevation A - Shown w/ Opt Coach Lights



Elevation B - Shown w/ Opt Coach Lights



Elevation C - Shown w/ Opt Coach Lights



Elevation D - Shown w/ Opt Coach Lights

Square Feet: 3,313
Bedrooms: 4
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2

M/I HOMES
Welcome to Better



FIRST FLOOR



SECOND FLOOR

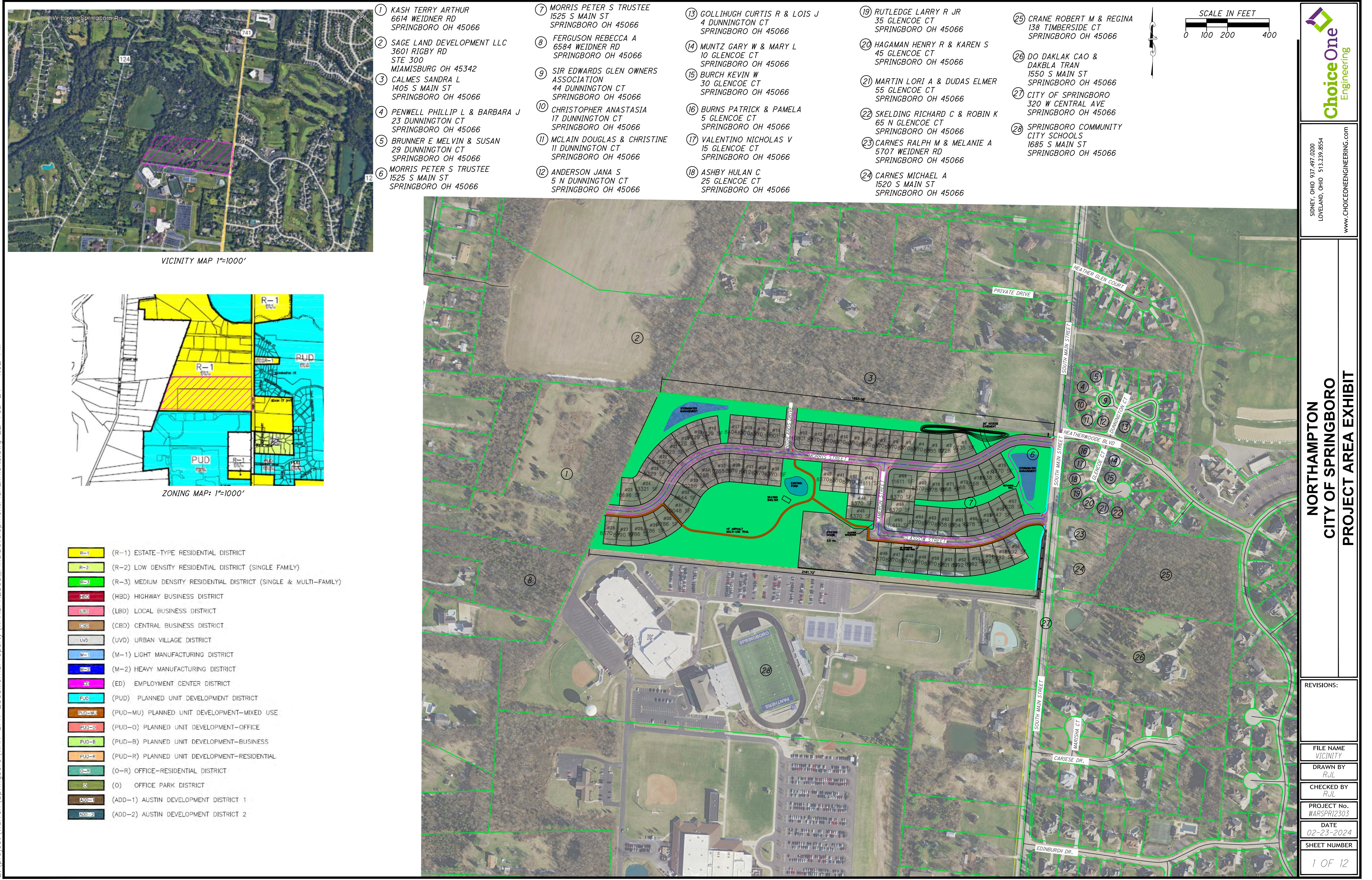
Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details, and designs without notice. In addition, options shown may not be available in all communities. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Please see a New Home Consultant for details. Printed By:2.

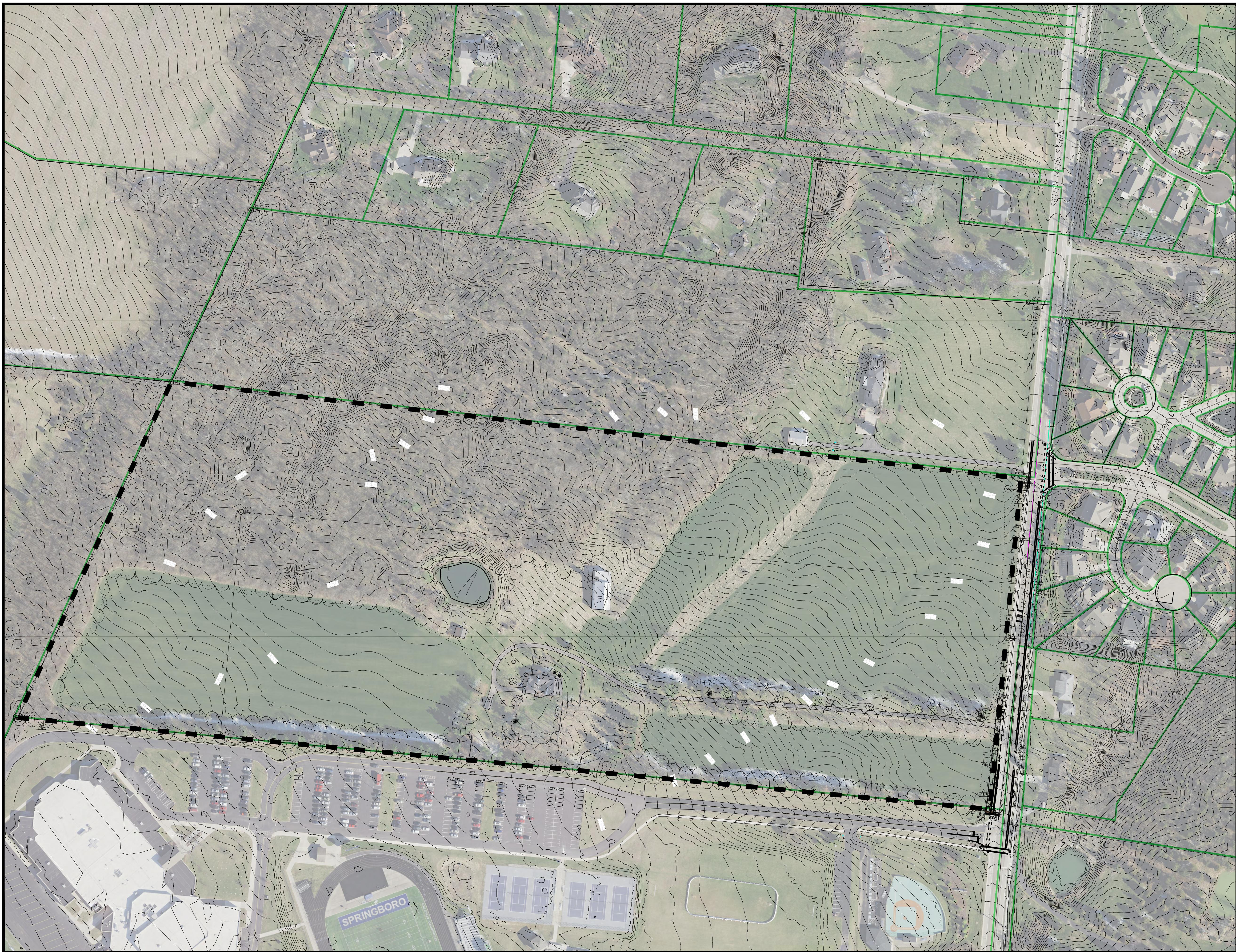


NORTHAMPTON



M/I HOMES





SCALE IN FEET
0 50 100 200

■ ■ PROPERTY LIMITS

REVISIONS:

FILE NAME
Ex GRADING

DRAWN BY
RJL

CHECKED BY
RJL

PROJECT No.
WARSPP12303

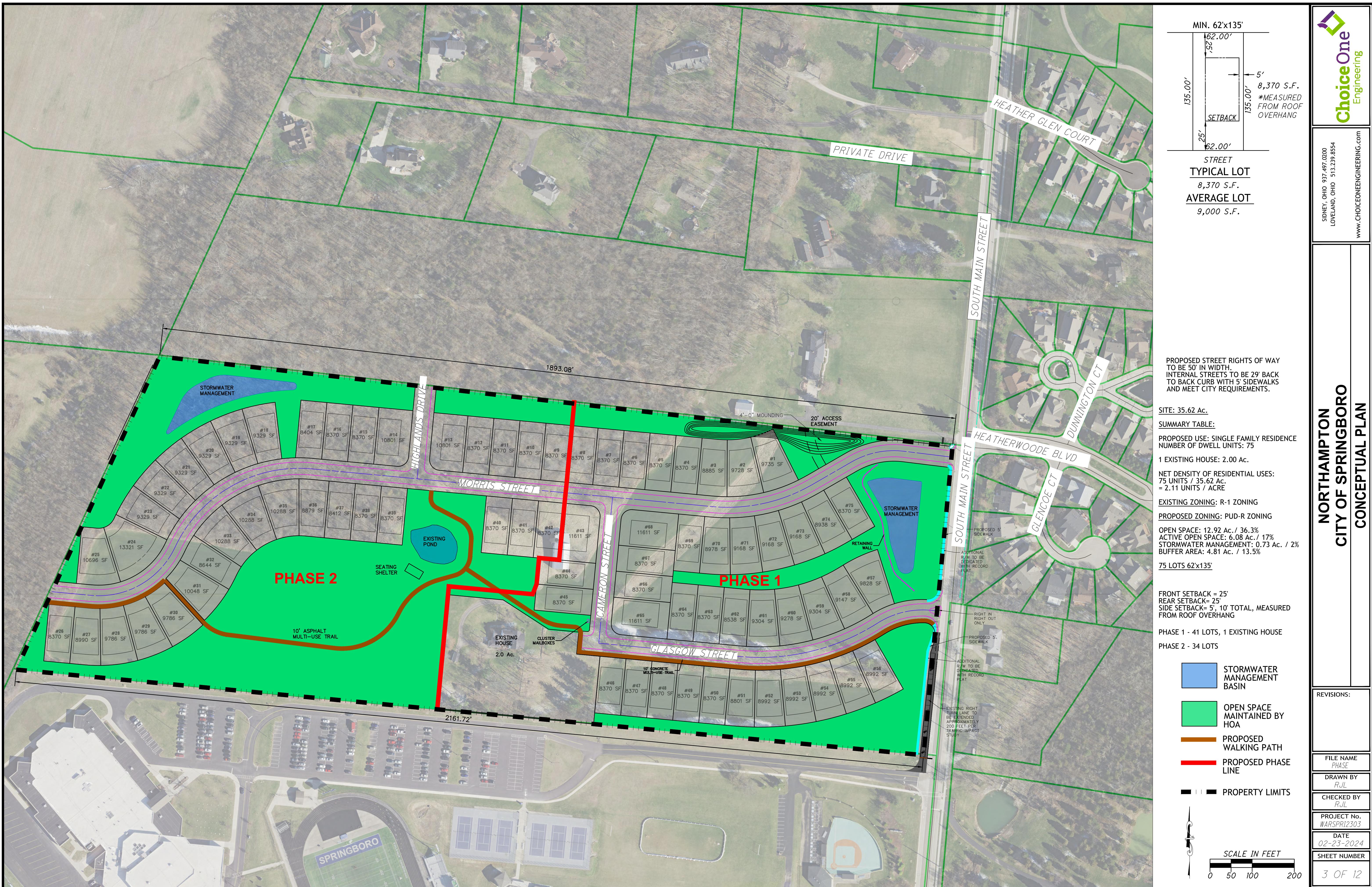
DATE
02-23-2024

SHEET NUMBER
2 OF 12

SIDNEY, OHIO 937.497.0200
LOWELL, OHIO 513.23 8554
www.CHOICEONEENGINEERING.com

ChoiceOne
Engineering

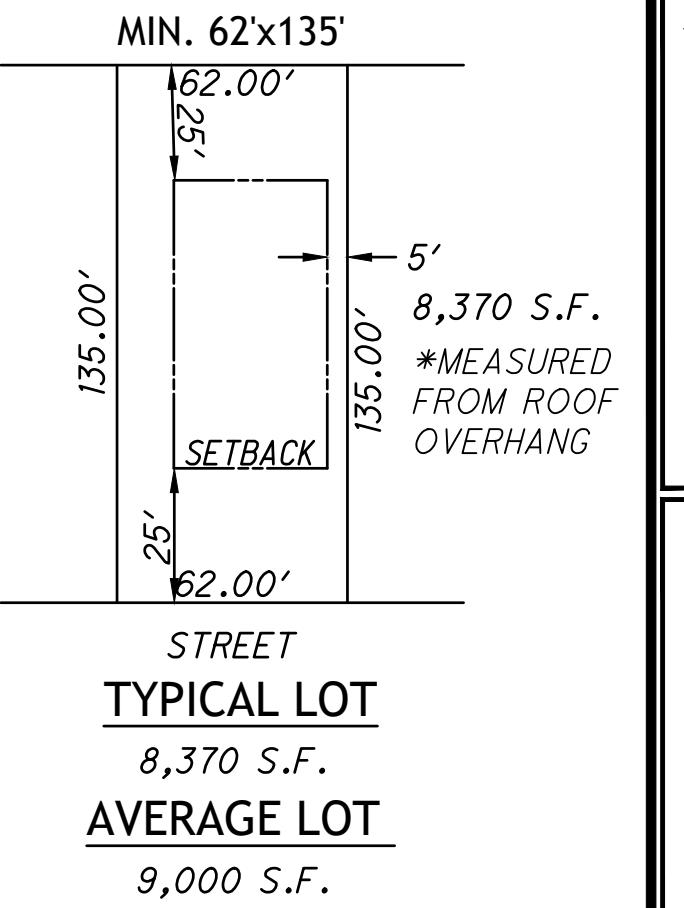
**NORTHAMPTON
CITY OF SPRINGBORO
EXISTING CONDITIONS**







**NORTHAMPTON
CITY OF SPRINGBORO
LOT DIMENSIONING PLAN**

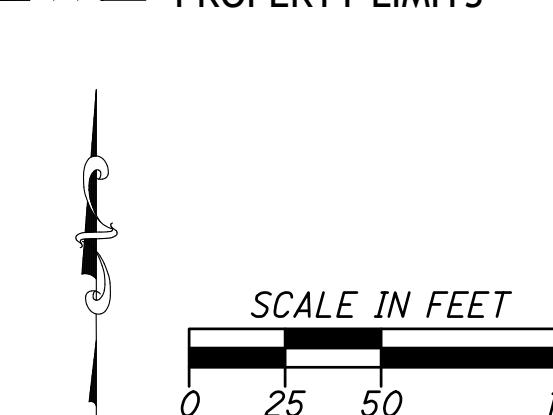
 SIDNEY, OHIO 937.497.2000
LOVELAND, OHIO 513.239.8554
www.CHOICEONEENGINEERING.com

 PROPOSED STREET RIGHTS OF WAY
TO BE 50' IN WIDTH.
INTERNAL STREETS TO BE 29' BACK
TO BACK CURB WITH 5' SIDEWALKS
AND MEET CITY REQUIREMENTS.

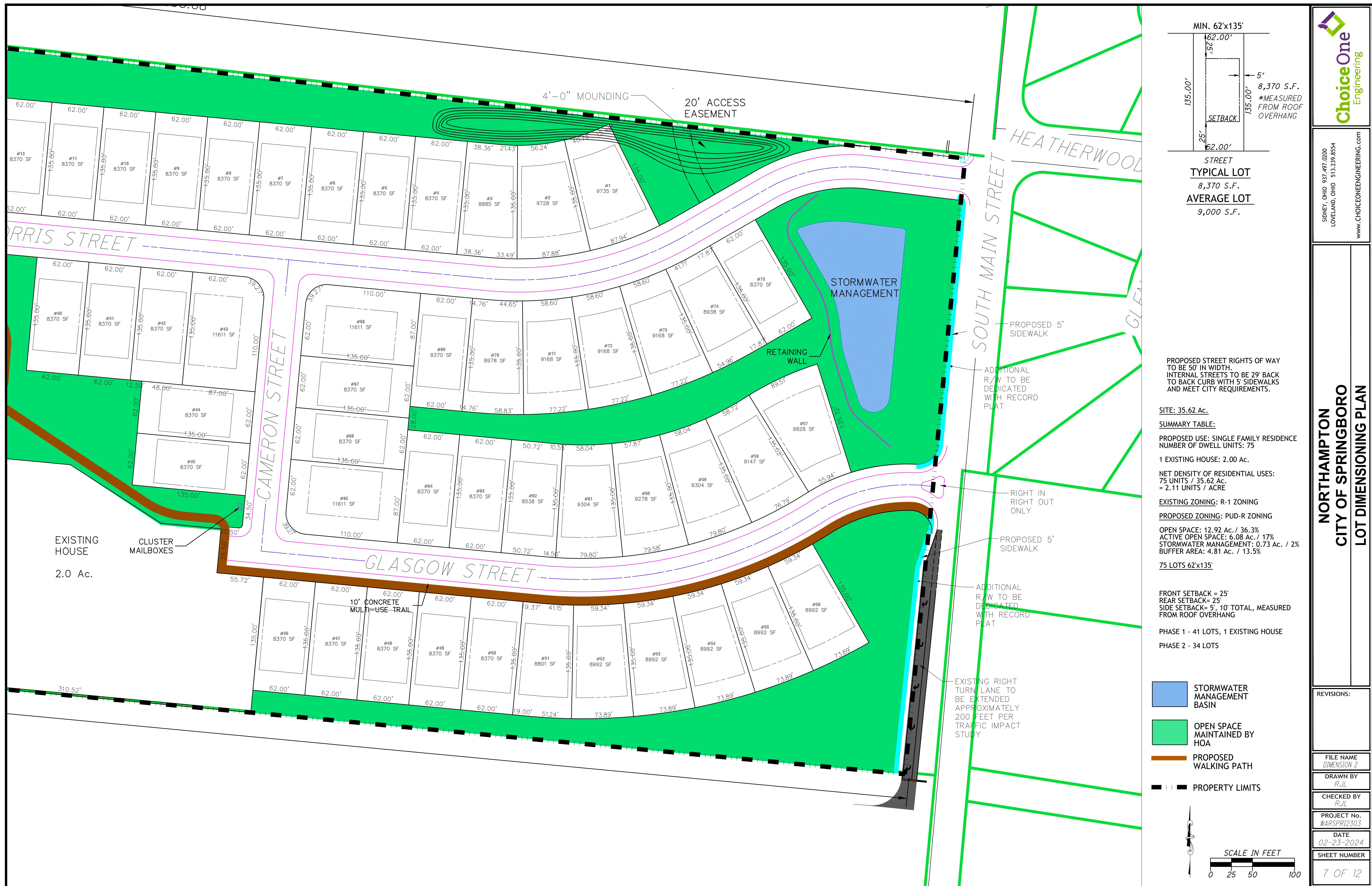
 SITE: 35.62 Ac.
SUMMARY TABLE:
PROPOSED USE: SINGLE FAMILY RESIDENCE
NUMBER OF DWELL UNITS: 75
1 EXISTING HOUSE: 2.00 Ac.
NET DENSITY OF RESIDENTIAL USES:
75 UNITS / 35.62 Ac.
= 2.11 UNITS / ACRE
EXISTING ZONING: R-1 ZONING
PROPOSED ZONING: PUD-R ZONING
OPEN SPACE: 12.92 Ac. / 36.3%
ACTIVE OPEN SPACE: 6.08 Ac. / 17%
STORMWATER MANAGEMENT: 0.73 Ac. / 2%
BUFFER AREA: 4.81 Ac. / 13.5%
75 LOTS 62x135'

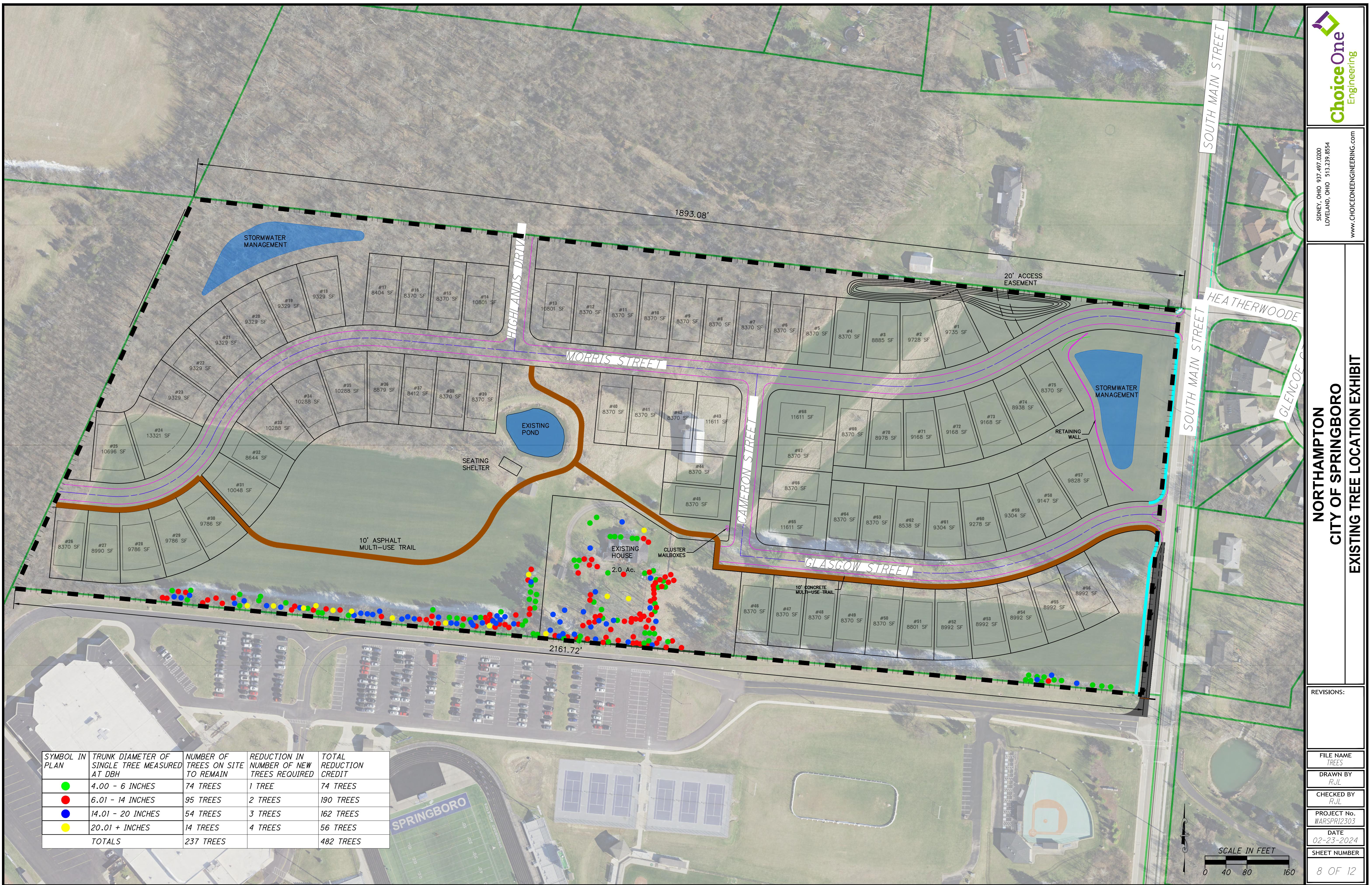
 FRONT SETBACK = 25'
REAR SETBACK = 25'
SIDE SETBACK = 5', 10' TOTAL, MEASURED
FROM ROOF OVERHANG

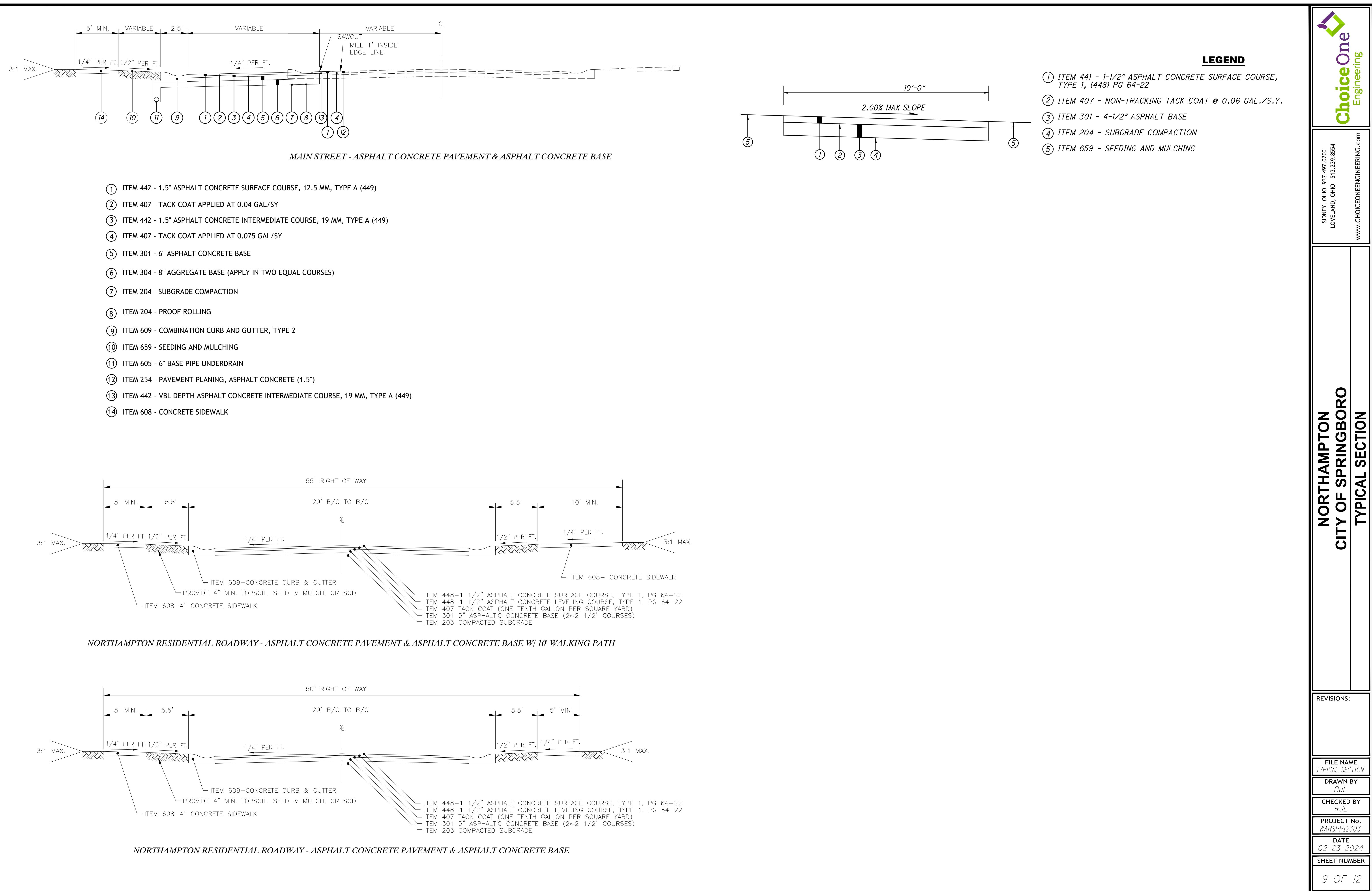
 PHASE 1 - 41 LOTS, 1 EXISTING HOUSE
PHASE 2 - 34 LOTS

- STORMWATER MANAGEMENT BASIN
- OPEN SPACE MAINTAINED BY HOA
- PROPOSED WALKING PATH
- PROPERTY LIMITS

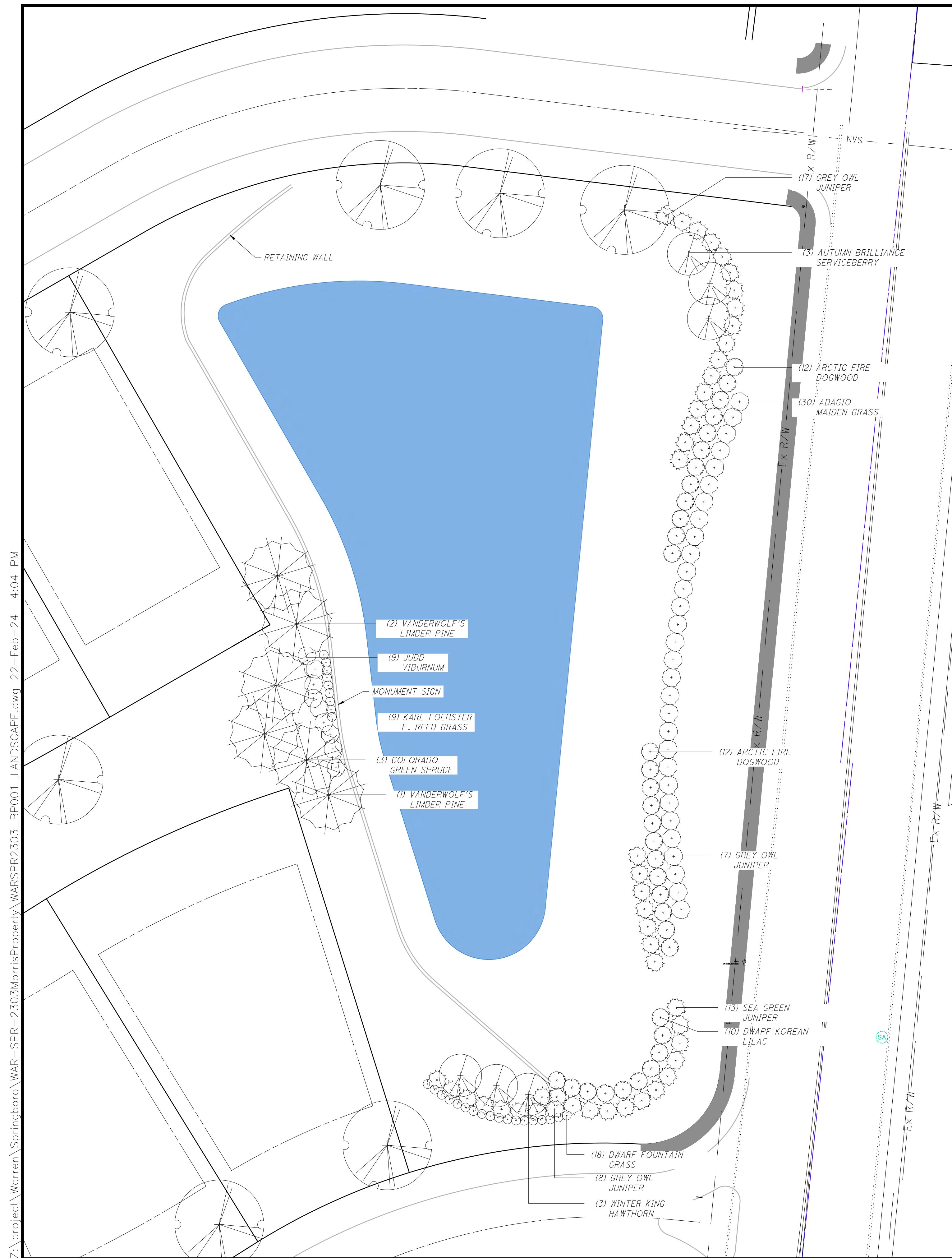






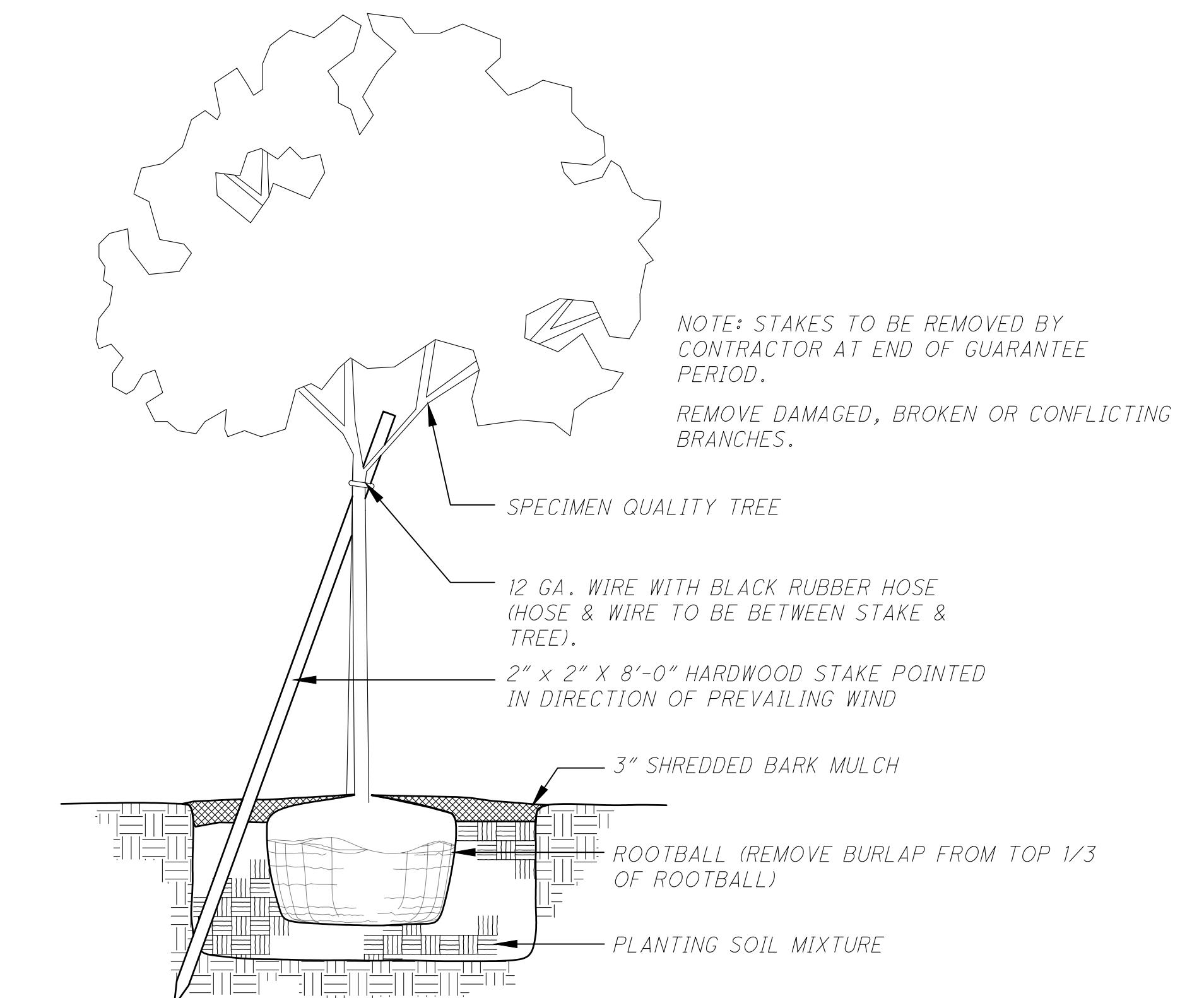




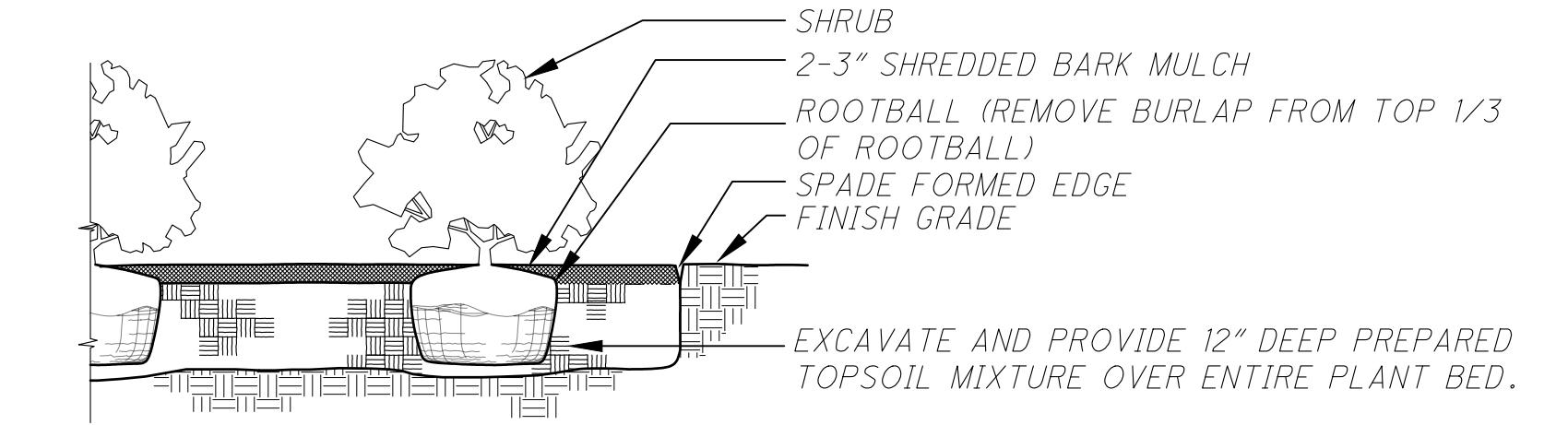


PLANTING SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES				
3	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER 'AUTUMN BRILLIANCE'	2" CAL.	B&B
3	WINTER KING HAWTHORN	CRATAEGUS V. 'WINTER KING'	2" CAL.	B&B
3	COLORADO GREEN SPRUCE	PICEA PUNGENS	7' HGT.	B&B
3	VANDERWOLF'S LIMBER PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	7' HGT.	B&B
SHRUBS				
24	ARCTIC FIRE DOGWOOD	CORNUS S. 'ARCTIC FIRE'	24" SPR.	NO. 5 CONT.
32	GREY OWL JUNIPER	JUNIPER V. 'GREY OWL'	18" SPR.	NO. 3 CONT.
30	ADAGIO MAIDEN GRASS	MISCANTHUS S. 'ADAGIO'	CLUMP	NO. 3 CONT.
13	SEA GREEN JUNIPER	JUNIPERUS CH. 'SEA GREEN'	24" SPR.	B&B
9	JUDD VIBURNUM	VIBURNUM JUDDI	24" SPR.	B&B
9	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS A. 'KARL FOERSTER'	CLUMP	NO. 2 CONT.



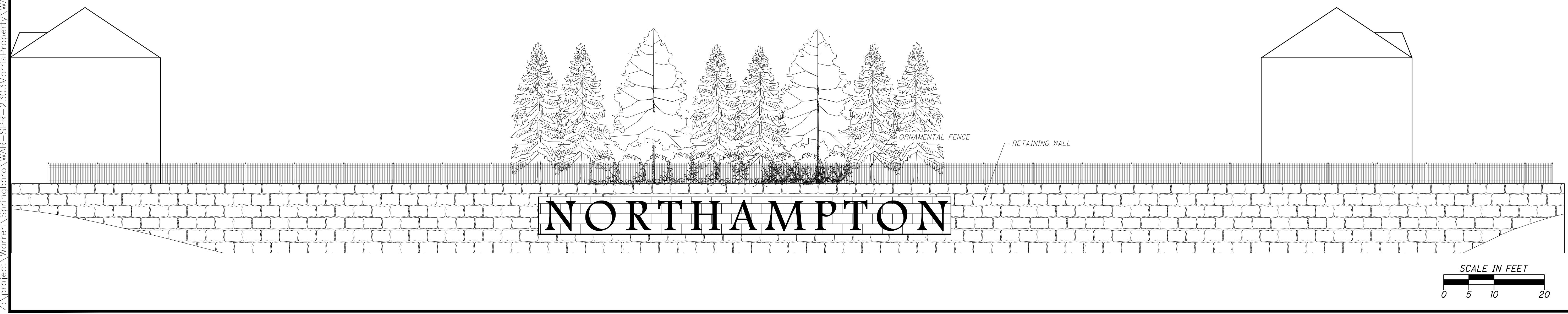
TREE PLANTING DETAILS



SHRUB PLANTING DETAILS

A scale bar for 40 feet. It features a horizontal line with tick marks at 0, 10, 20, and 40. The first 10 feet are shaded black, and the remaining 30 feet are white. The text "SCALE IN FEET" is written above the scale.

REVISIONS:	
FILE NAME	
<i>ENTRY</i>	
DRAWN BY	
<i>RJL</i>	
CHECKED BY	
<i>RJL</i>	
PROJECT No.	
<i>WARS PRI 2303</i>	
DATE	
<i>02-23-2024</i>	
SHEET NUMBER	
<i>11 OF 12</i>	



Memo

To: Members, Springboro Planning Commission; Chris Pozzuto, City Manager; Jerry McDonald, City Attorney; Elmer Dudas, Development Director; Chad Dixon, City Engineer; September Bee, Planning Commission Secretary

From: Dan Boron, Planner

Date: March 6, 2024

Re: Amendment to Codified Ordinances, Prohibiting Vape Stores in Springboro

In September 2023 Springboro City Council enacted a moratorium on the acceptance of permits for vape stores in the City for a nine-month period. This allowed City staff time to evaluate the use in light of current regulations in the Codified Ordinances, including the Planning and Zoning Code, and evolving state law. At this time City staff recommends that the Planning and Zoning Code be amended to prohibit vaping establishments throughout the City.

Members of City staff—Law Director Jerry McDonald, Police Sergeant Eric Kuhlman, Zoning Inspector Dan Fitzpatrick, and I—met several times to evaluate the current regulation of vape stores in the City, discuss issues associated with their operation, and identify options to regulate them moving forward in light of the moratorium goals, and the protection of the health, safety, and welfare of the community.

City staff looked into and discussed health, social, and regulatory concerns. It was noted that there are serious concerns among health officials about the risks associated with vaping, especially among young people. Staff noted a rising trend of vaping among adolescents, leading to potential nicotine addiction and other health issues. Sergeant Kuhlman brought forth several incidents involving vaping at the schools and among underage students within the City. Law Director McDonald advised of the difficulty in regulating the industry and enforcing age restrictions on the sale of vaping products. Actions taken by other communities were reviewed and discussed.

Among the options considered were establishing a licensing program for vape sales, banning vape sales throughout the community, permitting vape sales in only a portion of the community, and an outright ban on vape stores. The last option was recommended to the City Manager for further consideration by the Planning Commission and City Council and is presented here. This option was chosen because the nuisance presented by the very existence of vape stores is at the center of the problem, not their specific location. This ruled out the licensing and permitting vape stores in one (or more) zoning district options. As for the outright ban option, it is unclear if this is currently permitted under state law.

To accomplish this, City staff recommends creating a “vaping store” definition tied to state law in Chapter 1290, Definitions, and adding this use to the list of prohibited uses in Section 1263.02, Prohibited Uses and Uses Not Expressly Permitted. Currently vaping stores are permitted in all business zoning districts—CBD, Central Business District, HBD, Highway Business District, LBD, Local Business District, and UVD, Urban Village District, as well as Planned Unit Development that allow businesses—in the City as retail sales (indoor). Of the three existing vape stores in the community, one is located in the HBD, and two are located in the LBD.

The following is recommended at this time.

1. Add vape store to Section 1290.02, Definitions from Title 6 (Zoning), Definitions:

Vape store, "Vape store" means any store that has a significant or substantial portion of its stock-in-trade, or derives a significant or substantial portion of its revenue, or devotes a significant portion of its interior business or advertising to the sale, for any form of consideration of, any device that can be used to deliver aerosolized or vaporized nicotine or any other substance to the person inhaling from the device including an electronic cigarette, electronic cigar, electronic hookah, vaping pen, electronic pipe or similar device and includes any component, part, or accessory of such a device, whether or not sold separately, and includes any substance intended to be aerosolized or vaporized during the use of the device but excludes any product that is a drug, device, or combination product, as those terms are defined or described in 21 U.S.C. 321 and 353(g).

2. Add vape stores to the list of prohibited uses in Section 1263.02, Prohibited Uses and Uses Not Expressly Permitted.

Impact on Existing Vape Stores, Vape Sales in Other Businesses

The three existing vape stores operating in the City may continue as nonconforming uses regulated in Chapter 1286, Nonconformities. All three will be subject to all present laws of the City of Springboro. Vape sales may continue in retail sales locations not included in the proposed vape store definition herein, establishments such as convenience and grocery stores. An outright ban may be contrary to state law now or at a future date.

Additional actions

Among the issues identified in the course of City staff's review of the regulation of vape stores was the manner in which both internal and external lighting, and the lighting of both internal and external signs present a nuisance to the areas immediately surrounding this use. City staff will continue to review current design and development standards for lighting and signage, and will also examine the exterior lighting code, Chapter 1273, and sign code, Chapter 1281, to identify revisions that are needed to mitigate these nuisance impacts.

Following Planning Commission preliminary review, these recommendations will be formulated into an Ordinance for formal recommendation for City Council action, following a public hearing.

If you have any questions regarding this proposed amendment, please feel free to reach out to me at (937) 748-6183 or danb@cityofspringboro.com.

**City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, February 14, 2024**

I. Call to Order

Chair Becky Iverson called the Wednesday, February 14, 2024 Springboro Planning Commission Meeting to order at 6:00 p.m. at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Chris Pearson, Vice Chair, Robert Dimmitt, Steve Harding, Matt Leedy, and John Sillies.

Staff Present: Dan Boron, City Planner; Elmer Dudas, Development Director, Chad Dixon, City Engineer; and September Bee, Planning Commission Secretary.

Mr. Harding motioned to excuse Mr. Thompson. Mr. Pearson seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (6-0)

II. Approval of Minutes

January 10, 2024 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Harding motioned to approve the January 10, 2024 Planning Commission minutes. Mr. Sillies seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes; (6 -0)

III. Agenda Items

A. Final Approval

General Plan, 6821 Red Lion-Five Points Road, Bailey Farms PUD-R, Planned Unit Development-Residential, single-family residential subdivision

Background Information

This is an application filed by M/I Homes of Cincinnati, LLC, seeking general plan approval for the development of a single-family, residential subdivision under the terms of the City's Planned Unit Development (PUD) provisions, Chapter 1266 of the Planning and Zoning Code. The subject property is approximately 79.9 acres in area and is located southeast of the corner of West Lower Springboro Road and Red Lion-Five Points Road. The subject property does not include a 1.47-acre residential lot located immediately adjacent to that corner. A total of 130 single-family detached residential units are proposed in the PUD-R, Planned Unit Development-Residential.

This item was reviewed on a preliminary basis at the December 13 and January 10 Planning Commission meetings. The January 10 review was to discuss the prohibition on vinyl siding which was accepted by the

Planning Commission. The plan and City staff comments have been updated to address that discussion, but others remain and/or have been added.

The subject property was annexed into the City from Clearcreek Township in 2006 and accepted by City Council in January 2007, and was subject to an intergovernmental agreement between the City and Clearcreek Township that included statements (1) restricting development to single-family residential development, (2) with a street pattern approved by the Springboro Planning Commission, (3) allowing no more than 130 lots in the buildable portion of the property, and (4) the installation of a buffer along the Red Lion-Five Points Road portion of the property.

Rezoning to incorporate the agreement was the responsibility of the City. Rezoning to PUD-R was accomplished through Ordinance O-07-15 approved by City Council on May 17, 2007 and effective June 16, 2007. The Planning Commission recommended approval of the rezoning at its February 28, 2007 meeting. The PUD-R was consistent with the Springboro Comprehensive Land Use Plan of 1998, the land use and development guidance at the time. The property owners, the Bailey family, elected to continue to use the property as a farm and home.

Rezoning is one-half of the first step of the three-step PUD approval process, the other half being general plan review and approval that is the subject of this agenda item. At the time, general plan and rezoning reviews and approval could take place separately. General plan review requires review of both Planning Commission and City Council, the latter in the form of a resolution.

Following general plan review, the second stage of the PUD review and approval process, final development plan, may proceed. For a development of this size, it is anticipated that a number of final development plans may be submitted for review and approval so that development may proceed in an incremental manner or in sections. For example, Settlers Walk includes 10 neighborhoods and 44 sections with 1,300 residential dwelling units. The final step in the PUD approval process is record plan approval coinciding with the creation of lots, and the dedication of right-of-way and open space. Record plans are reviewed and approved by the Planning Commission and City Council.

The proposed general plan submitted for review includes 130 single-family residential lots. A total of 66 6,760-square foot lots (52 feet wide and 130 feet deep) and 64 8,060-square foot (62 feet wide and 130 feet deep) are proposed. Setbacks and other details are included in the general plan.

Primary access to the site is from Red Lion-Five Point Road midway between West Lower Springboro Road and the intersection of Red Lion-Five Points Road and Springboro Road to the south. Secondary access is provided through an extension of Cambridge Drive and the Creekside subdivision to the west. While the subject property has frontage on West Lower Springboro Road, no access is proposed. The dedication of right-of-way is needed to accommodate the development both from the City (West Lower Springboro Road) and Clearcreek Township (Red Lion-Five Point Road). The eastern edge of the subject property coincides with the City corporation line. Fairway Drive to the west will be extended into the site with a cul-de-sac and terminated with no lots.

A multiuse trail is proposed for public use along Red Lion-Five Points Road, extending through the development to West Lower Springboro Road. This trail will eventually connect with a similar trail to the south in the Clearcreek Reserve West subdivision. The bike lane on West Lower Springboro Road will be extended to the east corporation boundary concurrent to development of the Bailey Farm. Additional private trails are proposed within the development. All streets will incorporate sidewalks as provided by City code.

The proposed general plan includes 45.36 acres of open space, or 55% of the subject property land area. This includes a proposal for a common area including a playground and trails around an existing pond. A significant portion of this area is defined as the floodway (20 acres) and floodplain (24 acres) of Clear Creek.

Following the discussion at the January 10 meeting, the Planning Commission authorized this agenda item to be placed on a future agenda for formal action in the form of a recommendation to City Council.

Adjacent land uses include to the west the Creekside residential subdivision, on the north side of Lower Springboro Road a residential lot and beyond the Fieldstone residential subdivision. To the east in Clearcreek Township, residential lots on the north side of Lower Springboro Road and continuing to the east side of the property on the east side of Red Lion-Five Points Road in Clearcreek Township. The south side of the property coincides with the open space portion of the Clearcreek Reserve East residential subdivision in Springboro.

Adjacent zoning in the Springboro portion of the vicinity includes R-2, Low-Density Residential District, in the Creekside, Fieldstone, and Clearcreek Reserve East subdivisions, and R-1 for remaining lands in the vicinity in the City. For the Clearcreek Township vicinity, R-1, Rural Residence Zone to the north and northeast, and to the east SR-1, Suburban Residence Zone, and OSR-1, Open Space Rural Residence Zone.

Staff Recommendations

City staff recommends approval of the general plan for the Bailey Farms PUD-R, Planned Unit Development-Residential, located at 6821 Red Lion-Five Points Road, contingent on the following comments:

1. Setbacks are measured at the overhang.
2. Roadway improvements along Lower Springboro Road to include: dedicate 40 feet half right of way, widen the road to 18 feet from center line of road to south, add curb & gutter, storm sewer, sidewalk/bike lane.
3. Provide relief sewer and remove the existing lift station in the Villages of Creekside. Provide water main stub into the golf course along the proposed cul-de-sac at the east end of Bailey Lane. Water main shall be looped with Villages of Creekside and The Fairways subdivisions. Details to be worked out on construction drawings.
4. No development is to occur in the floodway and or floodplain, without prior permit approval by the City Engineer.
5. Provide locations of detention/retention storm water facilities.
6. Roadway and utility improvements shall be per city specifications.
7. Revise General Plan drawings to have standard engineering scale type on each sheet, i.e. 1"=20', 30', 40', 50', 60', 100', 200'. Print sheets to scale.
8. Details regarding the improvements along Red-Lion Five Points Road to meet requirements of Warren County/Clearcreek Township and meet the requirements of the previous annexation of the property, specifically: When the subject property is proposed to be developed, the owner will, as part of its Record Plat establish a fifty foot (50') wide buffer strip along the west side of Red Lion-Five Points Road, to be owned and maintained by the homeowners' association for the subdivision. With the filing of such record plat, the owner shall also guarantee the construction of an attractively-contoured seven foot (7') high, minimum, landscaped mound within the buffer strip, with side slopes not to exceed a grade of 3:1. The minimum height of the mound shall be measured from the existing grade of the adjoining pavement on Red Lion-Five Points Road. The buffer strip may be reduced in width to no less than 40' where the side of the mound away from Red Lion-Five Points Road is terminated into a decorative stone retaining wall. The retaining wall need not follow the lot line provided that it is entirely within the buffer strip. In such event, the adjacent building lot may extend to that retaining wall. Included in the landscaping of the buffer strip shall be trees of appropriate species. Evergreen trees shall be at least 5' tall and deciduous trees shall be at least 1-1/2" caliper at the time of planting. Provide cross section of buffer and paved trail, along Red Lion Five Points Road, to confirm that 50' green space buffer is wide enough to meet requirements stated above. If not, revise accordingly.
9. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
10. Details for proposed common areas to be provided during final development plan, stage 2 of PUD approval process.

11. Only 19 lots are permitted to be platted prior to the second entrance.
12. Post lights shall be located on each lot, controlled by a photoelectric cell, and shall be operable at all times.
13. Construction traffic access to be limited to Red Lion-Five Points Road entrance to subdivision.
14. Clearcreek Fire District has no comments at this time.

Discussion:

Mr. Brent Wilkins of M/I Homes Cincinnati, LLC, 9349 Waterstone Boulevard, Cincinnati, was present at the meeting to answer questions from the Planning Commission members, staff and guests.

Ms. Iverson stated this item had been on the agenda previously for preliminary review and is now on the agenda for final approval by Planning Commission members. She asked Mr. Boron to summarize the project and its current status.

Mr. Boron said that item has been on the agenda for both the December 13 and January 10 meetings and is now before the Planning Commission for final approval of the general plan. At the time of rezoning in 2007, the annexation agreement established the number of units permitted on the site to be 130 units. The re-zoning for this site has already been approved by the Planning Commission, PUD-R, Planned Unit Development-Residential, and will be before City Council for formal approval at the March 7 City Council meeting. The next step in the approval process is to review the general plan submitted by M/I Homes for Final Approval. This plan shows the layout of the development, street connections and internal street pattern, the dedication of the open space, and other project details. A final development plan will be submitted at a future meeting showing proposed development as it occurs in sections, or all one piece, in much more detail to include utilities, common spaces and landscaping as well as other items as requested by staff following action by the Planning Commission and City Council. Following that, the developer will submit a record plan to the City which allows for the creation of lots, the dedication of right-of-way along with connections to other public roadways and subdivisions, in this case the connecting subdivision is the Creekside neighborhood, as well as open space.

Ms. Iverson asked Mr. Wilkins if he had any questions or comments regarding the staff comments and recommendations.

Mr. Wilkins asked the Commission members about staff comment number 11; what determines the number of lots that are permitted to be platted prior to establishing a second entrance?

Mr. Dudas said that this number was determined years ago and has not changed. Once the 20th lot is platted, two entrances are required to ensure emergency service access to all lots.

Mr. Wilkins reviewed some of the features of the new subdivision. Approximately 55% of the property will remain as open space, there will be a pond, paved walkways, and a bike path that will be accessible to the general public. Three different lot sizes will be featured in the plans, some of which will have basements.

Ms. Iverson asked Planning Commission members if they had any questions or comments regarding this project.

Mr. Sillies asked if vinyl siding has been approved for use after considering the information that was presented at the January meeting regarding the upgraded types of vinyl currently available.

Mr. Boron stated that yes, staff comment number one prohibiting the use of vinyl siding in the January comments has been removed because the upgraded vinyl siding materials were deemed acceptable by Planning Commission members and staff and may be used as this project moves forward through the approval process.

Mr. Pearson confirmed with Mr. Wilkins that M/I Homes understands all the requirements for staff comment number eight, which is quite lengthy.

Mr. Wilkins said that they had worked through the comments with staff and were fully aware of the requirements.

Mr. Harding brought up several points for the general public. He said that Commission members review these plans thoroughly and when a new subdivision is proposed, the schools and emergency services are contacted and allowed to give input as they desire.

Mr. Boron said that the school district annually asks the City to provide them with the number of housing units that have been approved along with the number of remaining lots in already-approved subdivisions. The school district then provides this information to the state as part of their enrollment projections.

Mr. Harding asked Mr. Boron to clarify if impact fees can be legally assessed by the City to the builders.

Mr. Boron commented that impact fees are illegal under state law.

Mr. Harding spoke about the sewer system infrastructure. When the new water treatment plant was built several years ago Planning Commission and City Council took into consideration the concept of the entire City of Springboro being built out 100% and the capacity of the sewer system. Even at a 100% build rate, the water treatment facility and sewer system capacity would not be at any more than 90%.

Mr. Harding asked City staff to comment on the floodplain and floodway and how it can and cannot be utilized for housing.

Mr. Dixon said the development in the floodplain is permitted and technically development in the floodway is permitted once stringent conditions have been met with FEMA. Houses can be built in floodplains and houses with basements can be built in floodplains given some guidance from FEMA. He referred to Chapter 1448, Flood Hazard Mitigation Plan, of the City's Master Plan.

Mr. Boron stated that there have been at least two subdivisions that have been subject to what will be part and parcel part of this new development to raise a portion of the development out of the floodplain. Dating back at least until 1999 there have been at least 38 instances of either sections of subdivisions or individual lots that are subject to a Letter of Map Revision from FEMA.

Mr. Boron discussed the soil types on this property. Soils on the property are of the Genesee-Fox association, an association that underlays much of the areas immediately adjacent to Clear Creek, as well as the Great Miami River in Franklin and Carlisle, and Little Miami and its tributaries. With respect to Springboro this area includes the south half of the historic district, much of Royal Oaks, and portions of the Villages of Creekside, The Fairways, Myers Farm, Beck Ridge subdivisions, and adjacent non-residential areas. As commented, a portion of the property to be developed includes Ross loam, a soil that is associated with streams but at higher elevations from the channel as is the case in the Bailey Farm. This portion of the property will be raised out of the flood plain though approvals of both the City of Springboro and FEMA, similar to approvals received that permitted the development of portions of Beck Ridge, as discussed at the January 10 meeting, and The Fairways subdivision immediately to the west of this site.

Mr. Harding noted that it would be up to the individual financial institutions who will be financing potential buyers to determine if they would require flood insurance.

Ms. Iverson asked for any further comments from Planning Commission members and staff. There were none.

Ms. Iverson called for a motion to approve the Final Approval, General Plan, Bailey Farms PUD-R, Planned Unit Development-Residential, 6821 Red Lion-Five Points Road, residential subdivision.

Mr. Sillies made a motion to approve the final approval, general plan, Bailey Farms PUD-R, Planned Unit Development-Residential, 6821 Red Lion-Five Points Road, residential subdivision. Mr. Dimmitt seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes (6-0)

Ms. Iverson said the motion is approved unanimously. She asked Mr. Boron to explain the next steps for Planning Commission and the applicants now that the general plan has been approved.

Mr. Boron said that the next step will be this agenda item will be forwarded on to City Council for their consideration as their next available meeting agenda allows. This could be as early as the March 7, 2024 meeting.

IV. Guest Comments

Ms. Iverson asked if there were any guest comments.

Mr. Nick Wilson, 6329 Red Lion-Five Points Road, said that his family purchased their historical home and barn in 2019 and has restored it. He is concerned about light, noise and traffic pollution as a result of the new development. He is also concerned about the wildlife being dislocated when development occurs.

Ms. Iverson thanked Mr. Wilson for his comments and asked for any further guest comments.

Mr. Bob Slade, 50 Concord Circle, stated that there is an easement in his backyard to help with flood control and he wondered if this has been addressed and how it will affect his property. He is also concerned about the density of the proposed development and is worried the ranch-style homes that will be built will affect the property values in his neighborhood. Will measures be taken to control traffic through his neighborhood? Mr. Slade also wondered if the nearby property that is fed by a natural spring will continue to be able to utilize that spring for his water supply.

Ms. Iverson said that it might be possible for the resident to tap into City water. Because this property buts up against the Clearcreek Township line and the City of Springboro there are challenges but he could work with Township and City staff to address this issue.

Mr. Harding stated that to his knowledge, the HOA for Mr. Slade's neighborhood would be the entity to address regarding parking and the traffic island at the entrance of the Villages of Creekside on Cambridge Drive.

Mr. Boron said that the HOA and City staff could work together to try to work out a solution to the traffic congestion if the HOA decides to move forward with changing the traffic flow.

Ms. Iverson thanked Mr. Slade for his comments and asked for any further guest comments. There were none.

Ms. Iverson closed the guest comments for this meeting. She noted that all information from this meeting and all previous meetings are public record and are available on the City's website.

V. Planning Commission and Staff Comments

Ms. Iverson asked if there were any further questions from Planning Commission members and staff.

Mr. Boron said that Planning Commission will be notified about the next course of action on the approval of this subdivision as it goes before City Council on the approval of the general plan, most likely at the March 7 meeting.

He commented that the next meeting will be on Wednesday, March 13. Jerry McDonald will be at the meeting to provide a legal update to Planning Commission. The deadline for submittals for the next Planning Commission meeting is February 23.

VI. Adjournment

Ms. Iverson called for a motion to adjourn.

Mr. Harding motioned to adjourn the February 14, 2024 Planning Commission Meeting at 6:30 pm

Mr. Dimmitt seconded the motion.

Vote: Iverson, yes; Pearson, yes; Dimmitt, yes; Harding, yes; Leedy, yes; Sillies, yes (6 yes - 0 no)

Ms. Iverson said that the motion is approved unanimously and the meeting is adjourned.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary