

Agenda
City of Springboro Planning Commission Meeting
Wednesday, January 10, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

- I. Call to Order
- II. Appointment of Officers for 2024
 - A. Chair
 - B. Vice Chair
- III. Approval of Minutes
 - A. December 13, 2023 Planning Commission Meeting
- IV. Agenda Items
 - A. Final Approval, Site Plan Review, 3300 West Tech Road, medical office space for Dayton Children's South Campus Behavioral Health
 - B. Final Approval, Record Plan, Clearview Crossing at Stoneridge Development, PUD-R, Planned Unit Development-Residential, southwest corner East Central Avenue (SR 73) and Red Lion-Five Points Road, residential subdivision
 - C. Final Approval, Record Plan, Wadestone subdivision, phase 1, 2515 West Factory Road, residential subdivision, lots 1-18
 - D. Preliminary Review, General Plan, Bailey Farms PUD-R, Planned Unit Development-Residential, 6821 Red Lion-Five Points Road, residential subdivision
- V. Guest Comments
- VI. Planning Commission and Staff Comments
- VII. Adjournment

Background Information & Staff Recommendation
City of Springboro Planning Commission Meeting
Wednesday, January 10, 2024, 6:00 p.m.
Council Chambers, City Building, 320 West Central Avenue

IV. Agenda Items

A. Final Approval

Site Plan Review, 3300 West Tech Road, medical office space for Dayton Children's South Campus Behavioral Health

Background Information

This agenda item is based on an application filed by Synergy Building Systems, Beavercreek, requesting site plan approval for the reuse of building and property at 3300 West Tech Road for the Dayton Children's South Campus Behavioral Health building. The 66,000-square foot building was originally developed in 2007 as a regional service center for Crucible Materials. In 2020, Dayton Children's purchased the building, and it was reused as a COVID testing facility for a time.

Under this proposal, Dayton Children's will use the existing 6,000-square foot office portion of the building, and convert 25,000 square feet of the high-bay portion of the facility for medical offices. There are no current plans for the remainder of the facility.

The property is zoned ADD-1, Austin Development District 1, a zoning category that permits the proposed use. All adjacent zoning is also ADD-1. Adjacent uses include to the north, on the north side of West Tech Road, Amsive at 3303 West Tech Road, to the east Rumford Industrial Group at 3250 West Tech Road, to the storm water areas for the South Tech area, and to the west the main Dayton Children's south campus, and a Montgomery County sanitary sewer lift station.

Staff Recommendation

City staff recommends approval of the site plan for 3300 West Tech Road subject to the following comments:

1. Coordinate with City staff on the provision of exterior lighting for the expanded parking area, and other changes under Chapter 1273, Exterior Lighting, of the Planning and Zoning Code.
2. Landscaping proposed exceeds requirements of ADD-1 requirements Chapter 1268 of Planning and Zoning Code.
3. Coordinate with Zoning Inspector on proposed signage package for the building and site following completion of the site plan review process.
4. Revisions to the existing water and/or sewer to be reviewed by Montgomery County. Provide approval notification from the county for our files.
5. Provide rain garden design detention calculations for review.
6. The Clearcreek Fire District has no comments at this time.

B. Final Approval

Record Plan, Clearview Crossing at Stoneridge Development, PUD-R, Planned Unit Development-Residential, southwest corner East Central Avenue (SR 73) and Red Lion-Five Points Road, residential subdivision

Background Information

This agenda item is a request for record plan approval of the Clearview Crossing PUD-R, Planned Unit Development-Residential, a subdivision proposed for the southwest corner of East Central Avenue (SR 73) and Red Lion-Five Points Road. The application was submitted on behalf of Maronda Homes of Cincinnati, LLC, by Red Lion Development, LLC. The record plan includes 41 buildable, single-family lots contained on an approximately 12.1 acres; Rezoning/general plan and final development were approved in 2023. Platting of the record plan is the final stage of development of the PUD review and approval process. Once approved, the record plan will proceed to City Council for their consideration.

Staff Recommendation

Staff recommends approval of the record plan for the Clearview Crossing at Stoneridge PUD-R, contingent on meeting staff comments:

1. Clearly delineate ingress/egress easement (metes/bounds) for the multiuse path – which is to be maintained by HOA. Revise plan accordingly. Or possibly add note stating that the Open Areas 1 and 2 are subject to an ingress/egress easement for the path and for path maintenance purposes.
2. Add street name Haverstraw Place for the portion of the road being platted south of Magnolia Lane.
3. Add note stating all lots shall have a post light with photoelectric cell, and shall be maintained in working order at all times.
4. Add note stating all lots shall be subject to a publicly available drainage easement of 5 feet in width along all side yards and 10 feet along rear lot lines, unless otherwise indicated.
5. Submit to Warren County for review and make appropriate revisions, if any.

C. Final Approval

Record Plan, Wadestone subdivision, phase 1, 2515 West Factory Road, residential subdivision, lots 1-18

Background Information

This agenda item is a request for record plan approval of the Wadestone subdivision, Phase 1, located at 2515 West Factory Road, submitted by Grand Communities, LLC. The record plan includes the west side of the overall development, and contains 18 single-family buildable lots on the R-1, Estate-Type Residential District, portion of the site, and contains an approximately 13.9 acres. Access is off West Factory Road with future access onto Wadestone Phase 2 to the east, also on West Factory Road. Record plan review is the final stage of the subdivision regulation approval process for conventional zoning sites like the R-1 District. Once approved, the record plan will proceed to City Council for their consideration.

Staff Recommendation

Staff recommends approval of the record plan for the Wadestone subdivision, phase 1, contingent on meeting staff comments:

1. Provide Base Flood Elevation for lot 9 and lot 10 on plat; the BFE as shown is incorrect.
2. Add note stating Reserve A, B, and C are non-buildable lots.
3. Revise note 6 to state that the post lights are to be maintained in working order at all times.
4. Revise note 5 to state "private" storm sewers are maintained by HOA and add Reserve lots A, B, and C as a maintenance for HOA.
5. Submit to Warren County for review and make appropriate revisions, if any.

D. Preliminary Review

General Plan, near southwest corner of West Lower Springboro Road and Red Lion-Five Points Road, 6821 Red Lion-Five Points Road, Bailey Farms PUD-R, Planned Unit Development-Residential, single-family residential development

Background Information

This agenda item is based on an application filed by M/I Homes, Cincinnati, Ohio, seeking general plan approval for the development of a single-family, residential subdivision under the terms of the City's Planned Unit Development (PUD) provisions, Chapter 1266 of the Planning and Zoning Code. The subject property is approximately 79.9 acres in area. The subject property is located southeast of the corner of West Lower Springboro Road and Red Lion-Five Points Road. The subject property does not include a 1.47-acre residential lot located immediately adjacent to that corner. A total of 130 single-family detached residential units are proposed in the PUD-R, Planned Unit Development-Residential.

This item was reviewed on a preliminary basis at the December 13, 2023 Planning Commission meeting. At that meeting the applicants requested an additional preliminary review discussion to discuss exterior building materials of the proposed homes, as well as other staff comments. The plan has been updated to address a number of staff comments, but others remain and/or have been added.

The subject property was annexed into the City from Clearcreek Township in 2006 and accepted by City Council in January 2007. The annexation was subject to an intergovernmental agreement between the City and Clearcreek Township that included statements (1) restricting development to single-family residential development, (2) with a street pattern approved by the Springboro Planning Commission, (3) allowing no more than 130 lots in the buildable portion of the property, and (4) the installation of a buffer along the Red Lion-Five Points Road portion of the property.

Rezoning to incorporate the agreement was the responsibility of the City. Rezoning to PUD-R was accomplished through Ordinance O-07-15 approved by City Council on May 17, 2007 and effective June 16, 2007. The Planning Commission approved a recommendation of approval of the rezoning at its February 28, 2007 meeting. The PUD-R was consistent with the Springboro Comprehensive Land Use Plan of 1998, the land use and development guidance at the time. The property owners, the Bailey family, elected to continue to use the property as a farm and home.

Rezoning is one-half of the first step of the three-step PUD approval process, the other half being general plan review and approval that is the subject of this agenda item. At the time, general plan and rezoning reviews and approval could take place separately. General plan review requires review of both Planning Commission and City Council, the latter in the form of a resolution, and no Public Hearing.

Following general plan review, the second stage of the PUD review and approval process, final development plan, may proceed. For a development of this size, it is anticipated that a number of final development plans may be submitted for review and approval so that development may proceed in an incremental manner or in sections. For example, Settlers Walk includes 10 neighborhoods and 44 sections with its 1,300 residential dwelling units. The final step in the PUD approval process is record plan approval coinciding with the creation of lots, and the dedication of right-of-way and open space. Record plans are reviewed and approved by Planning Commission and City Council.

The proposed general plan submitted for review includes 130 single-family residential lots. A total of 66 6,760-square foot lots (52 feet wide and 130 feet deep) and 64 8,060-square foot (62 feet wide and 130 feet deep) are proposed. Setbacks and other details are included in the general plan exhibits.

Primary access to the site is from Red Lion-Five Point Road roughly midway between West Lower Springboro Road and the intersection of Red Lion-Five Points Road and Springboro Road to the south. Secondary access is provided through an extension of Cambridge Drive and the Creekside subdivision to the west. While the subject property has frontage on West Lower Springboro Road, no access is proposed. The dedication of right-of-way is needed to accommodate the development both from the City (West Lower Springboro Road) and Clearcreek Township (Red Lion-Five Point Road). The eastern edge of the subject property coincides with the City corporation line. Fairway Drive to the west will be extended into the site with a cul-de-sac and terminated with no lots in the area.

A multi-use trail is proposed for public use along Red Lion-Five Points Road, extending through the development to West Lower Springboro Road. This trail will eventually connect with a similar trail to the south in the Clearcreek Reserve West subdivision. The bike lane on West Lower Springboro Road will be extended to the east corporation boundary concurrent to development of the Bailey Farm. Additional private trails are proposed within the development. All streets will incorporate sidewalks as provided by City code.

The proposed general plan includes 45.36 acres of open space, or 55% of the subject property land area. This includes a proposal for a common area including a playground and trails around an existing pond. A significant portion of this area is defined as the floodway and floodplain of Clear Creek.

Following the discussion at the January 10 Planning Commission meeting the Planning Commission may authorize this agenda item to be placed on a future agenda for formal action in the form of a recommendation to City Council.

Adjacent land uses include to the west the Creekside residential subdivision, on the north side of Lower Springboro Road a residential lot and beyond the Fieldstone residential subdivision. To the east in Clearcreek Township, residential lots on the north side of Lower Springboro Road and continuing to the east side of the property on the east side of Red Lion-Five Points Road in

Clearcreek Township. The south side of the property coincides with the open space portion of the Clearcreek Reserve East residential subdivision in Springboro.

Adjacent zoning in the Springboro portion of the vicinity includes R-2, Low-Density Residential District, in the Creekside, Fieldstone, and Clearcreek Reserve East subdivisions, and R-1 for remaining lands in the vicinity in the City. For the Clearcreek Township vicinity, R-1, Rural Residence Zone to the north and northeast, and to the east SR-1, Suburban Residence Zone, and OSR-1, Open Space Rural Residence Zone.

Staff Comments

City staff has the following comments on this agenda item:

1. Vinyl prohibited from use as an exterior building material aside from window and trims.
2. Setbacks are measured at the overhang.
3. Roadway improvements along Lower Springboro Road to include: dedicate 40 feet half right of way, widen the road to 18 feet from center line of road to south, add curb & gutter, storm sewer, sidewalk/bike lane.
4. Provide relief sewer and remove the existing lift station in the Villages of Creekside. Provide water main stub into the golf course along the proposed cul-de-sac at the east end of Bailey Lane. Water main shall be looped in subdivision with Villages of Creekside. Details to be worked out on construction drawings.
5. No development is to occur in the floodway and or floodplain, without prior permit approval by the City Engineer.
6. Roadway and utility improvements shall be per city specifications.
7. Revise General Plan drawings to have standard engineering scale type on each sheet, i.e. 1"=20', 30', 40', 50', 60', 100', 200'. Please verify that sheets are printed to scale.
8. Provide minimum dwelling unit S.F. for each Area (A & B) on General Plan.
9. Details regarding the improvements along Red-Lion Five Points Road to meet requirements of Warren County/Clearcreek Township and meet the requirements of the previous annexation of the property, specifically: When the subject property is proposed to be developed, the owner will, as part of its Record Plat establish a fifty foot (50') wide buffer strip along the west side of Red Lion-Five Points Road, to be owned and maintained by the homeowners' association for the subdivision. With the filing of such record plat, the owner shall also guarantee the construction of an attractively-contoured seven foot (7') high, minimum, landscaped mound within the buffer strip, with side slopes not to exceed a grade of 3:1. The minimum height of the mound shall be measured from the existing grade of the adjoining pavement on Red Lion-Five Points Road. The buffer strip may be reduced in width to no less than 40' where the side of the mound away from Red Lion-Five Points Road is terminated into a decorative stone retaining wall. The retaining wall need not follow the lot line provided that it is entirely within the buffer strip. In such event, the adjacent building lot may extend to that retaining wall. Included in the landscaping of the buffer strip shall be trees of appropriate species. Evergreen trees shall be at least 5' tall and deciduous trees shall be at least 1-1/2" caliper at the time of planting. Provide cross section of buffer and paved trail, along Red Lion Five Points Road, to confirm that 50' green space buffer is wide enough to meet requirements stated above. If not, revise accordingly.
10. Basements shall be served by gravity sewer and shall not permitted otherwise. Grinder pumps are not permitted.
11. Lot numbers 80, 16, 124, 125 do not meet the typical lot size of Future Area B. Revise/verify that all lots meet the minimum typical lot size for Area A and B.

12. Details for proposed common areas to be provided during final development plan, stage 2 of PUD approval process.
13. Lighting planned for individual home sites to be provided at final development plan.
14. Construction traffic access to be limited to Red Lion-Five Points Road entrance to proposed subdivision.
15. Clearcreek Fire District has no comments at this time.

The information contained in this report is based on material provided to the City of Springboro as of Thursday, January 4, 2023 at 5:00 p.m.

APPLICATION—SITE PLANS, SUBDIVISIONS & RECORD PLANS

CITY OF SPRINGBORO PLANNING COMMISSION

☐ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☐ RECORD PLAN

The undersigned requests the approval identified above. Site Plan Review approvals subject to expiration provided for in Section 1284.18 of the Planning and Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

- ☐ Owner
☒ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME:

Synergy Building Systems

Address

3500 Pentagon Blvd.

Beavercreek, OH 45431

Telephone No.

(437) 429.3143

Fax No.

()

Email Address

johnk@synergybldg.com

PROPERTY OWNER NAME (IF OTHER): West Tech Properties LLC

Address:

3300 West Tech Rd.

Springboro, OH 45066

Telephone No. ()

Property Address or General Location:

3300 West Tech Rd.

Parcel Number(s):

K45100103 0006


Zoning District:

APP-1

Proposed Use:

medical office space

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


(Signature of Applicant and/or Agent)

12.18.2023
(Date)

John Kepichack
Printed Name



W Tech Rd

W Tech Rd

W T

EXIST.
22

Rumford
Industrial Group

W Tech Rd

11

27

48

15

135 TOTAL
PARKING SPACES

IPM Enterprises

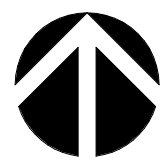
EXIST.
12

W Tech Rd

ech Rd



PROJECT LOCATION



VICINITY MAP

KEY MAP

DRAWING INDEX ZONING				
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date
GENERAL				
G001	COVER SHEET	01/02/24		
LP-1				
LP-2	LANDSCAPE DETAILS	01/02/24		
CIVIL				
C-1	COVER SHEET	01/02/24		
C-2	EXISTING TOPOGRAPHY/ DEMOLITION PLAN	01/02/24		
C-3	SITE/ UTILITY PLAN	01/02/24		
C-4	GRADING/EROSION CONTROL PLAN	01/02/24		
C-5	MISCELLANEOUS DETAILS- 1	01/02/24		
C-6	MISCELLANEOUS DETAILS- 2	01/02/24		
C-7	EROSION CONTROL PLAN DETAILS	01/02/24		
C-8	EROSION CONTROL PLAN DETAILS	01/02/24		
ARCHITECTURAL				
A100	PRELIMINARY NEW WORK PLAN	01/02/24		
AE201	EXTERIOR RENDERINGS	01/02/24		
AE210	EXTERIOR ELEVATIONS	01/02/24		
AE211	STOREFRONT ELEVATION AND PLAN	01/02/24		



DAYTON CHILDREN'S HOSPITAL
SOUTH CAMPUS BEHAVIORAL
HEALTH EXPANSION

3300 West Tech Road, Miamisburg, OH 45342



(DESIGN-BUILDER)

3500 Pentagon Blvd.
Suite 500
Beavercreek, OH 45431
Tel. 937.429.3143
Fax 937.429.2055

SYNERGY
BUILDING SYSTEMS

ISSUED FOR ZONING PERMIT
JANUARY 02, 2024



(ARCHITECT)

10 S. Patterson Blvd.
Dayton, OH 45402
Tel: 937.224.4474



(CIVIL)

5170 Congress Park Dr • Dayton, OH 45424 • P 937.438.5650 F 937.438.5645




(LANDSCAPE ARCHITECT)

4 West Franklin St.
Centerville, OH 45459
Tel. 937.469.4409



(STRUCTURAL)

2500 Newmark Dr.
Miamisburg, OH 45324
Tel. 937.259.5000



(PLUMBING)

5215 West Enon Road
Fairborn, OH 45324



(MECHANICAL)

1170 Channingway Dr.
Dayton, OH 45324
Tel: 937.879.2373



(ELECTRICAL)

3224 Dayton-Xenia Rd,
Ste. 120
Beavercreek, OH 45434

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2 WORKING DAYS
BEFORE YOU DIG

CALL TOLL FREE
800-362-2764 or 811

OHIO UTILITIES PROTECTION SERVICE



LANDSCAPE CONSTRUCTION GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS AS REQUIRED FOR PROJECT IMPLEMENTATION. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS APPLICABLE TO THE EXECUTION OF THIS PROJECT. THE OWNER AND LANDSCAPE ARCHITECT ASSUME NO LIABILITY FOR THE MISMANAGEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL KEEP ALL ORIGINAL PERMITS ONSITE AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR BECOMING TOTALLY FAMILIAR WITH THE SITE PRIOR TO CONSTRUCTION OR ESTIMATING.
- ALL WORK IS TO BE COMPLETED PER DRAWINGS AND SPECIFICATIONS. MINOR VARIATIONS DUE TO SITE DISCREPANCIES WILL BE ACCEPTED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT.
- DIMENSIONS AND QUANTITIES ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE, DETAILS AND ENLARGEMENTS OVER SITE PLANS, AND CALLOUTS OVER KEYS AND SCHEDULES. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL MATERIALS AND SYMBOLS ARE ACCOUNTED FOR AND ARE CONSISTENT WITH MATERIAL SCHEDULES. IF DISCREPANCIES ARE DETECTED IN THESE PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
- CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION AND INSTALLATION OF WATER AND ELECTRICAL HOOKUPS INCLUDING IRRIGATION AND LIGHTING.
- CONTRACTOR IS TO MAINTAIN ALL EROSION CONTROL DEVICES REQUIRED BY LOCAL AUTHORITIES WITHIN THE PROJECT LIMITS UNTIL PROJECT ACCEPTANCE.
- THE CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES AND LIGHTS AT ALL OPEN EXCAVATIONS AS REQUIRED BY THE LOCAL AUTHORITIES.
- CONSTRUCTION STAKING AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ELECTRONIC FILES FOR ASSISTANCE IN FIELD LAYOUT AND CONTROL AVAILABLE FROM TOPOS STUDIO 937-469-4409.
- CONTRACTOR SHALL CONTACT OHIO UTILITIES PROTECTION SERVICE (OUPS) A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION OPERATIONS. OUPS CAN BE CONTACTED BE DIALING 811, OR 1-800-362-2764.
- DO NOT REMOVE ANYTHING THAT MAY COMPROMISE EXISTING UTILITIES OR STRUCTURES. IF ANY REMOVALS NOTED ON THE PLAN PUT STRUCTURES, UTILITIES, OR THE PUBLIC AT RISK, CONTACT THE LANDSCAPE ARCHITECT.
- AFTER PROJECT HAS BEEN AWARDED TO THE CONTRACTOR, THE CONTRACTOR, OWNER, AND LANDSCAPE ARCHITECT SHALL CONDUCT A PRE-CONSTRUCTION MEETING TO ENSURE A CLEAR UNDERSTANDING OF THE INTENDED DESIGN AND IMPLEMENTATION OF THE PROJECT.
- PROJECT COMPLETION: CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL REVIEW OF THE PROJECT, UPON COMPLETION, WITH THE LANDSCAPE ARCHITECT TO ANSWER QUESTIONS, PROVIDE WRITTEN CARE INSTRUCTIONS FOR NEW PLANTINGS AND TURF, AND ENSURE THAT ALL SPECIFICATIONS HAVE BEEN MET.

LAYOUT, DIMENSIONING & QUANTITIES

- CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND QUANTITIES ON SITE. TOPOS STUDIO ASSUMES NO LIABILITY FOR THE MISMANAGEMENT OF ESTIMATING PRACTICES.
- WRITTEN DIMENSIONS ARE BASED ON BUILDING FOUNDATION, BACK OF CURB, OR EDGE OF PAVEMENT AND ARE IN FEET.
- OBJECTS NOTED AS "O.C." (ON CENTER) SHALL BE SPACED ACCORDING TO THE NOTED O.C. DIMENSION.

SITE PREPARATION AND DEMOLITION

- CONTRACTOR SHALL REMOVE AND STOCKPILE ALL ITEMS AS NOTED ON PLAN.
- IF ADDITIONAL REMOVALS ARE NECESSARY FOR PROJECT SUCCESS, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE EXECUTION OF THE ADDITIONAL REMOVALS.
- ADDITIONAL: DO NOT REMOVE ANYTHING THAT MAY COMPROMISE EXISTING UTILITIES OR STRUCTURES. IF ANY REMOVALS NOTED ON THE PLAN PUT STRUCTURES, UTILITIES, OR THE PUBLIC AT RISK, CONTACT THE ENGINEER.

PLANT BED PREPARATION AND PLANT INSTALLATION

- ALL PLANTING BEDS SHALL BE PREPARED FOR PLANTS BY REMOVING ALL EXISTING TURF, GRAVEL, AND OTHER DEBRIS AND DISPOSING SPOILS DEBRIS IN AN ENVIRONMENTALLY RESPONSIBLE MANNER. CONTRACTOR SHALL ADD A MINIMUM OF 2 INCHES OF LEAF COMPOST AND ROTO-TILL LEAF COMPOST INTO EXISTING TOPSOIL. REMOVE AS MUCH GRAVEL AND OTHER DEBRIS FROM EXISTING TOPSOIL AS POSSIBLE.
- IF SOIL ANALYSIS REVEALS THE SOIL REQUIRES AMENDMENTS OR REPLACEMENT, CONTRACTOR SHALL FOLLOW ALL SOIL AMENDMENT RECOMMENDATIONS BASED ON THE SOIL ANALYSIS, AND PRESCRIBED SOIL USE. ONCE SOIL HAS BEEN PROPERLY AMENDED AND PREPARED, CONTRACTOR SHALL NOTIFY THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW OF PLANT STOCK, AND APPROVAL OF BED PREPARATION AND SOIL AMENDMENTS.
- ONE TO TWO WEEKS BEFORE MULCHING, EXISTING TREES SHALL BE PREPARED FOR MULCH RINGS BY SPRAYING HERBICIDE TO A DISTANCE OF 24" FROM BASE OF THE TRUNK. BED OF TREE RING WILL BE EDGED ACCORDING TO SPECIFICATIONS DESCRIBED IN MULCH NOTES. DO NOT CUT THROUGH ANY SURFACE ROOTS FROM EXISTING TREE. MULCH MAY BE APPLIED ON TOP OF THOROUGHLY DEAD GRASS
- AFTER OWNER APPROVAL OF PLANT STOCK AND BED PREPARATION CONTRACTOR MAY INSTALL PLANTINGS ACCORDING TO THE STANDARDS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY

- STOCK AND THE SPECIFICATIONS FOUND HEREIN.
- AFTER PLANTS HAVE BEEN INSTALLED, PRIOR TO MULCH PLACEMENT OR WATERING, CONTRACTOR SHALL PLACE A BALANCED SLOW RELEASE FERTILIZER AND A PRE-EMERGENT HERBICIDE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - AFTER MULCH PLACEMENT AND CLEANUP, CONTRACTOR SHALL THEN WATER PLANTS IN TO ACHIEVE THOROUGH ROOT TO SOIL CONTACT. SEE MULCH NOTES FOR MULCH SPECIFICATIONS.
 - TEMPORARY IRRIGATION EQUIPMENT MAY BE USED FOR UP TO 18 MONTHS

MULCH

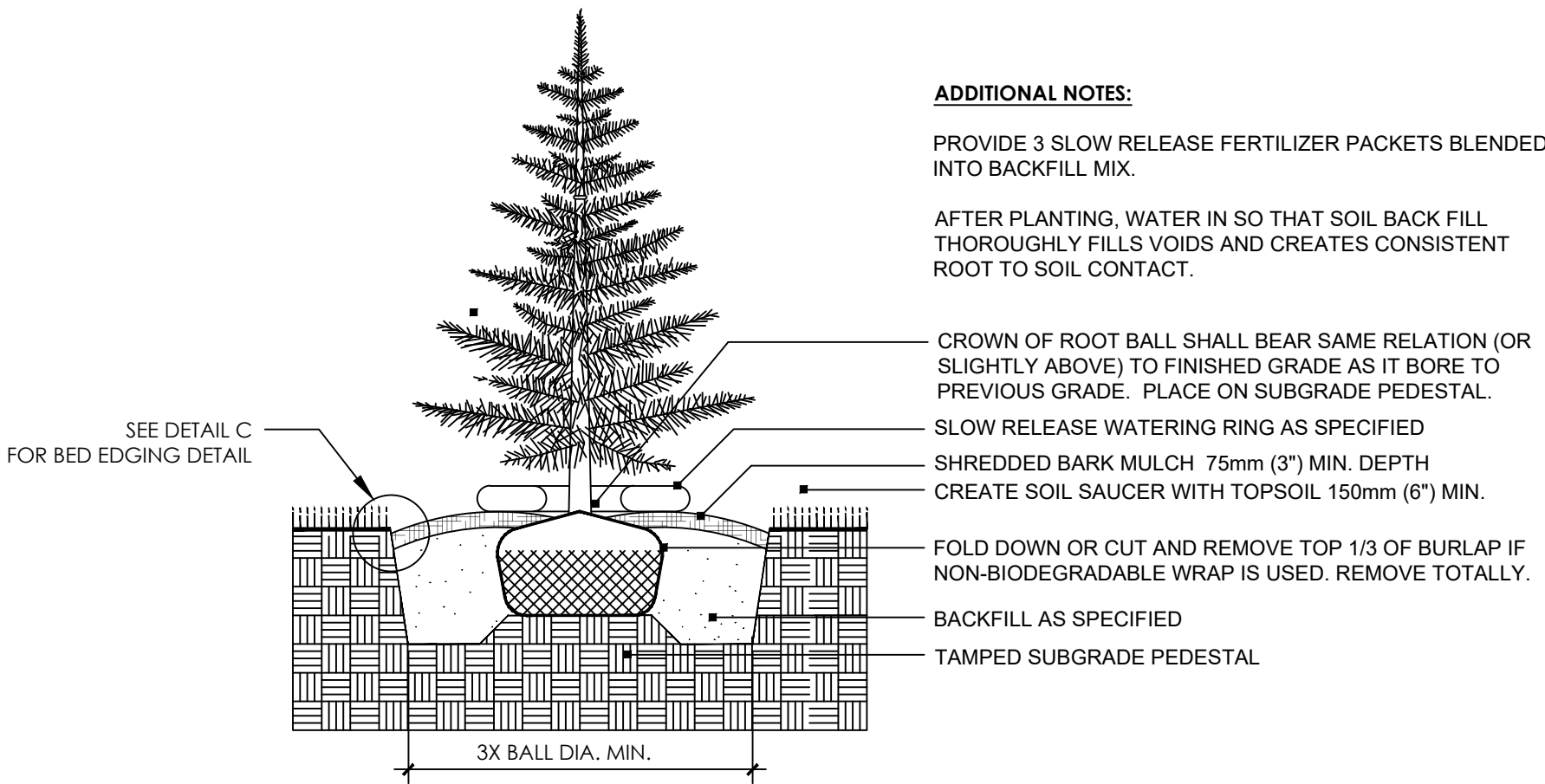
- MULCH BEDS SHALL BE EDGED AGAINST OTHER TYPES OF GROUND COVER AREAS SUCH AS GRAVEL OR LAWN. LAWN EDGES SHALL BE EDGED USING A SPADE OR MECHANICAL EDGER TO A DEPTH OF 3 INCHES AND LINES SHALL BE CLEARLY DEFINED WHEN FINISHED. BED EDGES ALONG PAVEMENT OR OTHER HARD SURFACE WILL HAVE SOIL REMOVED TO A DEPTH OF 3 INCHES TO ACCOMMODATE PROPER MULCH DEPTH.
- PROVIDE MULCH THAT CONSISTS OF SHREDDDED BARK AND SHREDDDED WOOD FREE OF SOIL, ROCKS, WEEDS, DEBRIS, RUBBISH, OR ENVIRONMENTALLY HAZARDOUS MATERIALS. WOOD PALETTES, TREATED LUMBER, WOOD CHIPS, AND OTHER TYPES OF NON-ORGANIC MATERIALS ARE NOT AN ACCEPTABLE MULCH MEDIUM. THE LENGTH OF ANY INDIVIDUAL COMPONENTS CANNOT EXCEED 2 INCHES, (THIS MAY BE CALLED TRIPLE SHREDDDED). ENSURE THAT AT LEAST 75 PERCENT OF THE MULCH CAN PASS THROUGH A 1-INCH SCREEN. LANDSCAPE MULCH MAY CONTAIN UP TO 50 PERCENT SHREDDDED WOOD. ENSURE MULCH HAS BEEN AGED AT LEAST ONE YEAR BEFORE INSTALLATION.
- MULCH COLOR SHALL BE BROWN.
- SPREAD MULCH IN PLANT BED AREAS AND TREE RINGS WITH A 2 TO 3 INCH LAYER OF LANDSCAPE MULCH UNIFORM IN TEXTURE AND SIZE. DO NOT PLACE MULCH IN DIRECT CONTACT WITH THE TRUNKS OF ANY TREES, SHRUBS, OR PERENNIALS. RAKE AND SMOOTH ALL PLANTING BEDS UPON COMPLETION OF THE WORK.

GRAVEL BEDS

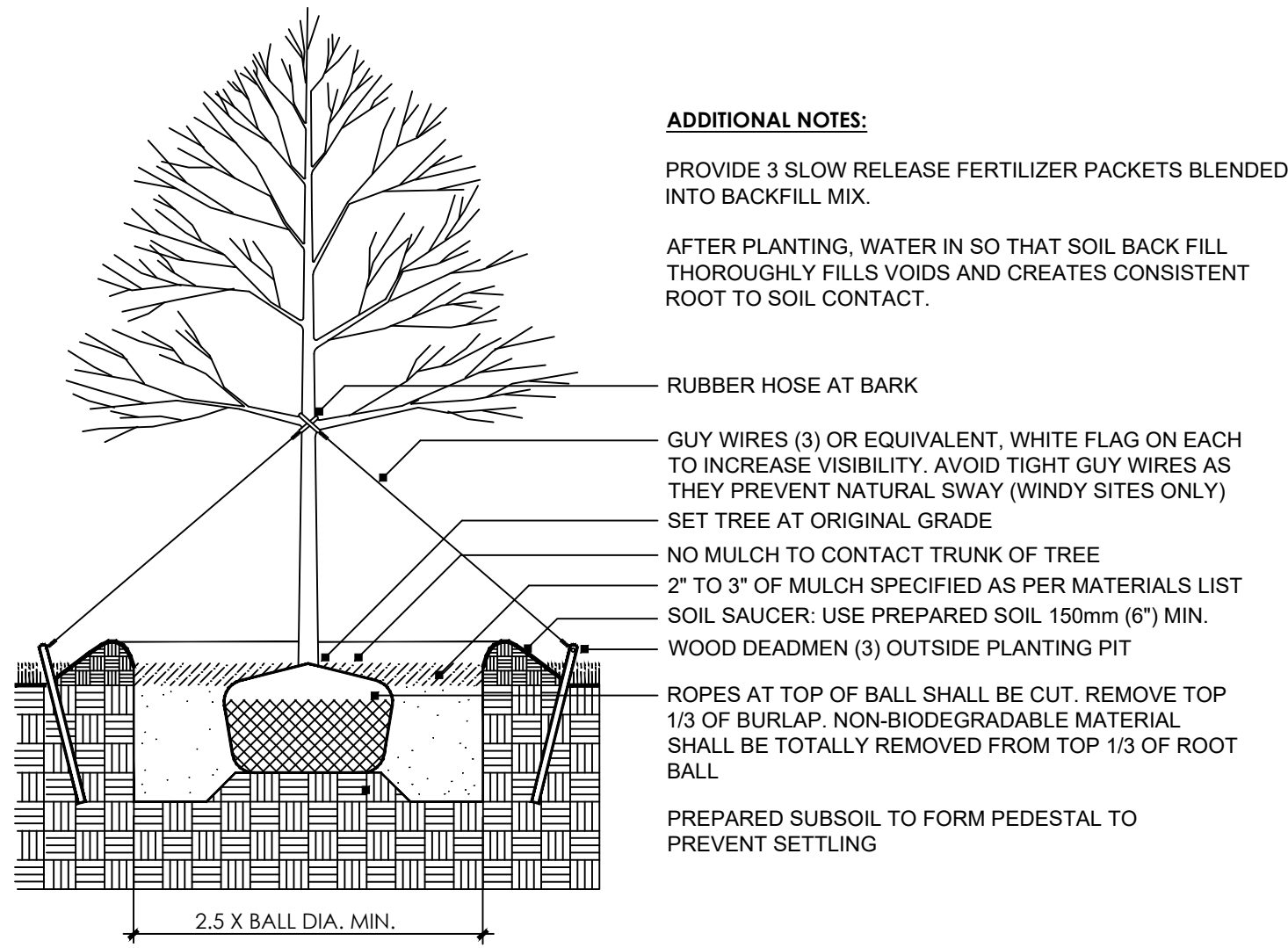
- GRAVEL BEDS SHALL BE EDGED USING AN APPROVED STEEL EDGING ACCORDING TO THE GRAVEL BED CONSTRUCTION & EDGE DETAIL IN THE LANDSCAPE DETAILS. STEEL EDGING SHALL BE PLACED ANYWHERE THAT GRAVEL MEETS A DIFFERENT GROUND COVER. STEEL EDGING IS NOT NECESSARY AGAINST HARDSCAPE OR CONSTRUCTED EDGES SUCH AS CURBS, SIDEWALKS, OR BUILDING FOUNDATIONS. FILTER FABRIC SHALL BE PLACED BETWEEN SOIL AND GRAVEL IN ALL GRAVEL BEDS.

SEED

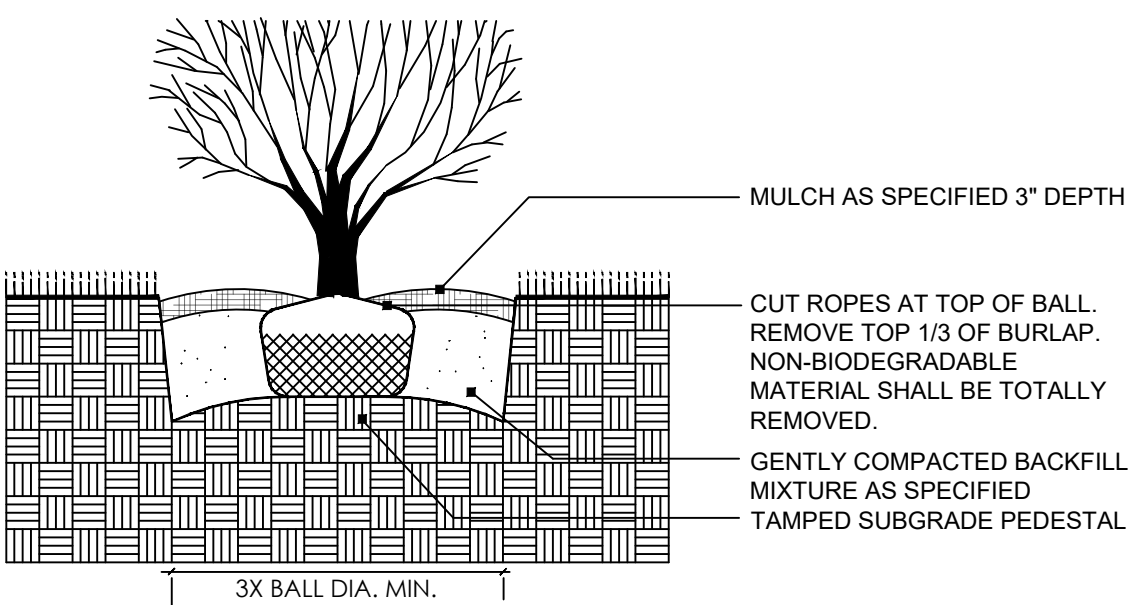
- BARE SOIL/NEW BUILD
 - AREAS CALLED OUT AS "SEED" ON THE DRAWINGS SHALL BE PREPARED BY REMOVING ALL ROCKS AND GRAVEL FROM TOP SOIL. IF SOIL IS AN UNACCEPTABLE GROWTH MEDIUM, A MINIMUM OF 2" OF ORGANIC TOPSOIL SHALL BE ADDED TO ALL SEED AREAS AFTER FINE GRADING AND ROCK/DEBRIS REMOVAL. RECOMMENDED SEED MIXTURE SHALL BE GREEN VELVET "HYBRID POWER 90/10 TALL FESCUE," 90% ELITE TALL FESCUE, 10% HYBRID BLUEGRASS. SEED SHALL BE APPLIED AT A RATE OF 8-10 POUNDS PER 1000 SQUARE FEET AND SHALL NOT BE MOWED FOR A MINIMUM OF 21 DAYS. DO NOT SPREAD SEED IN NEW PLANT BEDS OR GRAVEL AREAS.
- OVERSEEDING
 - AREAS CALLED OUT AS "OVERSEED" ON THE DRAWINGS SHALL BE PREPARED BY MOWING THE EXISTING LAWN AREAS TO BE OVERSEEDDED DOWN TO 2 INCHES OR LESS AND BAG THE CLIPPINGS. AFTER MOWING, USE A METAL THATCH RAKE TO REMOVE ANY REMAINING CLIPPINGS OR DEBRIS. RECOMMENDED SEED MIXTURE SHALL BE GREEN VELVET "HYBRID POWER 90/10 TALL FESCUE," 90% ELITE TALL FESCUE, 10% HYBRID BLUEGRASS. TAKE TIME TO DETHATCH AND CORE AERATE COMPACTED LAWNS. DO NOT SPREAD SEED IN NEW PLANT BEDS OR GRAVEL AREAS.
- FERTILIZATION & WATERING
 - APPROPRIATE STARTER FERTILIZER SHALL BE APPLIED FOR SEEDED AREAS ONLY ACCORDING TO MANUFACTURER'S RECOMMENDATIONS TO STIMULATE GERMINATION AND ROOT ESTABLISHMENT. DO NOT PLACE PRE-EMERGENT HERBICIDES IN SEEDED AREAS. ENSURE THAT THE SELECTED FERTILIZER IS IN COMPLIANCE WITH LOCAL ENVIRONMENTAL LAWS.
 - CONTRACTOR IS RESPONSIBLE FOR WATERING. FOR SEEDED APPLICATIONS, ENSURE SEED AND SOIL STAYS MOIST THROUGH GERMINATION/ESTABLISHMENT PERIOD. WATER LIGHTLY TWICE DAILY FIRST FOUR DAYS. WATER MORE HEAVILY EVERY OTHER DAY FOR THE NEXT FIVE DAYS, THEN WATER AS NEEDED TO PREVENT WILTING. ONCE LAWN HAS RETURNED TO NORMAL THICKNESS AND MATURITY, RETURN TO REGULAR MAINTENANCE PRACTICES.



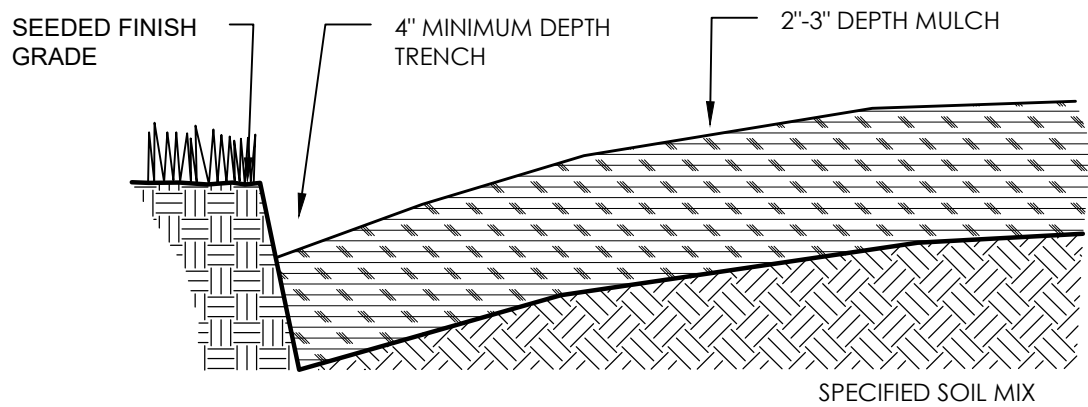
A - EVERGREEN TREE PLANTING



B - DECIDUOUS TREE PLANTING



C- SHRUB PLANTING




D- MULCH BED EDGE

3300 WEST TECH ROAD
PARKING LOT EXPANSION

LOCATED IN SECTION 15, TOWN 2, RANGE 5 M.P.s.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

SUBMITTALS AND REVISIONS	12/29/23																					
	Plant Submittal																					

CLIENT



SYNERGY
BUILDING SYSTEMS

3300 RICHMOND BLVD.
SPRINGBORO, OHIO 45304
(937) 429-3143

LANDSCAPE ARCHITECT OF RECORD



TOPOS
STUDIO

4 West Franklin Street
Centerville, OH 45469
937-469-4409

COPYRIGHT 2023

H:\CADD\Projects\Synergy\DCH West Tech BHC Parking Lot Expansion\DAYTON CHILDRENS PARKING BASE.DWG, DEC 22, 2023 - 14:46:24

GENERAL NOTES

- 1) ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND CONFORM WITH THE MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS; ANY CONFLICT SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IN CHARGE AT VAN ATTA ENGINEERING. (ROAD WORK ON SPRINGBORO PIKE (SR 741) NOT INCLUDED IN THIS SET OF CONSTRUCTION DRAWINGS
- 2) ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF SPRINGBORO STANDARDS.
- 3) ALL TRENCH EXCAVATION WITHIN THE EXISTING AND PROPOSED STREET RIGHT-OF-WAY SHALL BE BACKFILLED WITH GRANULAR FILL MATERIAL IN ACCORDANCE WITH CITY OF SPRINGBORO SPECIFICATIONS AND COMPACTED BEFORE SUBGRADE APPROVAL.
- 4) ALL UNDERGROUND UTILITY SERVICE LATERALS ARE TO BE INSTALLED FROM MAIN TO RIGHT-OF-WAY LINE OR EASEMENT LINE, WHICHEVER IS FURTHEST, BEFORE STREETS ARE SURFACED.
- 5) ALL CURB INLETS TO BE MONTGOMERY COUNTY TYPE 3A UNLESS OTHERWISE SPECIFIED.
- 6) ALL MANHOLES TO BE TYPE "A" UNLESS OTHERWISE NOTED.
- 7) CHANNEL BOTTOMS OF ALL MANHOLES.
- 8) RADIUS OF BACK OF CURB AT INTERSECTIONS SHALL BE 25.00 FEET, UNLESS OTHERWISE SHOWN.
- 9) ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED, REMOVED OR CONNECTED TO THE STORM SEWER SYSTEM.
- 10) CURB RAMPS ARE TO BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE OHIO DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DRAWING BP-7.1 AND TO THE LATEST ADA STANDARDS AND SPECIFICATIONS
- 11) ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE INFORMATION. FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHOULD NOTIFY THE FOLLOWING AGENCIES, TO OBTAIN ACCURATE FIELD LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES:

OHIO UTILITIES PROTECTION SERVICE (OUPS) 100 FEDERAL PLAZA EAST, LOWER LEVEL YOUNGSTOWN, OH 44503 1-800-362-2764	DAYTON POWER AND LIGHT CO. 1900 DRYDEN RD. 937-331-3900 DAYTON, OH 45439 TIMEWARNER 3691 TURNER ROAD DAYTON, OH 45415 937-425-8858	MONTGOMERY COUNTY WATER SERVICES 1850 SPAULDING RD. DAYTON, OH 45432 937-781-2650 (INSPECTION) 1-800-362-2764 (LOCATES)
AT&T 3233 WOODMAN DR. DAYTON, OH 45420 296-3606 7AM-5PM 1-800-572-4747 AFTER 5	VECTREN 4285 N. JAMES H MCGEE DAYTON, OH 45427 937-312-2533	ELECTRIC DUKE ENERGY 513-287-2454 GAS DUKE ENERGY 513-287-1264
ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF OUPS		

- THE OWNER OF THE UNDERGROUND UTILITY SHALL WITHIN 48 HOURS, EXCLUDING SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS, AFTER NOTICE IS RECEIVED, STAKE, MARK OR OTHERWISE DESIGNATE THE LOCATION OF THE UNDERGROUND UTILITY FACILITIES IN THE APPROXIMATE DEPTH AT WHICH THEY WERE INSTALLED. THE MARKING OR LOCATING SHALL BE COORDINATED TO STAY APPROXIMATELY TWO DAYS AHEAD OF THE PLANNED CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORKFORCE.
- 12) ALL MANHOLES INSTALLED IN PAVEMENT AREAS SHALL BE INSTALLED EITHER CENTERED ON A TRAVELED LANE OR ON A LONGITUDINAL PAVEMENT MARKING STRIPE, SUCH AS A LANE LINE, CHANNELING LINE OR CENTERLINE.
- 13) ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDED WITHIN 7 DAYS.
- 14) ALL CATCH BASIN LATERALS TO BE REINFORCED CONCRETE ASTM SPECIFICATION NUMBER C-76, CLASS 4, UNLESS OTHERWISE NOTED.
- 15) ANY VARIATION BETWEEN THESE PLANS AND WHAT IS FOUND IN THE FIELD DURING CONSTRUCTION SHALL BE ADDRESSED TO THE PROJECT ENGINEER AT VAN ATTA ENGINEERING.
- 16) ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
- 17) TRAFFIC CONTROL ON ALL PUBLIC ROADS IS REQUIRED TO CONFORM TO "THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS". ANY WORK ON A THOROUGHFARE OR WORK REQUIRING CLOSURES REQUIRES 48 HOUR NOTIFICATION AND DIRECTOR A MINIMUM THREE WEEKS PRIOR TO ANY CLOSING.
- 18) SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
- 19) WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION AND NOTIFY THE PROJECT ENGINEER AT VAN ATTA ENGINEERING OF ANY DISCREPANCIES. APPROVAL OF THE TOWNSHIP BOARD OF TRUSTEES. NOTICE SHALL BE GIVEN TO THE PUBLIC WORKS
- 20) IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO IMPORT OR REMOVE ANY EXCESS EARTH OR TOPSOIL WITH PAYMENT FOR THIS TO BE A PART OF CONTRACT.
- 21) THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES.

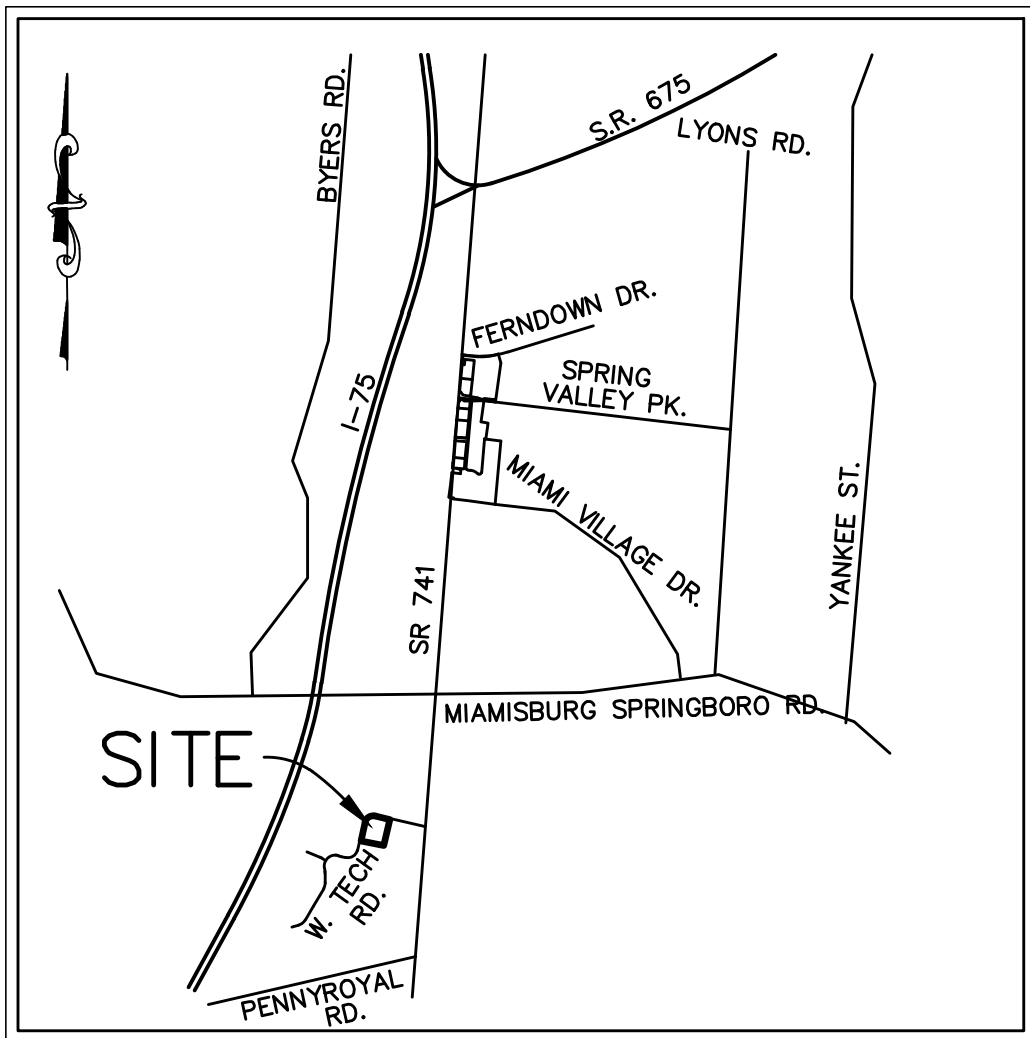
WATER NOTES
(MONTGOMERY COUNTY)

- 22) All water lines and appurtenances shall be constructed according to Montgomery County Water Services Specifications or latest revision thereof.
- 23) No additions, deletions or revisions to the water facilities are to be made without prior written approval by the Montgomery County Sanitary Engineer.
- 24) No construction shall commence until Montgomery County Water Service permits have been issued, and two (2) working days notice has been given to the Inspection Division (781-2650).
- 25) All utility trenches within the existing or proposed right-of-way or under paved areas shall be backfilled with compacted granular material conforming to ODOT 310 in accordance with the Montgomery County Water Services Department Specifications.
- 26) All existing underground utilities are shown in their approximate locations according to the best available information. The contractor shall notify the Montgomery County Water Services Department at 1-800-362-2764 and all other Utility Companies 48 hours prior to construction to obtain field locations of said existing underground utilities.
- 27) Roof drains, foundation drains or other clean water connections to the sanitary sewer system are prohibited.
- 28) The water main installation will be inspected by the Montgomery County Water Services Department and may be inspected by the City of Dayton, if required.
- 29) Water mains, bends and fitting shall be ductile cast iron pipe and conform to ANSI A-21.51 (AWWA C-151), Class 51. All water mains shall be polywrapped.
- 30) Water mains shall have 4'-6" minimum cover.
- 31) Only Montgomery County Water Services Department personnel shall operate main line water valves.
- 32) Fire hydrants (closest point) shall be located 2' from and within 5' of the curb or edge of pavement and 4" storz opening to face the street.

CONSTRUCTION DRAWINGS
3300 WEST TECH ROAD
PARKING LOT EXPANSION

LOCATED IN
SECTION 15, TOWN 2, RANGE 5 MRS
CITY OF SPRINGBORO
MONTGOMERY COUNTY, OHIO
DECEMBER, 2023

DEVELOPER:



VICINITY MAP
NTS

SHEET INDEX

1	COVER SHEET
2	EXISTING TOPOGRAPHY/DEMOLITION PLAN
3	SITE/UTILITY PLAN
4	GRADING & EROSION CONTROL PLAN
5	MISCELLANEOUS DETAILS-1
6	MISCELLANEOUS DETAILS-2
7	EROSION CONTROL DETAILS
8	EROSION CONTROL NOTES

MONTGOMERY COUNTY WATER NOTES (CONTINUED)

- 33) Water lines crossing any and all sewers shall have a minimum vertical separation of 18" between the outsides of the water main pipe and the sewer pipe. One full lengh of water main pipe shall be centered at the point of crossing such that both joints will be equidistant and as far from the sewer as possible. If water crosses below sanitary sewers, the sewer must be water main material for that span.
- 34) All gate valves are to be located at tees or crosses with a one foot, (1') maximum nipple between tee or cross and valve. All plugs are to be connected to valves except where shown on plans.
- 35) Any construction of pre-stressed or connection to pre-stressed water mains will require a meeting with Montgomery County Water Services Department before ordering the pipe for the project.
- 36) All fire hydrants and/or valves noted to be relocated shall be inspected prior to being placed back into service. Only fire hydrants meeting the current specifications will be placed back into service. All valves that are not restrained or anchored shall be replaced.
- 37) All water services and sanitary services noted to be abandoned shall

STORM SEWER NOTES

STORM SEWER MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SPRINGBORO STANDARDS

ALL STORM UNDER PAVEMENT WILL BE CONCRETE, STORM SEWER IN ALL OTHER LOCATIONS TO BE HDPE UNLESS NOTED.

NOTE:

RUNOFF CONTROL, INCLUDING POST-CONSTRUCTION WATER QUALITY CONTROL, WILL BE PROVIDED BY THE REGIONAL RETENTION BASIN APPROVED BY THE CITY OF SPRINGBORO AS DETAILED IN THE DETENTION CALCULATION REPORT DATED MARCH 9, 2009 BY VAN ATTA ENGINEERING, INC.

NO.	DATE	DESCRIPTION	BY

PREPARED BY:



BP GAS LINE NOTES:

GENERAL SAFETY REQUIREMENTS

- 1.811 THE NATIONAL ONE-CALL NUMBER, MUST BE CONTACTED AT LEAST 48 HOURS (2 WORKING DAYS) BEFORE ANY CONSTRUCTION AND/OR EXCAVATION ACTIVITIES ARE INITIATED WITHIN THE PIPELINE RIGHT-OF-WAY SO THAT BP MAY HAVE A REPRESENTATIVE PRESENT TO ENSURE THAT THERE ARE NO CONFLICTS WITH THE PIPELINE. (THERE IS NO COST TO THE THIRD PART CONTRACTOR TO USE THE ONE-CALL NOTIFICATION SERVICE. HOWEVER, FAILURE TO UTILIZE THE ONE-CALL SERVICE CAN BE QUITE COSTLY IN TERMS OF UNNECESSARY RISK FOR THE CONTRACTOR/EXCAVATOR, THEIR EMPLOYEES, INNOCENT BYSTANDERS, PERSONAL PROPERTY OF TO OTHERS AND THE ENVIRONMENT; AS WELL AS POTENTIAL CIVIL PENALTIES AND/OR FINES.)
- 2.TO HAVE THE PIPELINE PHYSICALLY LOCATED AND DEPTH VERIFIED, PLEASE CONTACT BP'S LOCAL FIELD REPRESENTATIVE AT 613646-6187 - KIM MILLER
- 3.IT IS THE RESPONSIBILITY OF THE REQUESTOR TO HAVE THE PIPELINE LOCATION AND DEPTH ADDED TO THEIR PLANS AND DRAWINGS AND SUBMITTED TO BP FOR EVALUATION.
- 4.THE REQUESTOR AND/OR ITS CONTRACTOR IS RESPONSIBLE FOR TAKING ALL NECESSARY SAFETY PRECAUTIONS AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGES CAUSED TO THE PIPELINE OR PROPERTY AS A RESULT OF THEIR WORK.

EXCAVATION SPECIFIC REQUIREMENTS

- 1.NO EXCAVATION OR CONSTRUCTION ACTIVITY WILL BE PERMITTED IN THE VICINITY OF A PIPELINE UNTIL ALL APPROPRIATE COMMUNICATIONS HAVE BEEN MADE WITH BP'S FIELD OPERATIONS AND THE RIGHT-OF-WAY DEPARTMENT. A FORMAL ENGINEERING ASSESSMENT MAY BE REQUIRED.
- 2.THERE SHALL BE NO EXCAVATION OR BACKFILLING WITHIN THE PIPELINE RIGHT-OF-WAY FOR ANY REASON WITHOUT A REPRESENTATIVE OF BP ON SITE GIVING PERMISSION.
- 3.IN SOME INSTANCE, EXCAVATION AND OTHER CONSTRUCTION ACTIVITIES AROUND CERTAIN PIPELINES CAN BE CONDUCTED SAFELY ONLY WHEN THE PIPELINE OPERATING PRESSURE HAS BEEN REDUCED. CONTRACTORS ARE THEREFORE CAUTIONED THAT EXCAVATION WHICH EXPOSES OR SIGNIFICANTLY REDUCES THE COVER OVER A PIPELINE MAY HAVE TO BE DELAYED UNTIL THE REDUCED OPERATING PRESSURES ARE ACHIEVED.

GENERAL CONSTRUCTION ACTIVITIES

- 1.THE CONTRACTOR SHALL NOT BE PERMITTED TO TRANSPORT CONSTRUCTION MATERIALS OR EQUIPMENT LONGITUDINALLY OVER THE PIPELINE.
- 2.WHERE IT IS NECESSARY FOR CONSTRUCTION EQUIPMENT (I.E., TRACTORS, BACKHOES, DUMP TRUCKS, ETC.) OR EQUIPMENT TRANSPORTING CONSTRUCTION MATERIALS TO CROSS THE PIPELINE, THE CROSSING OF THE PIPELINE RIGHT-OF-WAY SHALL BE AT, OR AS NEAR TO, A 90° ANGLE AS IS FEASIBLE.
- 3.TO GAIN ACCESS TO THE JOB SITE, THE CONTRACTOR SHALL SUBMIT A PLAN INDICATING WHERE CONSTRUCTION EQUIPMENT WILL CROSS THE PIPELINE, ALONG WITH THE DEPTH OF THE PIPE AT THE CROSSINGS, ANY PROPOSED RAMPING OVER THE PIPELINE, TOGETHER WITH THE FOLLOWING SPECIFICATIONS FOR THE EQUIPMENT: TYPE AND WEIGHT OF EQUIPMENT, FOR TRACK EQUIPMENT - TRACK WIDTH AND LENGTH; FOR WHEELED EQUIPMENT - NUMBER OF AXLES (SINGLE OR TANDEM AXLES). Bp WILL PERFORM A STRESS FACTOR CALCULATION TO DETERMINE IF THE EQUIPMENT CAN SAFELY CROSS THE PIPELINE. IF CROSSING OF THE PIPELINE IS ALLOWED, SPECIAL MEASURES MAY NEED TO BE TAKEN TO ENSURE THE INTEGRITY OF THE PIPELINE.
- 4.NO TRACK TYPE CONSTRUCTION EQUIPMENT SHALL BE PERMITTED TO PIVOT OR TURN DIRECTLY OVER THE TOP OF THE PIPELINE.
- 5.A SCRAPER OR PAN TYPE TRACTOR SHALL NOT BE USED FOR REMOVAL OF SOIL WITHIN TEN FEET (10') OF THE CENTERLINE OF THE PIPELINE. RUBBER TIRE OR SMALL TRACK TYPE EQUIPMENT IS AN ACCEPTABLE ALTERNATIVE.
- 6.A SHEEPSFOOT ROLLER SHALL NOT BE USED FOR COMPACTION PURPOSES WITH FIVE FEET (5') OR DIRECTLY ABOVE THE CENTERLINE OF THE PIPELINE.
- 7.NO VIBRATORY ROLLERS SHALL BE USED WITHIN THREE FEET (3') OF THE CENTERLINE OF THE PIPELINE UNTIL THE COMPACTED COVER OVER THE PIPELINE HAS REACHED A DEPTH OF THREE AND ONE-HALF FEET (3 ½').

PARKING LOTS, ROADS, DRIVEWAYS, FENCES AND STRUCTURES

- 1.THERE SHALL BE A MINIMUM VERTICAL SEPARATION OF TWO FEET (2') BETWEEN THE PIPELINE AND ANY UNDERGROUND STRUCTURE.
- 2.NO UTILITY STRUCTURES (SUCH AS, BUT NOT LIMITED TO, MANHOLES OR CATCH BASINS) SHALL BE LOCATED OVER THE PIPELINE. A MINIMUM HORIZONTAL CLEARANCE OF FIVE FEET (5') IS REQUIRED BETWEEN THE STRUCTURE AND THE PIPELINE.

FOREIGN LINE OR UTILITY CROSSINGS

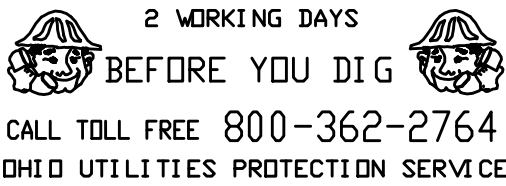
- 1.IF THE FOREIGN LINE IS A TELECOMMUNICATIONS CABLE, POWER CABLE, OR SIMILAR IN NATURE, THE FOREIGN LINE SHALL BE PLACED IN A SCHEDULE 40 PVC CONDUIT, OR GREATER, FOR A LINEAR DISTANCE EXTENDING TEN FEET (10') ON EITHER SIDE OF THE CENTERLINE OF THE PIPELINE. THE ENTIRE LENGTH OF CARRIER PIPE SHALL EITHER BE ENCASED IN CONCRETE, OR SHALL HAVE A CONCRETE CAP PLACED ON TOP OF IT.
- 2.IF THE FOREIGN LINE IS A METALLIC PIPELINE, OR SIMILAR IN NATURE, THE FOREIGN LINE SHALL BE COATED WITH A SUITABLE COATING FOR A DISTANCE OF AT LEAST FIFTY FEET (50') ON EITHER SIDE OF THE CENTERLINE OF THE PIPELINE. THE FOREIGN LINE OWNER, OPERATOR, OR THEIR CONTRACTOR, SHALL INSTALL CATHODIC PROTECTION BONDS AND POTENTIAL TEST LEADS TO THE FOREIGN LINE AT THE CROSSING LOCATION AND TERMINATE THE LEADS AT AN ABOVE-GROUND LOCATION AS IDENTIFIED BY BP'S ON-SITE REPRESENTATIVE. BP WILL INSTALL THE TEST LEADS ON BP'S PIPELINE.
- 3.BELOW-GROUND PRECAUTIONARY FLAGGING (WARNING TAPE) SHALL BE PLACED IN THE DITCH LINE ABOVE THE FOREIGN LINE. THE WARNING TAPE SHALL BE PLACED APPROXIMATELY ONE FOOT (1') BELOW THE FINAL SURFACE GRADE/ELEVATION. THE WARNING TAPE SHALL EXTEND FOR A LINEAR DISTANCE OF TEN FEET (10') ON EITHER SIDE OF THE CENTERLINE OF THE PIPELINE.

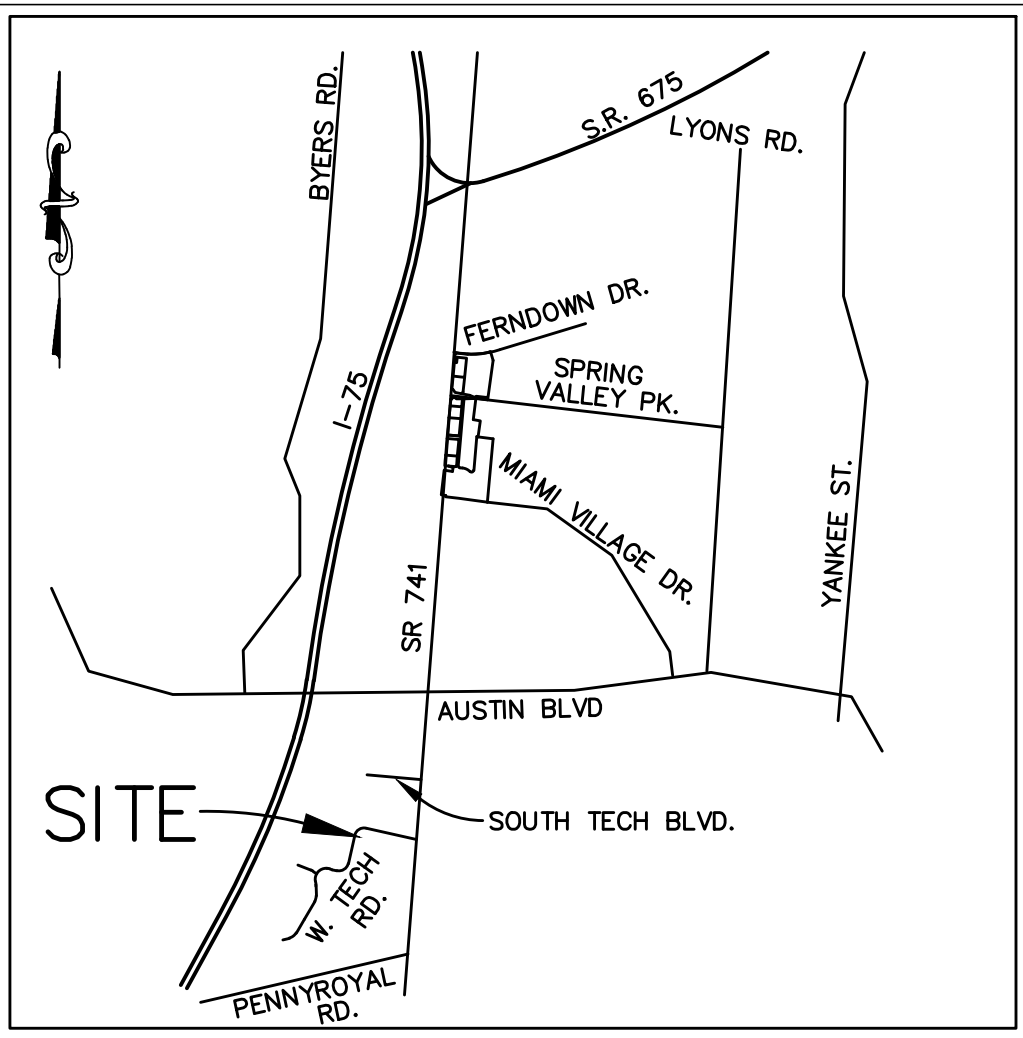
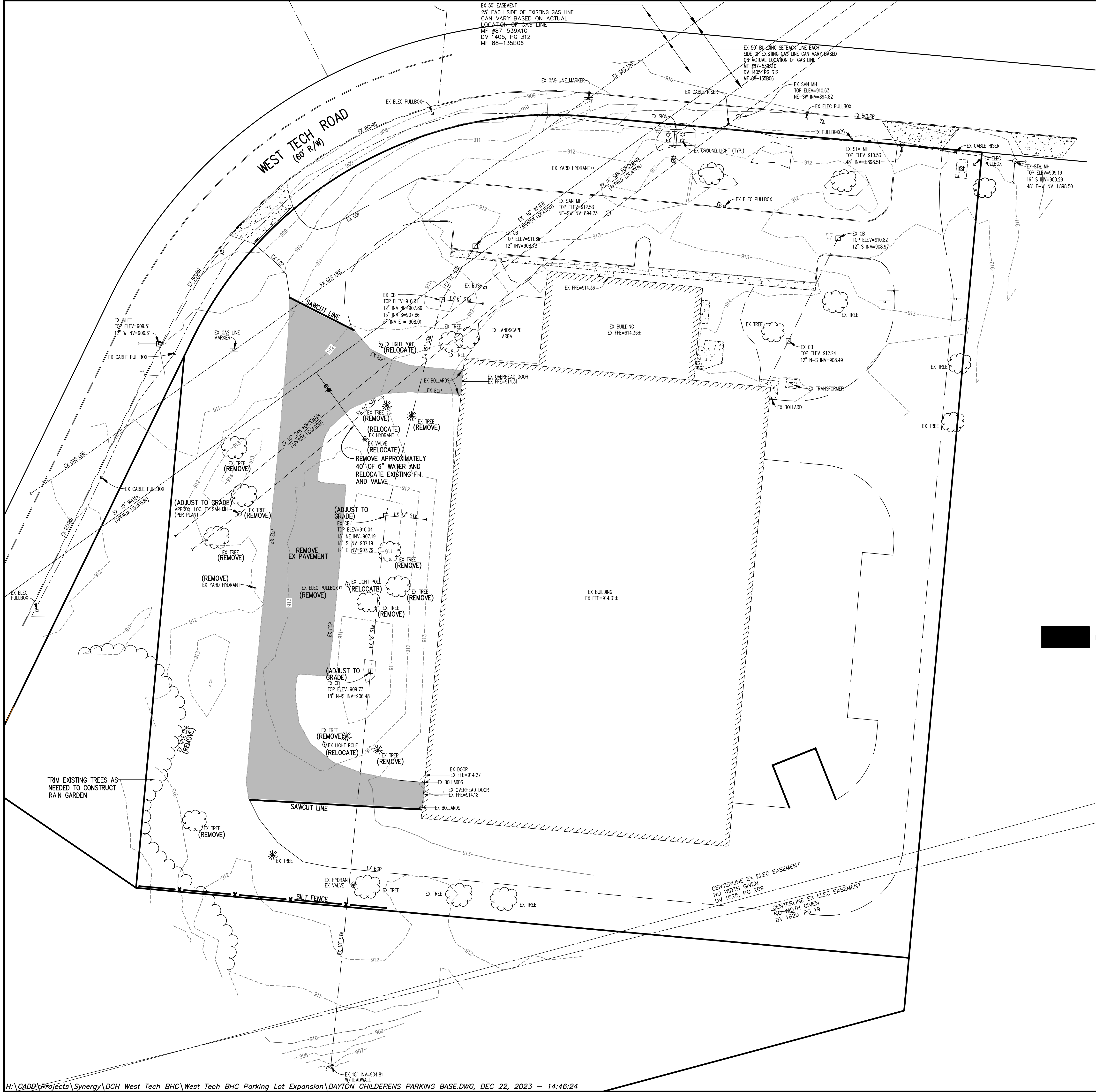
IF, IN THE EXERCISE OF THE PIPELINE EASEMENT RIGHTS, ANY "PERMITTED FACILITY" IS DAMAGED, DISTURBED OR OTHERWISE INTERFERED WITH, BP AND/OR THE PIPELINE EASEMENT OWNER SHALL BE HELD HARMLESS FROM AND AGAINST ANY AND ALL CLAIMS OF WHATSOEVER KIND AND NATURE WHICH MIGHT BE ASSOCIATED WITH OR DERIVED FROM SUCH DAMAGE, DISTURBANCE OR INTERFERENCE.



MICHAEL N. ANDERSON
OHIO PROFESSIONAL ENGINEER #81188

DATE





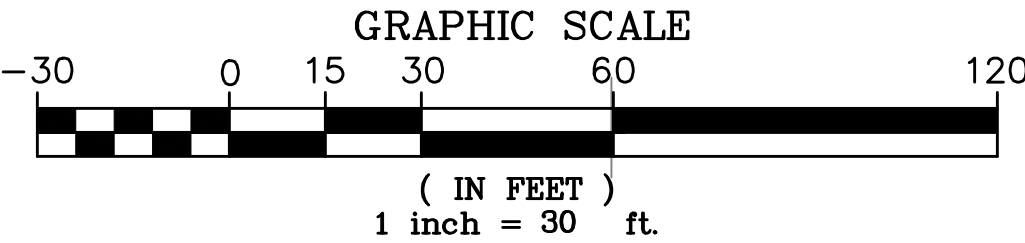
VICINITY MAP
NTS

SURVEY SYMBOLS LEGEND:

- EX CROSS NOTCH FOUND
- EX 5/8" IRON PIN FOUND
- EX 1" IRON PIPE FOUND
- EX CONCRETE MONUMENT FOUND
- EX PK NAIL FOUND
- EX RAILROAD SPIKE FOUND
- EX BOLLARD
- EX CATCH BASIN
- EX CURB INLET
- EX FIRE HYDRANT
- EX MANHOLE
- EX WATER VALVE
- EX GAS METER
- EX GUY WIRE
- EX GAS VALVE
- EX LIGHT POLE
- EX POWER POLE
- EX TRANSFORMER
- EX WATER METER PIT
- EX WELL
- IRON PIN SET (5/8" DIA, 30" LONG)
- CONCRETE MONUMENT SET
- PK NAIL SET
- CROSS NOTCH SET

LIMITS OF PAVEMENT TO BE REMOVED

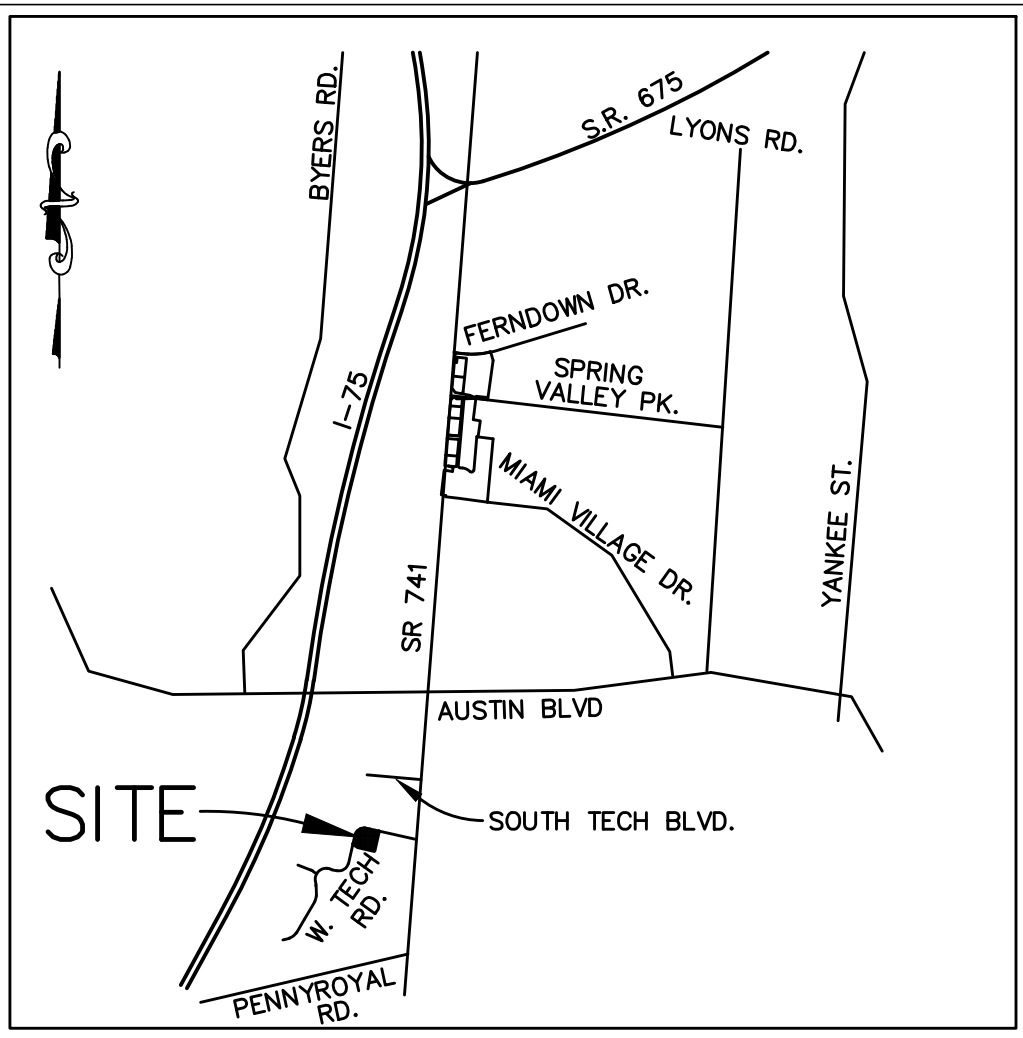
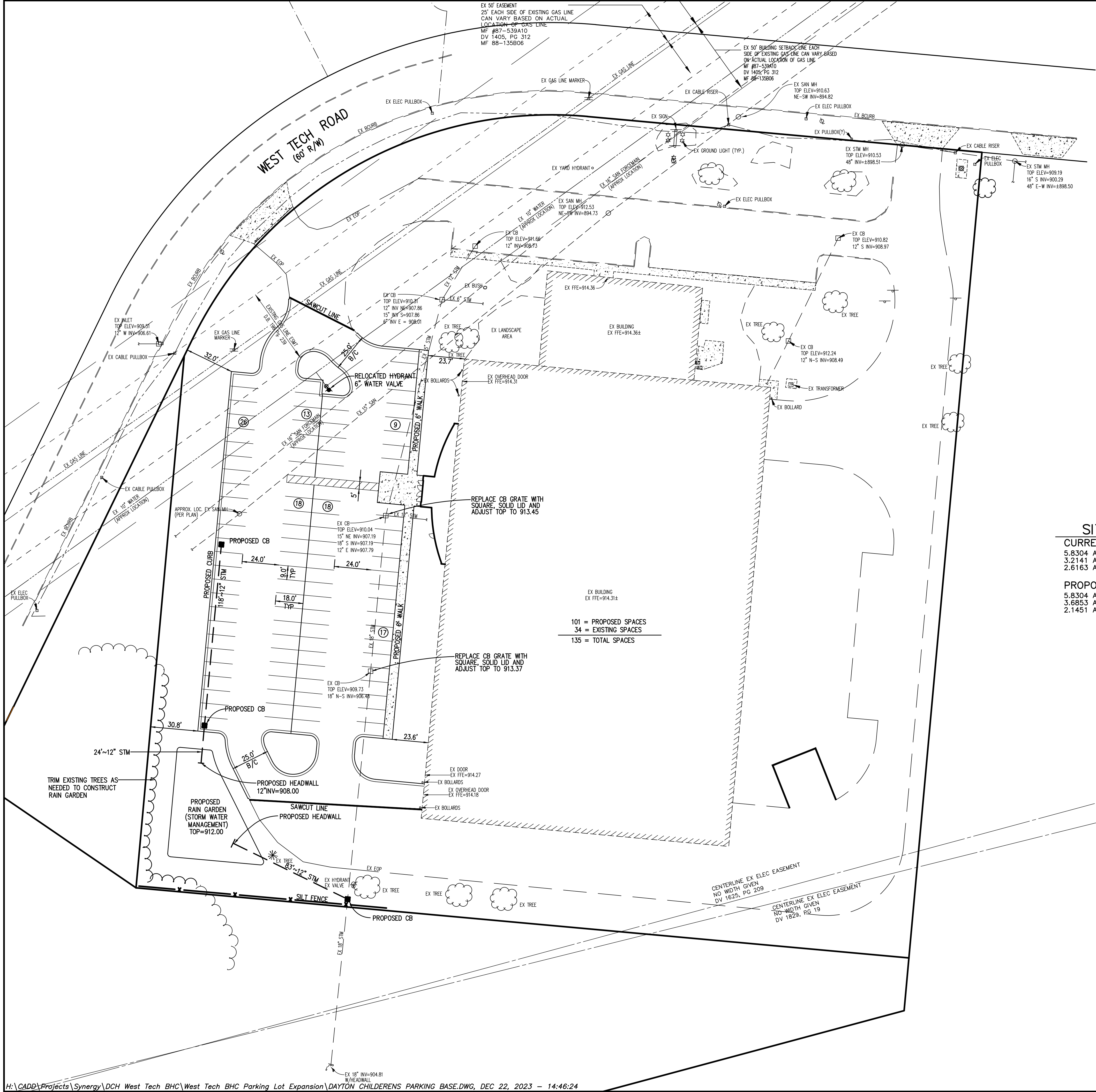
THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED BY FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS. IT IS BELIEVED THAT THEY ARE ESSENTIALLY CORRECT, BUT THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHOULD VERIFY LOCATIONS WITH THE UTILITY COMPANIES AND/OR THE OHIO UTILITIES PROTECTION SERVICE AT 1-800-362-2764 NOT LESS THAN 48 HOURS BEFORE STARTING ANY DEMOLITION OR EXCAVATION ACTIVITIES. CONTRACTOR TO VERIFY THAT ALL PROPOSED UTILITIES THAT CROSS EXISTING UTILITIES HAVE REQUIRED VERTICAL SEPARATION PRIOR TO COMMENCING CONSTRUCTION. CONTACT VAN ATTA ENGINEERING WHERE REQUIRED SEPARATION CANNOT BE ACHIEVED.



EXISTING TOPOGRAPHY/DEMOLITION PLAN
3300 WEST TECH ROAD
PARKING LOT EXPANSION

LOCATED IN SECTION 15, TOWN 2, RANGE 5 M.Rs.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

DATE: DECEMBER, 2023
SCALE: AS SHOWN
PROJECT No. 8245
FILE No.
SHEET No.



VICINITY MAP
NTS

SURVEY SYMBOLS LEGEND:

- EX CROSS NOTCH FOUND
- EX 5/8" IRON PIN FOUND
- EX 1" IRON PIPE FOUND
- EX CONCRETE MONUMENT FOUND
- EX PK NAIL FOUND
- EX RAILROAD SPIKE FOUND
- EX BOLLARD
- EX CATCH BASIN
- EX CURB INLET
- EX FIRE HYDRANT
- EX MANHOLE
- EX WATER VALVE
- EX GAS METER
- EX GUY WIRE
- EX GAS VALVE
- EX LIGHT POLE
- EX POWER POLE
- EX TRANSFORMER
- EX WATER METER PIT
- EX WELL
- IRON PIN SET (5/8" DIA, 30" LONG)
- CONCRETE MONUMENT SET
- PK NAIL SET
- CROSS NOTCH SET

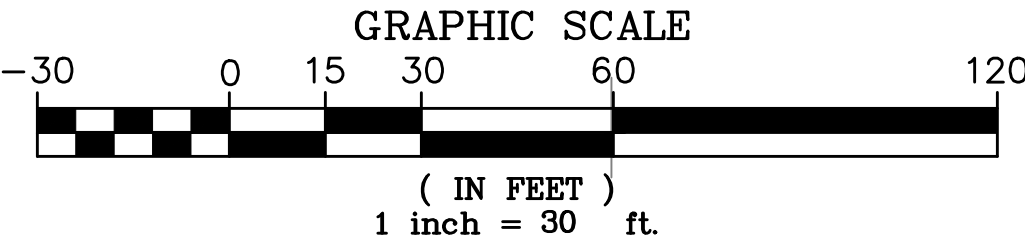
SITE DATA

CURRENT CONDITIONS
5.8304 Ac. - OVERALL AREA
3.2141 Ac. - IMPERVIOUS AREA (55.1%)
2.6163 Ac. - PERVIOUS AREA (44.9%)

PROPOSED CONDITIONS
5.8304 Ac. - OVERALL AREA
3.6853 Ac. - IMPERVIOUS AREA (63.2%)
2.1451 Ac. - PERVIOUS AREA (36.8%)

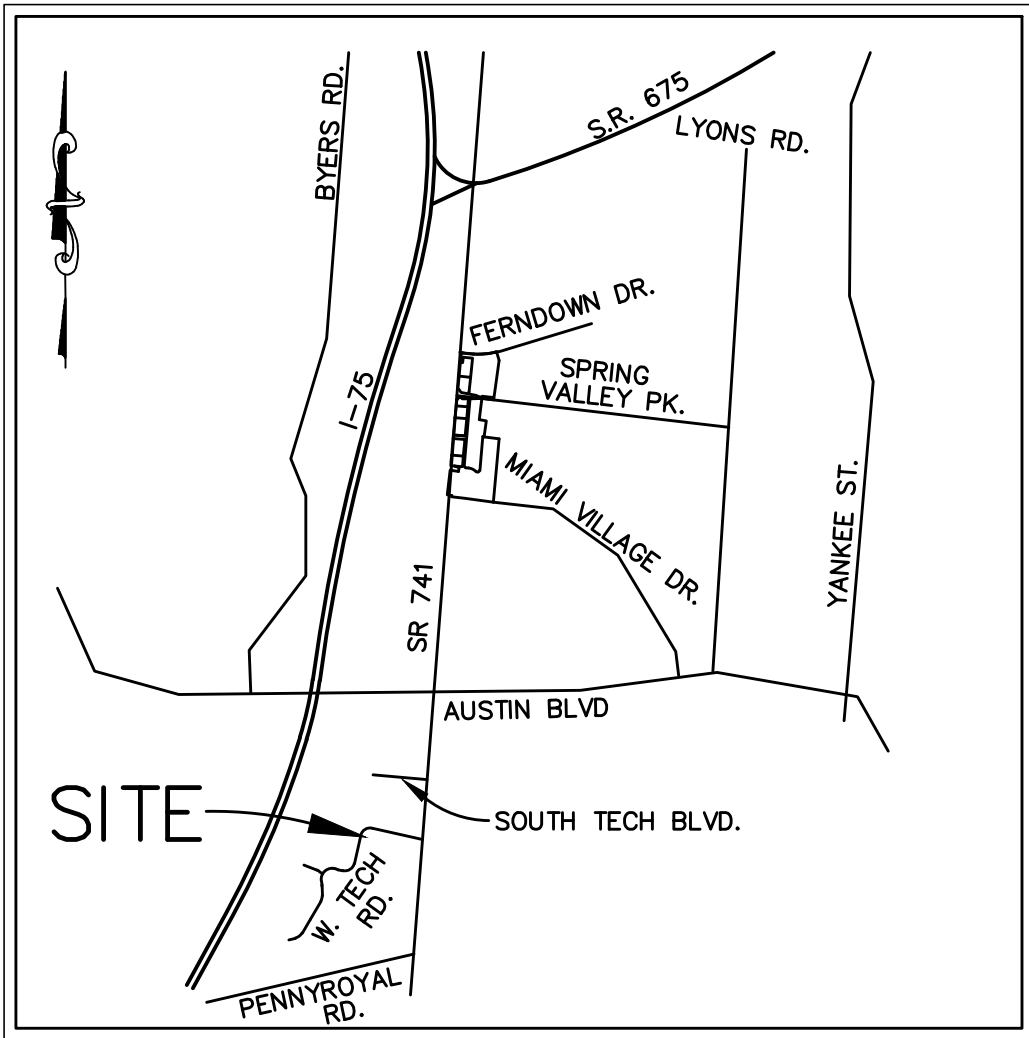
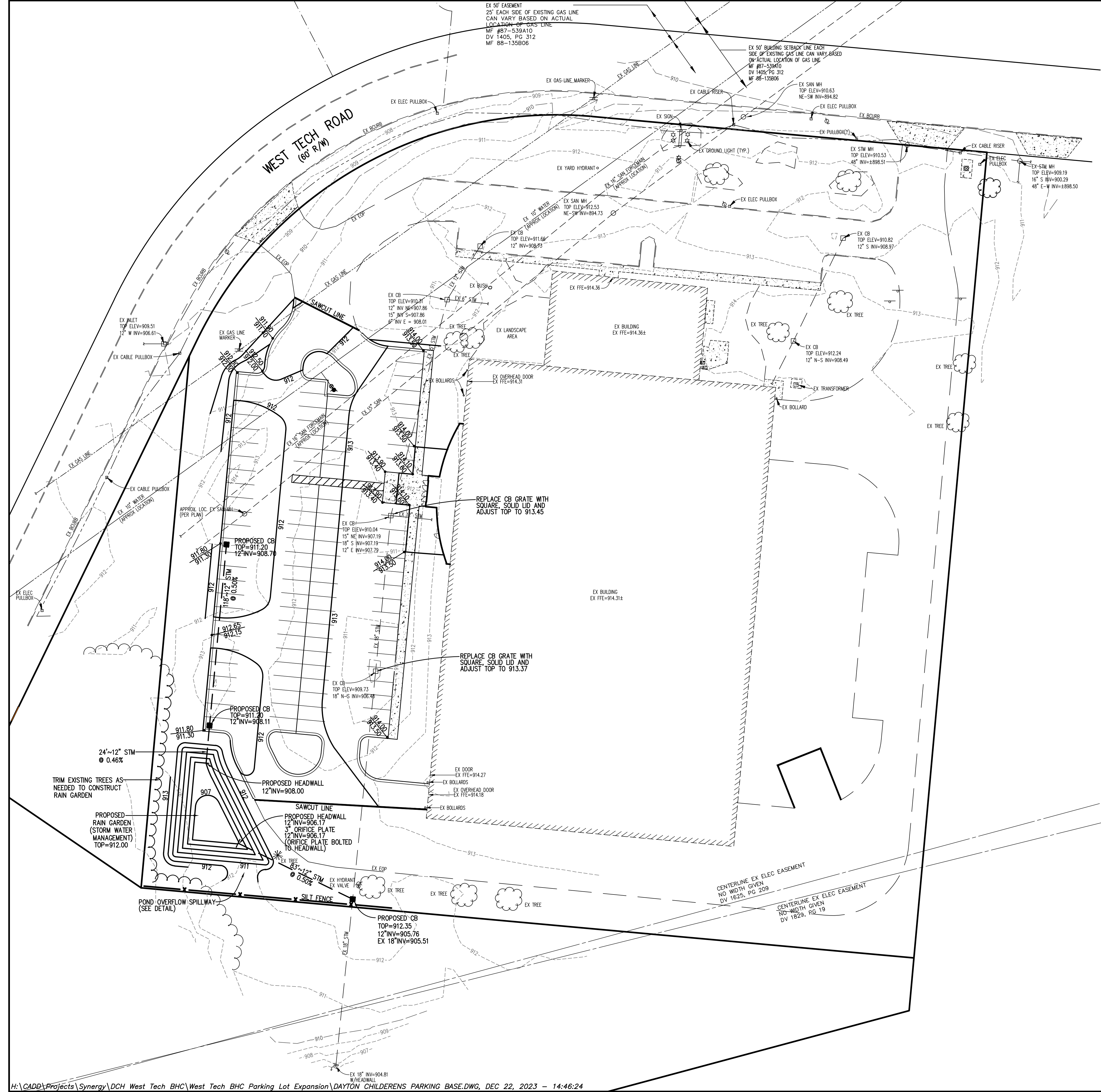
101 = PROPOSED SPACES
34 = EXISTING SPACES
135 = TOTAL SPACES

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED BY FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS. IT IS BELIEVED THAT THEY ARE ESSENTIALLY CORRECT, BUT THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHOULD VERIFY LOCATIONS WITH THE UTILITY COMPANIES AND/OR THE OHIO UTILITIES PROTECTION SERVICE AT 1-800-362-2764 NOT LESS THAN 48 HOURS BEFORE STARTING ANY DEMOLITION OR EXCAVATION ACTIVITIES. CONTRACTOR TO VERIFY THAT ALL PROPOSED UTILITIES THAT CROSS EXISTING UTILITIES HAVE REQUIRED VERTICAL SEPARATION PRIOR TO COMMENCING CONSTRUCTION. CONTACT VAN ATTA ENGINEERING WHERE REQUIRED SEPARATION CANNOT BE ACHIEVED.



SITE/UTILITY PLAN
3300 WEST TECH ROAD
PARKING LOT EXPANSION
LOCATED IN SECTION 15, TOWN 2, RANGE 5 M.Rs.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

DATE: DECEMBER, 2023
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FILE No.
SHEET NO.

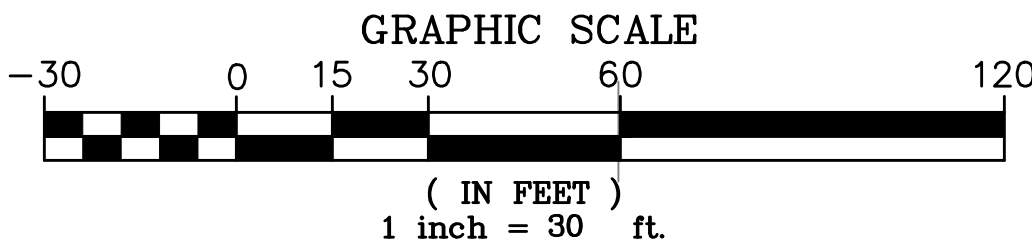


VICINITY MAP
NTS

SURVEY SYMBOLS LEGEND:

- EX CROSS NOTCH FOUND
- EX 5/8" IRON PIN FOUND
- EX 1" IRON PIPE FOUND
- EX CONCRETE MONUMENT FOUND
- EX PK NAIL FOUND
- EX RAILROAD SPIKE FOUND
- EX BOLLARD
- EX CATCH BASIN
- EX CURB INLET
- EX FIRE HYDRANT
- EX MANHOLE
- EX WATER VALVE
- EX GAS METER
- EX GUY WIRE
- EX GAS VALVE
- EX LIGHT POLE
- EX POWER POLE
- EX TRANSFORMER
- EX WATER METER PIT
- EX WELL
- IRON PIN SET (5/8" DIA, 30" LONG)
- CONCRETE MONUMENT SET
- PK NAIL SET
- CROSS NOTCH SET

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED BY FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS. IT IS BELIEVED THAT THEY ARE ESSENTIALLY CORRECT, BUT THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHOULD VERIFY LOCATIONS WITH THE UTILITY COMPANIES AND/OR THE OHIO UTILITIES PROTECTION SERVICE AT 1-800-362-2764 NOT LESS THAN 48 HOURS BEFORE STARTING ANY DEMOLITION OR EXCAVATION ACTIVITIES. CONTRACTOR TO VERIFY THAT ALL PROPOSED UTILITIES THAT CROSS EXISTING UTILITIES HAVE REQUIRED VERTICAL SEPARATION PRIOR TO COMMENCING CONSTRUCTION. CONTACT VAN ATTA ENGINEERING WHERE REQUIRED SEPARATION CANNOT BE ACHIEVED.

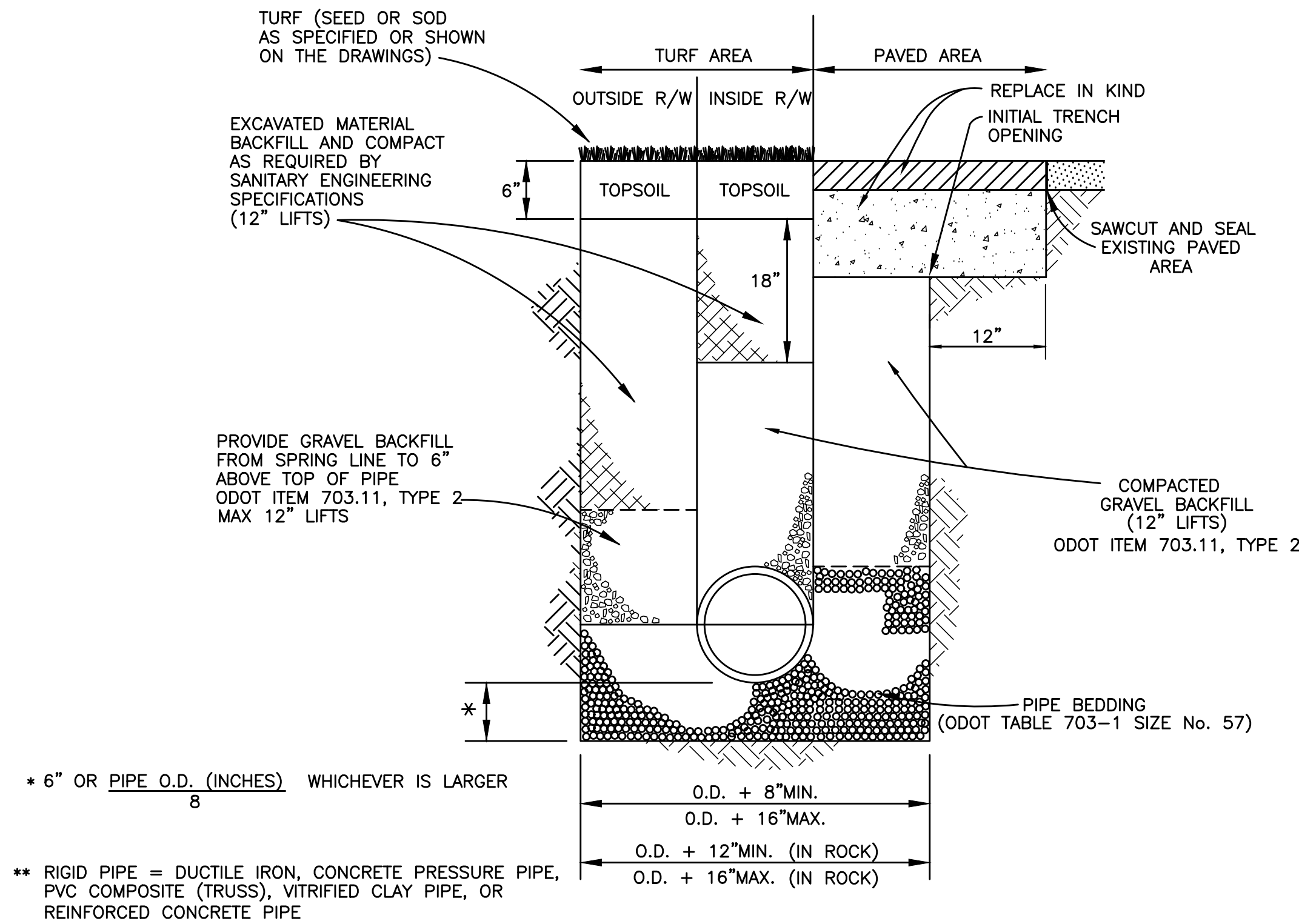


GRADING/EROSION CONTROL PLAN
3300 WEST TECH ROAD
PARKING LOT EXPANSION

LOCATED IN SECTION 15, TOWN 2, RANGE 5 M.Rs.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

DATE: DECEMBER, 2023
SCALE: AS SHOWN
PROJECT No. 8245
FILE No.
SHEET No.

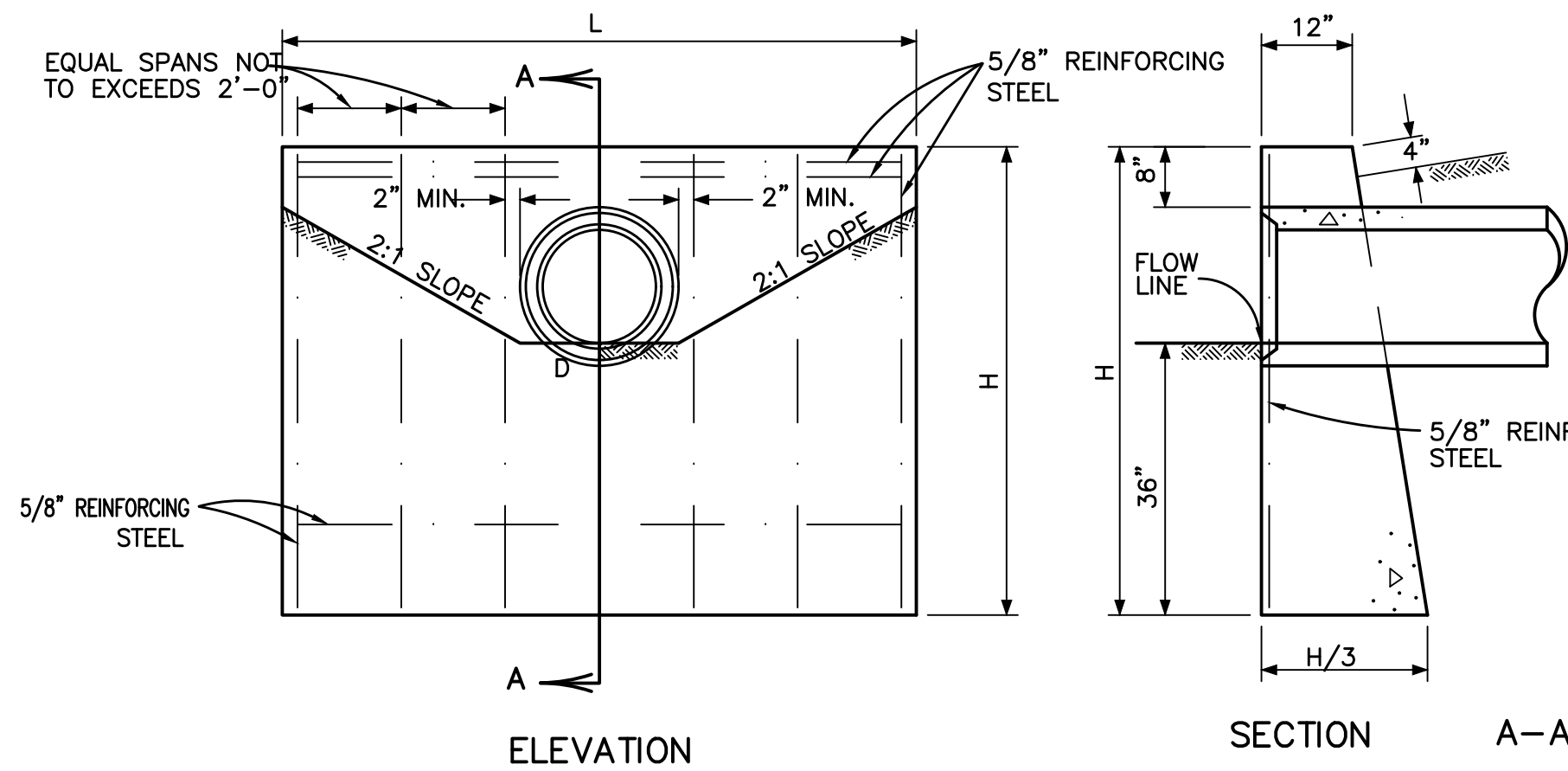
NOTE: ALL RESTORATION MUST COMPLY WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION



NOTES:

- ITEM NUMBERS REFER TO THE CURRENT EDITION OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", AND THIS CONSTRUCTION SHALL CONFORM TO THESE SPECIFICATIONS
- THE CONTRACTOR SHALL REPLACE AND/OR RESTORE, IN KIND, ALL DRAINAGE STRUCTURES, CULVERTS AND APPURTENANCES IN ALL AREAS DISTURBED BY THE CONTRACTOR.
- TRENCH SHALL BE COVERED WITH TEMPORARY PLATES WHILE FLOWABLE BACKFILL SETS UP

UTILITY TRENCH
(STORM, SANITARY, WATER)
NTS



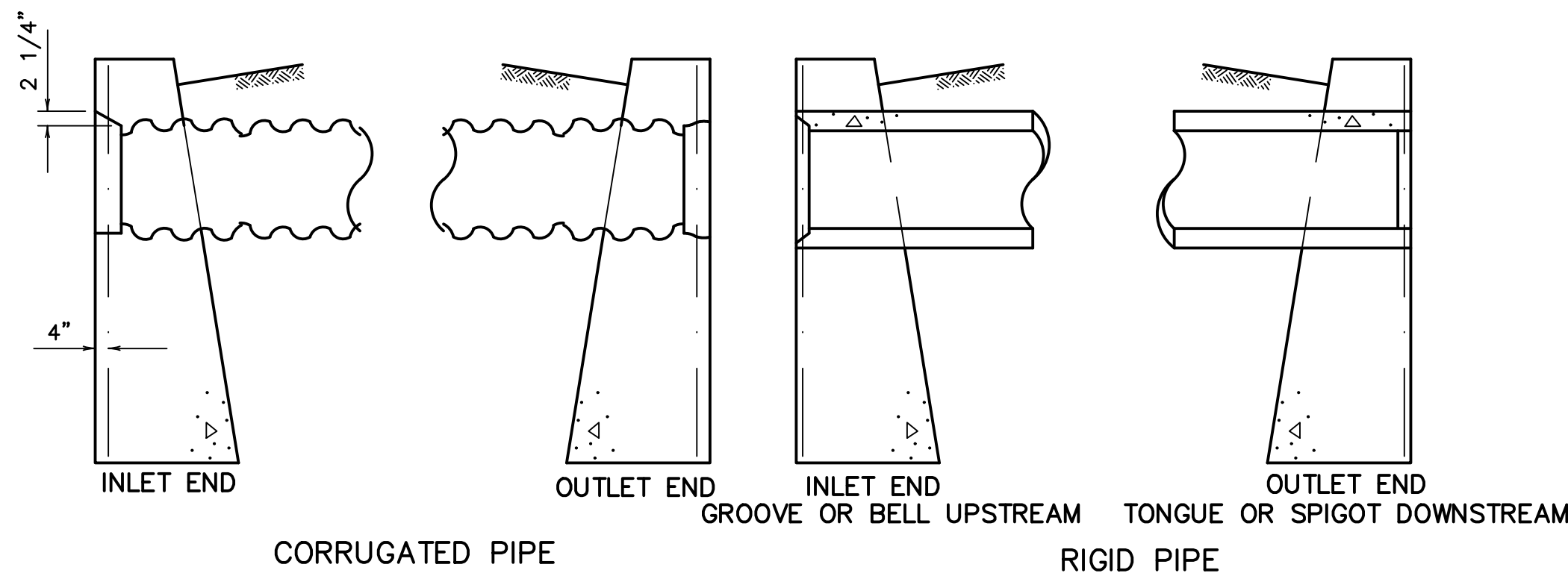
STANDARD No.1 HEADWALL
NTS

DIMENSIONS			QUANTITIES ONE HEADWALL	
DIAMETER	H	L	CONCRETE CU. YDS.	REINFORCING STEEL LBS.
15"	5'-2"	7'-0"	1.7	41
18"	5'-5"	8'-4"	2.2	57
21"	5'-8"	9'-8"	2.8	62
24"	5'-11"	11'-0"	3.3	69
30"	6'-5"	13'-8"	4.7	92
36"	7'-0"	16'-4"	6.5	105

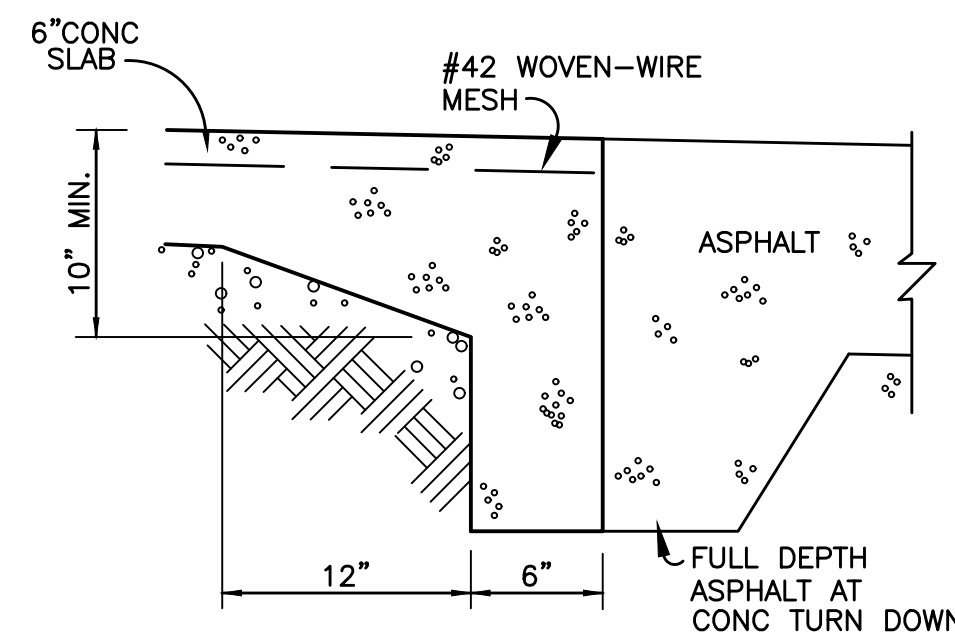
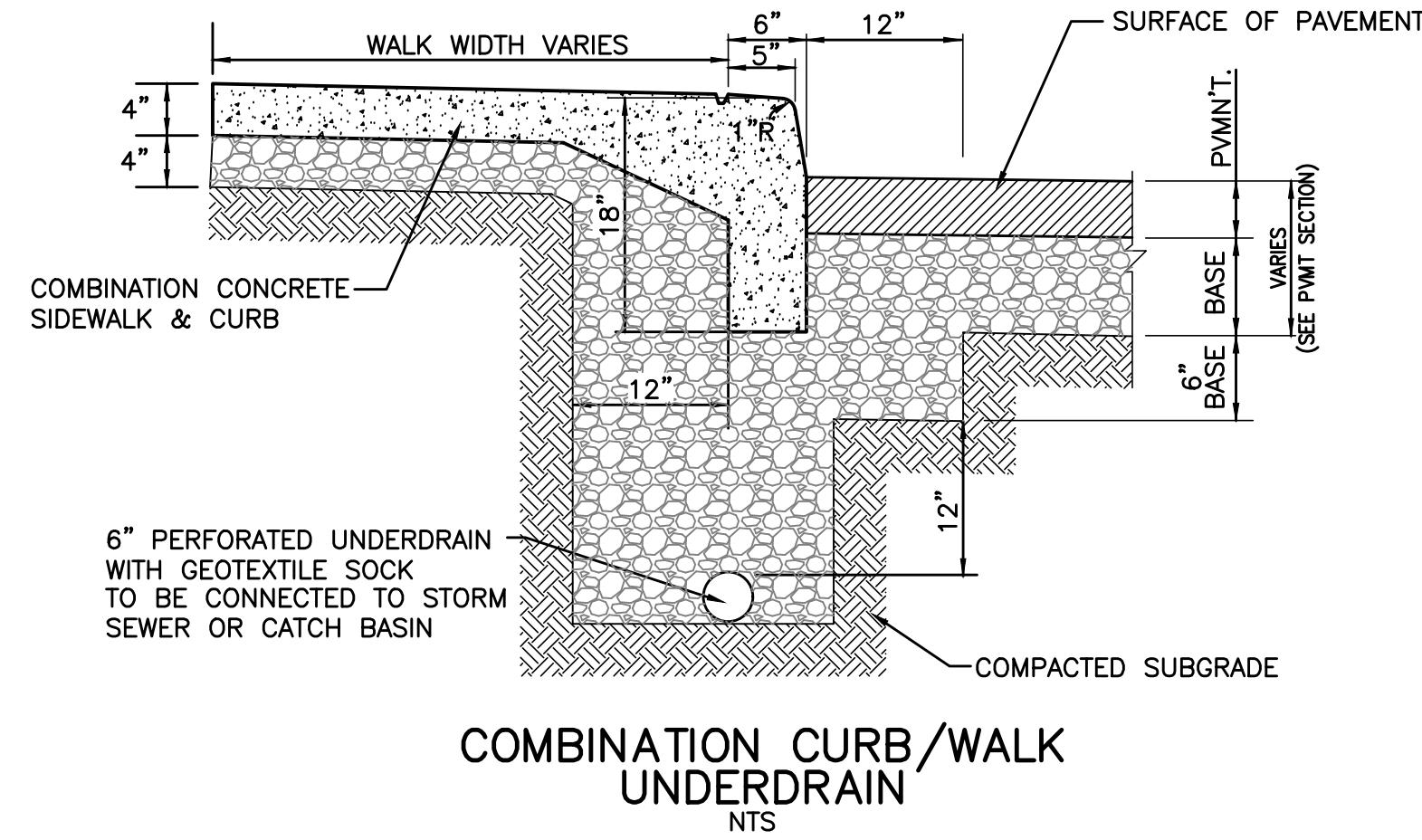
L CIRCULAR SECTIONS = 5D + 4T
L ELLIPTICAL OR PIPE-ARCH = 4R + 4T + S
H CIRCULAR SECTIONS = D + T + 44"
H ELLIPTICAL OR PIPE-ARCH = R + T + 44"
D = DIAMETER OF PIPE
R = RISE OF PIPE
S = SPAN OF PIPE
T = THICKNESS OF BARREL
L = LENGTH OF HEADWALL
H = HEIGHT OF HEADWALL

NOTES:

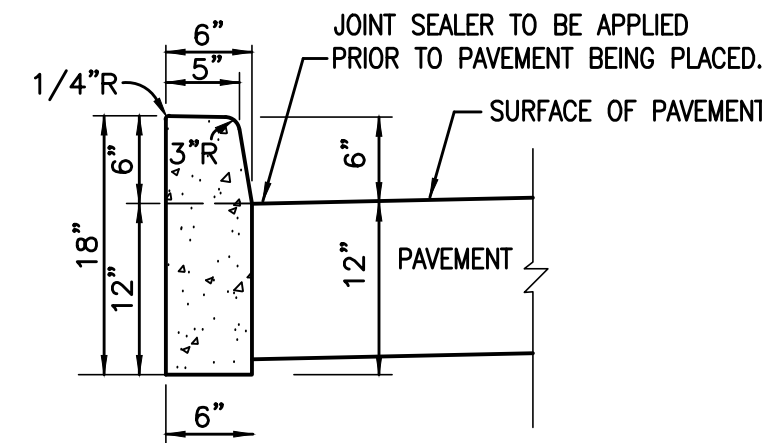
No.1 HEADWALL WHERE REQUIRED WILL BE PROVIDED FOR NONSKEWED CULVERTS HAVING A DIAMETER OR RISE OF 36 INCHES OR LESS.
CONCRETE SHALL BE CLASS "C" REINFORCING STEEL BARS SHALL BE 5/8 INCH ROUND
DIMENSIONS AND QUANTITIES ARE SHOWN FOR CIRCULAR SECTIONS ONLY. IT WILL BE NECESSARY TO DETERMINE DIMENSIONS FOR THE No.1 HEADWALL REQUIRED FOR REINFORCED ELLIPTICAL CONCRETE PIPE OR CORRUGATED METAL PIPE ARCHES IN ACCORDANCE WITH THE EQUATIONS LISTED ON THIS DRAWING
CHAMER ALL EXPOSED CORNERS 3/4 OF AN INCH
FOUNDATION WHERE THE SOIL BORINGS INDICATE A BEARING CAPACITY OF LESS THAN 2600 POUNDS PER SQUARE FOOT, IT WILL BE NECESSARY TO INCREASE THE WIDTH OF THE BASE.



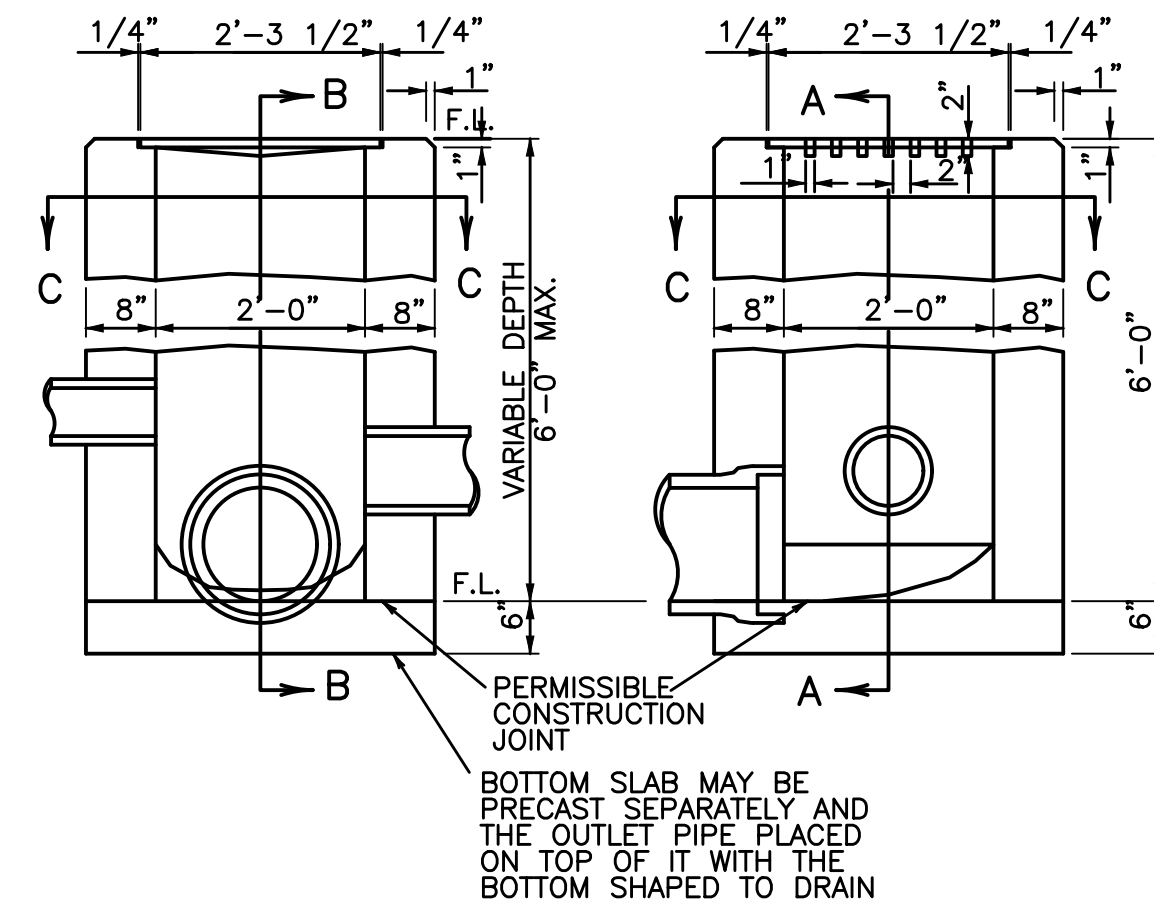
HW-1 HEADWALLS
NTS



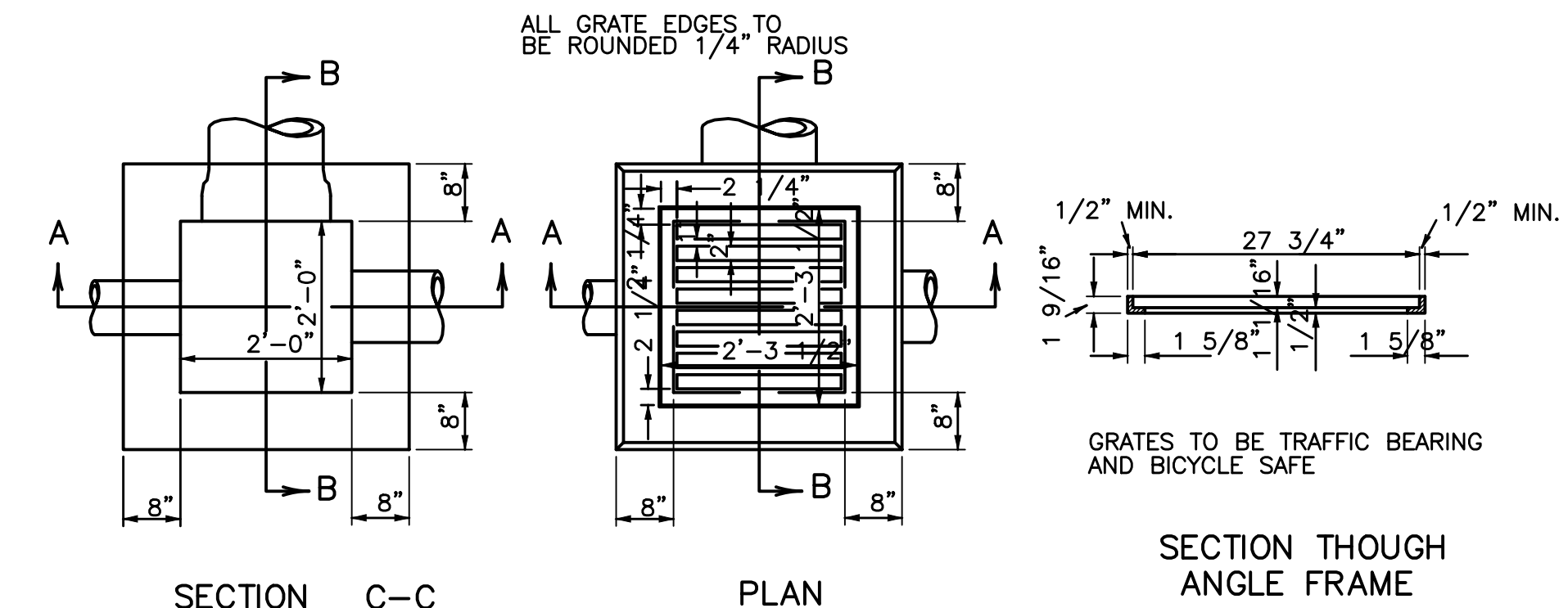
CONCRETE TURN DOWN
AT DUMPSTER PAD
NTS



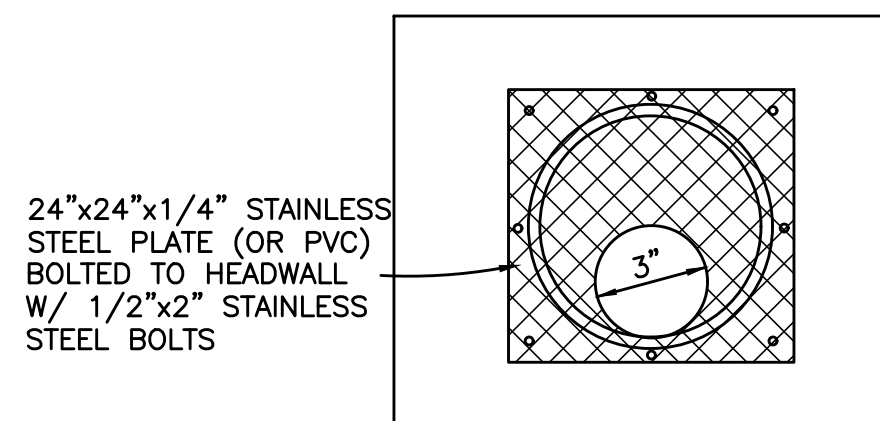
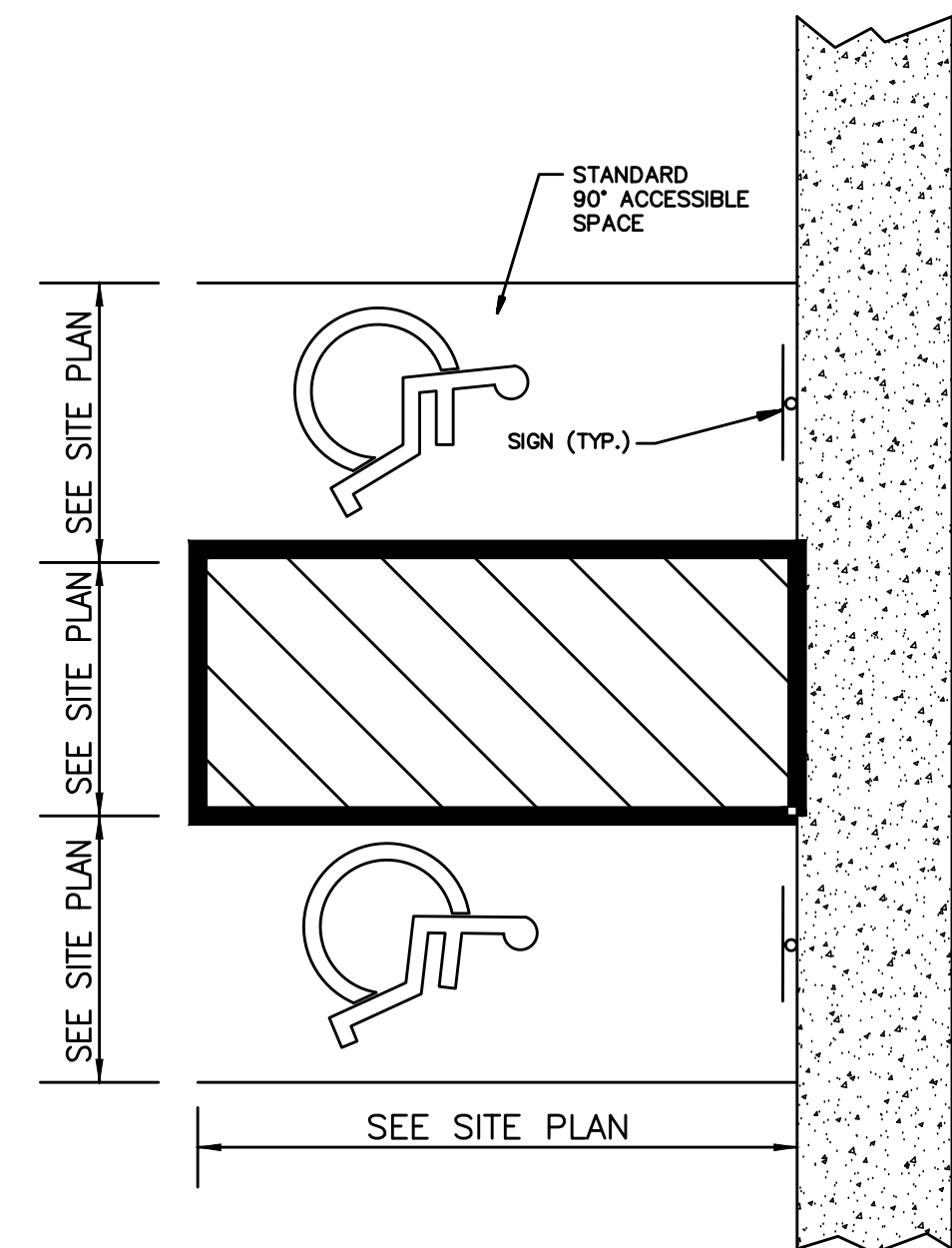
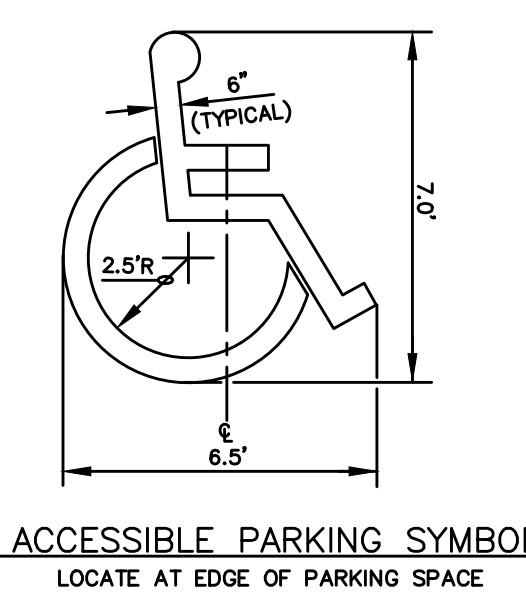
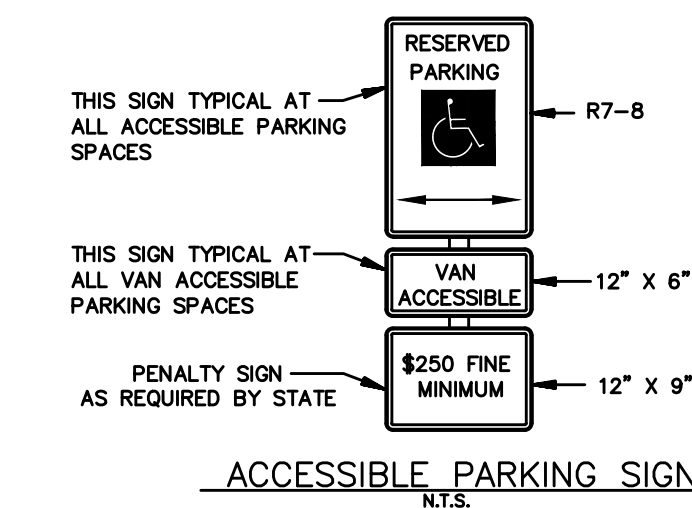
TYPE 6
BARRIER CURB
NTS



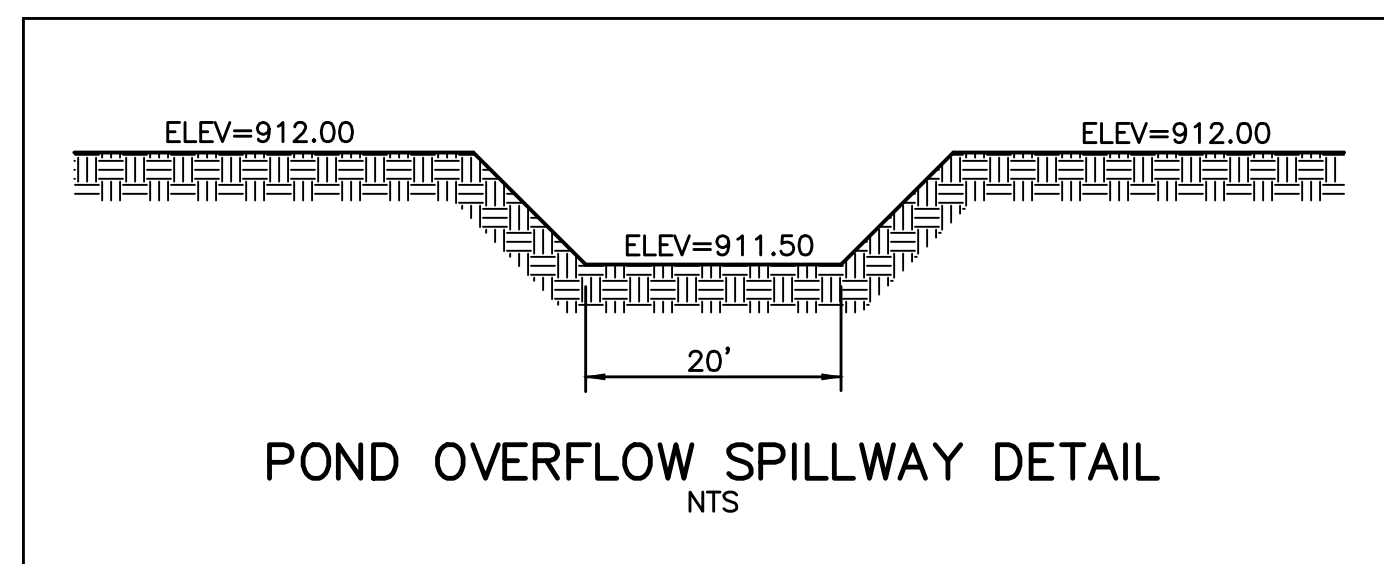
SECTION A-A SECTION B-B



STANDARD No. 2-2-B CATCH BASIN
NTS



ORIFICE PLATE DETAIL
BOLTED TO HEADWALL
NTS



POND OVERFLOW SPILLWAY DETAIL
NTS

LOCATION AND ELEVATION WHEN GIVEN ON THE PLANS IS TOP CENTER OF THE GRATE WHEN SIDE OPENINGS ARE PROVIDED, ELEVATION SHALL BE THE FLOW LINE OF THE SIDE INLET.

GRATING AND FRAME ~ THE DESIGN SHALL BE ESSENTIALLY THE SAME AND EQUALLY AS STRONG AS THE ONE SHOWN HEREON.
WEIGHT OF GRATE, MINIMUM, 120 lbs.
WEIGHT OF FRAME, MINIMUM, 40 lbs.

BRICK, CONCRETE BLOCK OR CAST-IN-PLACE WALLS HAVE A NOMINAL THICKNESS OF 8 INCHES. PRECAST WALLS SHALL HAVE A MINIMUM THICKNESS OF 6 INCHES AND BE REINFORCED SUFFICIENTLY TO PERMIT SHIPPING AND HANDLING WITHOUT DAMAGE.
CONCRETE, CAST-IN-PLACE, TO BE CLASS C ALL PRECAST CONCRETE SHALL MEET THE REQUIREMENTS OF 706.13 WITH 6 +/- 2% AIR VOID CONTENT IN THE HARDED CONCRETE AND BE MARKED WITH CATCH BASIN NUMBER.

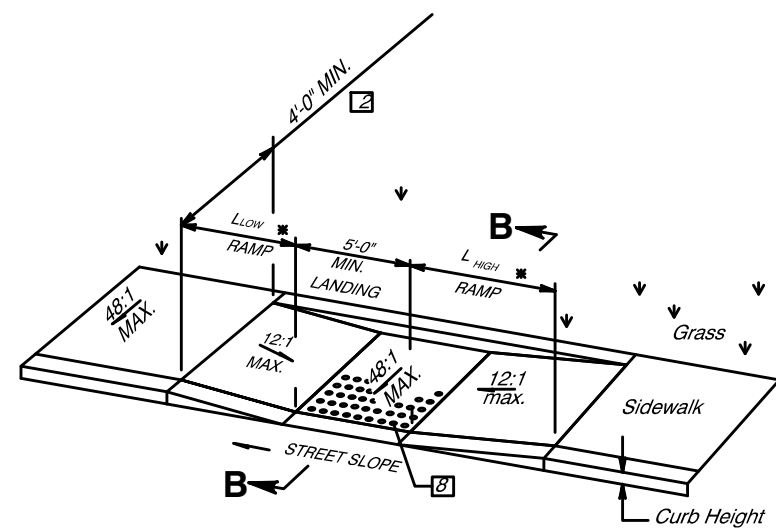
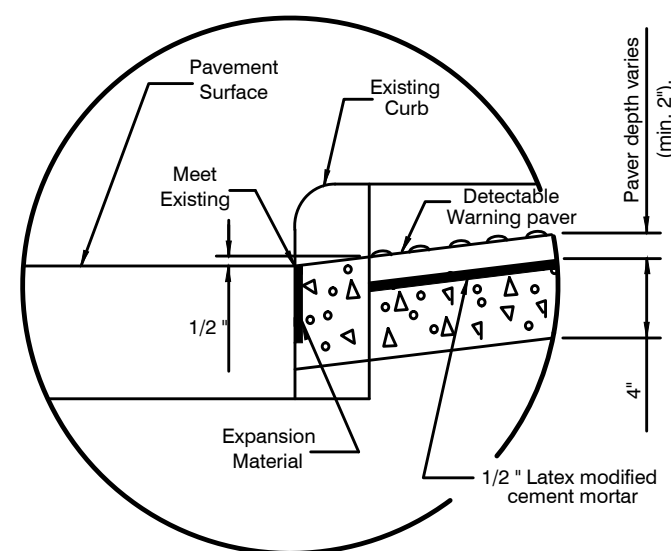
OPENINGS FOR PIPES SHALL BE O.D. +2\"/>

STREET SLOPE	RAMP LENGTH @ 1" / FT	
	L _{LOW SIDE} *	L _{HIGH SIDE} *
0.01	2'-0"	6'-10"
0.02	4'-10"	7'-11"
0.03	4'-0"	9'-8"
0.04	4'-1"	11'-8"
0.05	8'-0"	15'-2"

* MEASURED ALONG THE BACK OF A 6" HIGH CURB.

$$L_{HIGH} = \frac{CURB HT.}{0.083 + STREET SLOPE}$$

$$L_{LOW} = \frac{CURB HT.}{0.083 + STREET SLOPE}$$



PARALLEL CURB RAMP DETAIL (DOUBLE) NTS

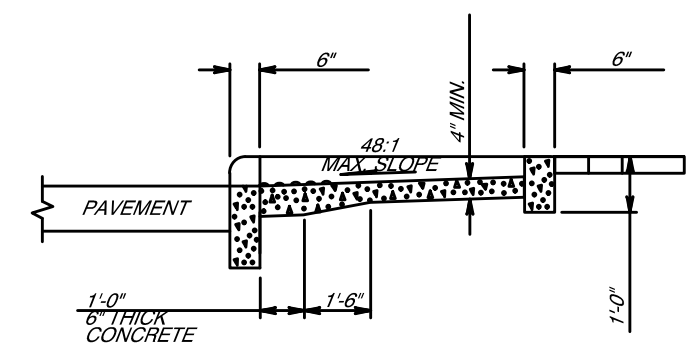
LEGEND

1 MAY BE REDUCED TO 3'-4" IN EXISTING SIDEWALKS TO BETTER FIT THE WALK CONFIGURATION OR WHERE SITE CONDITIONS ARE RESTRICTED BY NARROW WALKS, POLE FOUNDATIONS, DRAINAGE INLETS, ETC. THE WIDTH MAY BE TAPERED.

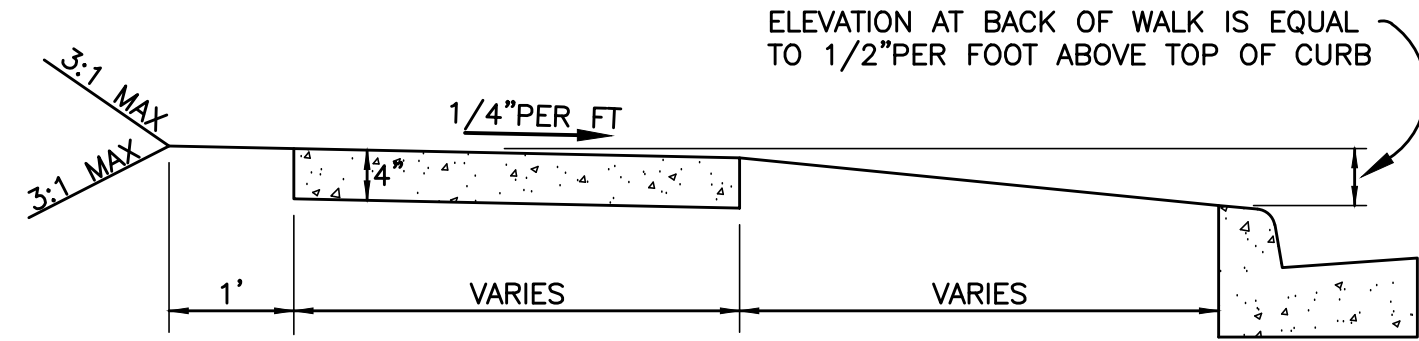
2 DETACHABLE WARNINGS (TRUNCATED DOMES) ARE TO BE INSTALLED IN THE LOCATIONS SHOWN. DIMENSIONS OF THE DOMES ARE 24 INCHES FROM THE BACK OF THE CURB BY THE WIDTH OF THE RAMP.

NOTES

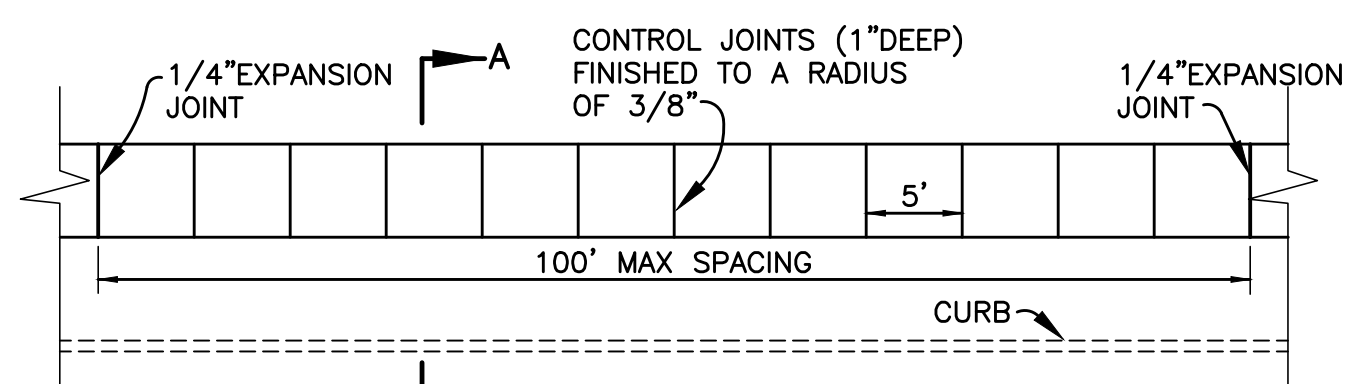
1. SURFACE TEXTURE: TEXTURE SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE RAMP SLOPES AND SHALL BE ROUGHER THAN ADJACENT WALK.
2. JOINTS: SHALL BE PROVIDED IN THE CURB RAMP AS EXTENSIONS OF WALK JOINTS AND CONSISTENT WITH ITEM 608.03 REQUIREMENTS FOR A NEW CONCRETE WALK. A 1/2" ITEM 705.03 EXPANSION JOINT FILLER SHALL BE PROVIDED AROUND THE EDGE OF RAMPS BUILT IN EXISTING CONCRETE WALK. LINES SHOWN ON THIS DRAWING INDICATE THE RAMP EDGE AND SLOPE CHANGES AND ARE NOT NECESSARILY JOINT LINES.
3. PAYMENT: WALK AND CURB, ITEMS 608 AND 609, SHALL BE MEASURED THROUGH THE CURB RAMP AREA PAID FOR ITEM 608 - CURB UNDER THEIR RESPECTIVE ITEMS. CONSTRUCTED IN NEW CURB AND WALK SHALL RAMP, EACH, INCLUDE THE COST OF ANY ADDITIONAL MATERIALS, GRADING, ITEM 608 - CURB RAMP, FORMING AND FINISHING, CONSTRUCTED IN EXISTING CURB SQUARE FOOT, AND WALK SHALL INCLUDE THE COST OF FURNISHING ALL MATERIALS, GRADING, FORMING, AND FINISHING OF THE CURB AND WALK OF THE CURB RAMP. REMOVAL OF EXISTING CURB AND WALK SHALL BE PAID FOR UNDER ITEM 202.
4. TRUNCATED DOMES: INSTALL DETACHABLE WARNINGS (TRUNCATED DOMES) FOR A DISTANCE OF 24" FROM THE BACK OF THE CURB FOR THE ENTIRE WIDTH OF THE RAMP OPENING AS SHOWN.



SECTION B-B



SECTION A-A

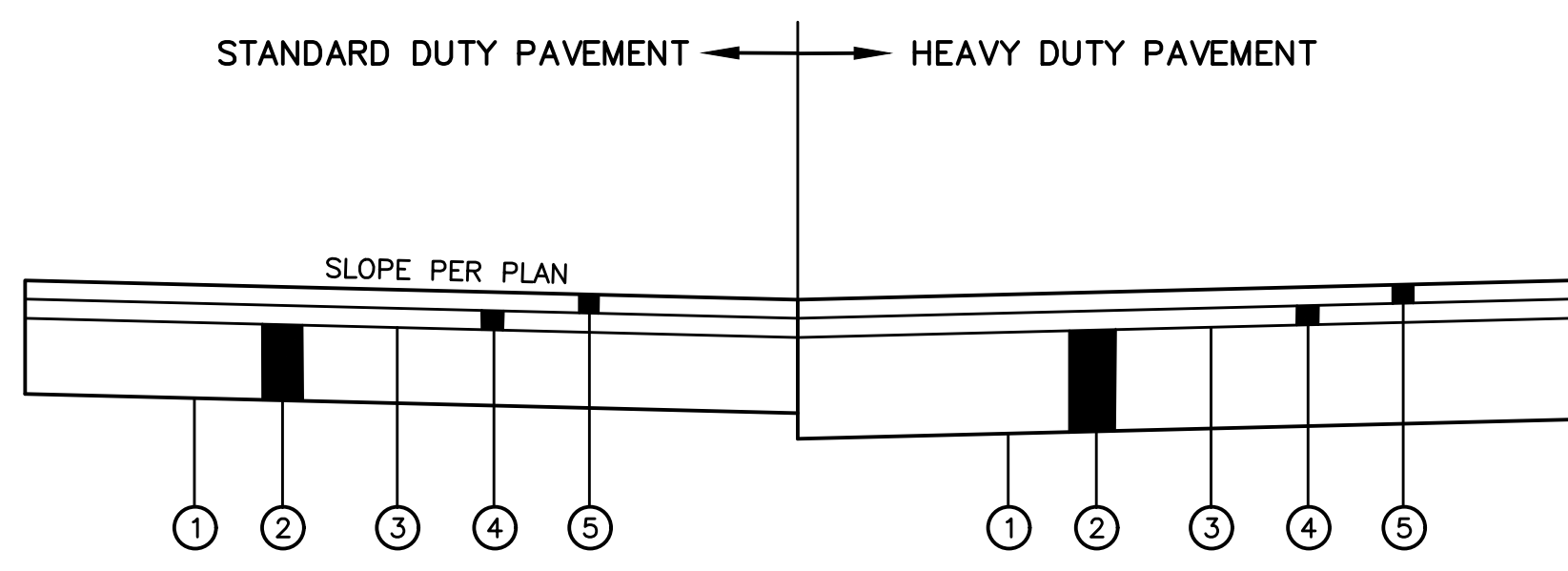


PLAN VIEW

NOTES:

- 1) CONCRETE FOR SIDEWALKS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 608.
- 2) ALL EXPOSED SURFACES SHALL BE BROOMED AND EDGED.
- 3) SIDEWALKS SHALL BE 4" THICK, EXCEPT THRU DRIVEWAYS WHICH SHALL BE 6".
- 4) 4" OF GRAVEL BASE SHALL BE PLACED UNDER WALKS.
- 5) WALK SHALL BE BACKFILLED WITHIN 5 DAYS OF BEING POURED.
- 6) CURING COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH ITEM 451.10.

SIDEWALK DETAIL NTS

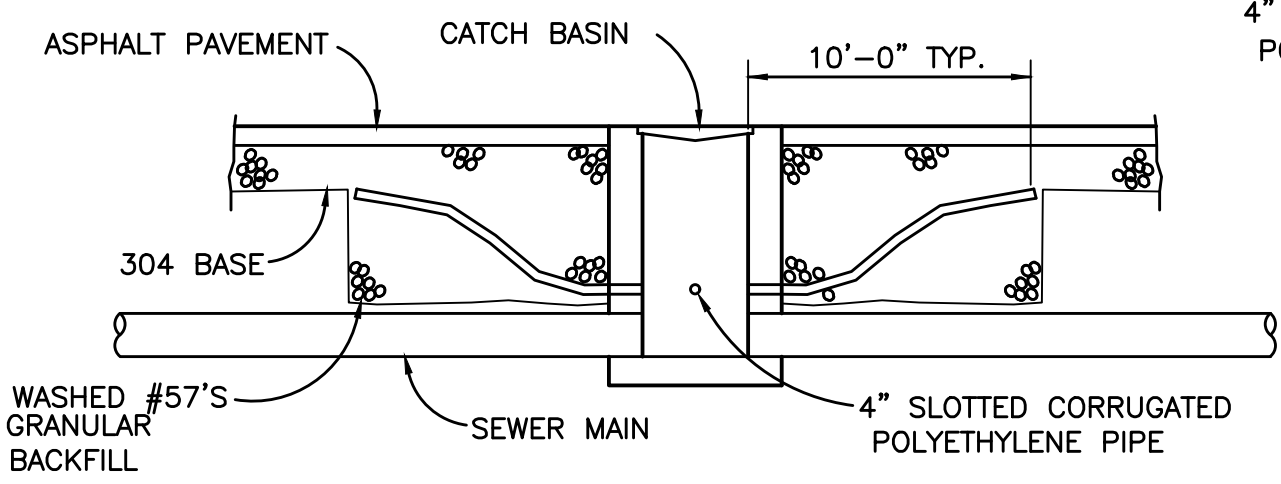


PAVEMENT SECTION (INTERIOR SITE PAVING) NTS

(THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES.) CONTRACTOR SHALL REVIEW ALL PAVEMENT SECTIONS AND SUBSURFACE CONDITIONS WITH OWNER PRIOR TO THE START OF CONSTRUCTION.

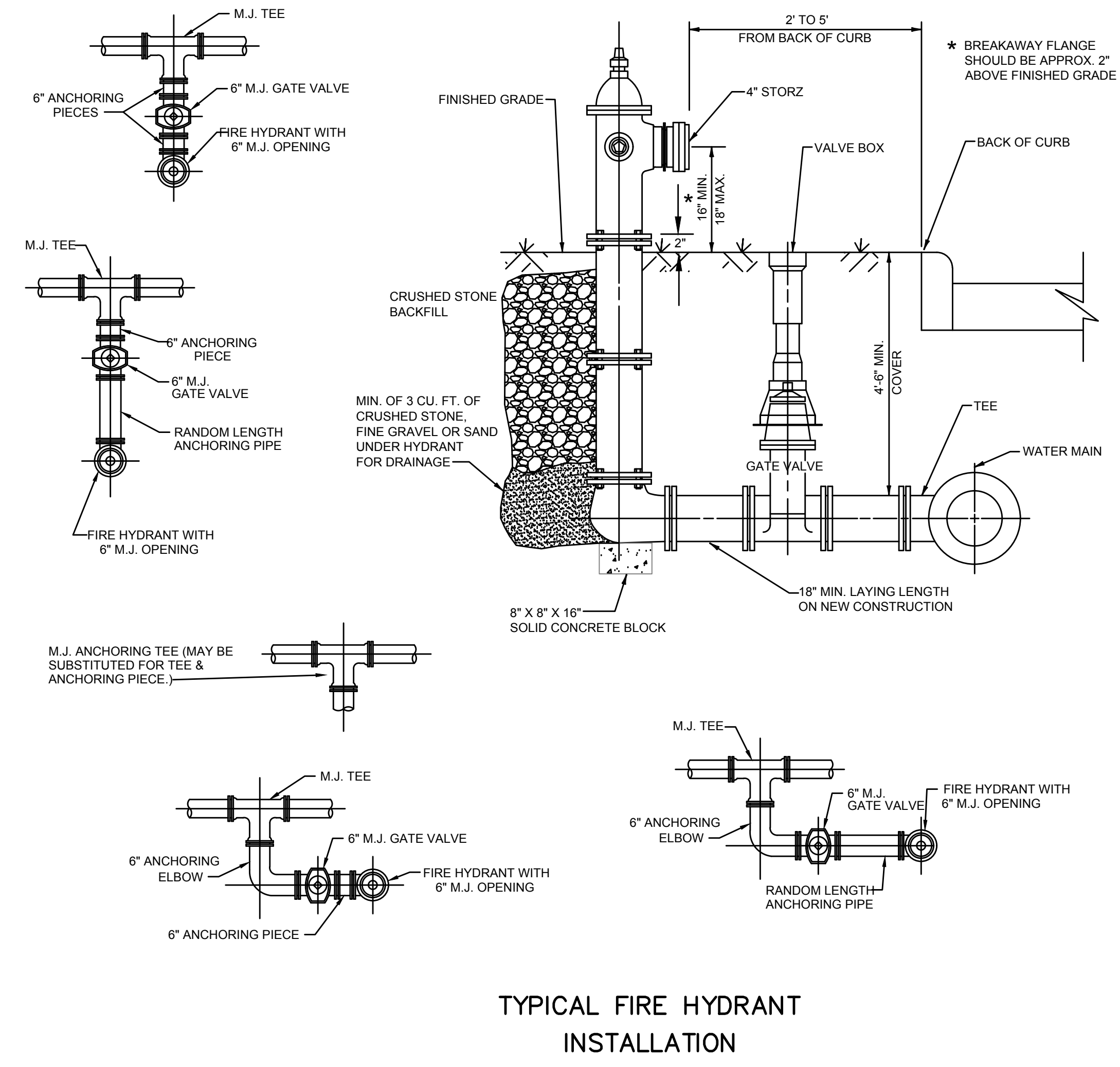
- 1 ITEM 203 - SUBGRADE COMPACTION
- 2 ITEM 304 - GRANULAR BASE ~ 6" COURSE
- 3 ITEM 408 - PRIME COAT MC-30 OR RT-2 @ 0.5 GAL/SY TO BE APPLIED IMMEDIATELY AFTER ITEM 304
- 4 ITEM 448 - ASPHALTIC CONCRETE BINDER ~ 2" COURSE
- 5 ITEM 448 - ASPHALTIC CONCRETE SURFACE ~ 1.5" COURSE

- 1 ITEM 203 - SUBGRADE COMPACTION
- 2 ITEM 304 - GRANULAR BASE ~ 8" COURSE
- 3 ITEM 408 - PRIME COAT MC-30 OR RT-2 @ 0.5 GAL/SY TO BE APPLIED IMMEDIATELY AFTER ITEM 304
- 4 ITEM 448 - ASPHALTIC CONCRETE BINDER ~ 2.5" COURSE
- 5 ITEM 448 - ASPHALTIC CONCRETE SURFACE ~ 1.5" COURSE



NOTE: TO BE USED WITH AGGREGATE BASE PAVEMENT SECTION ONLY.

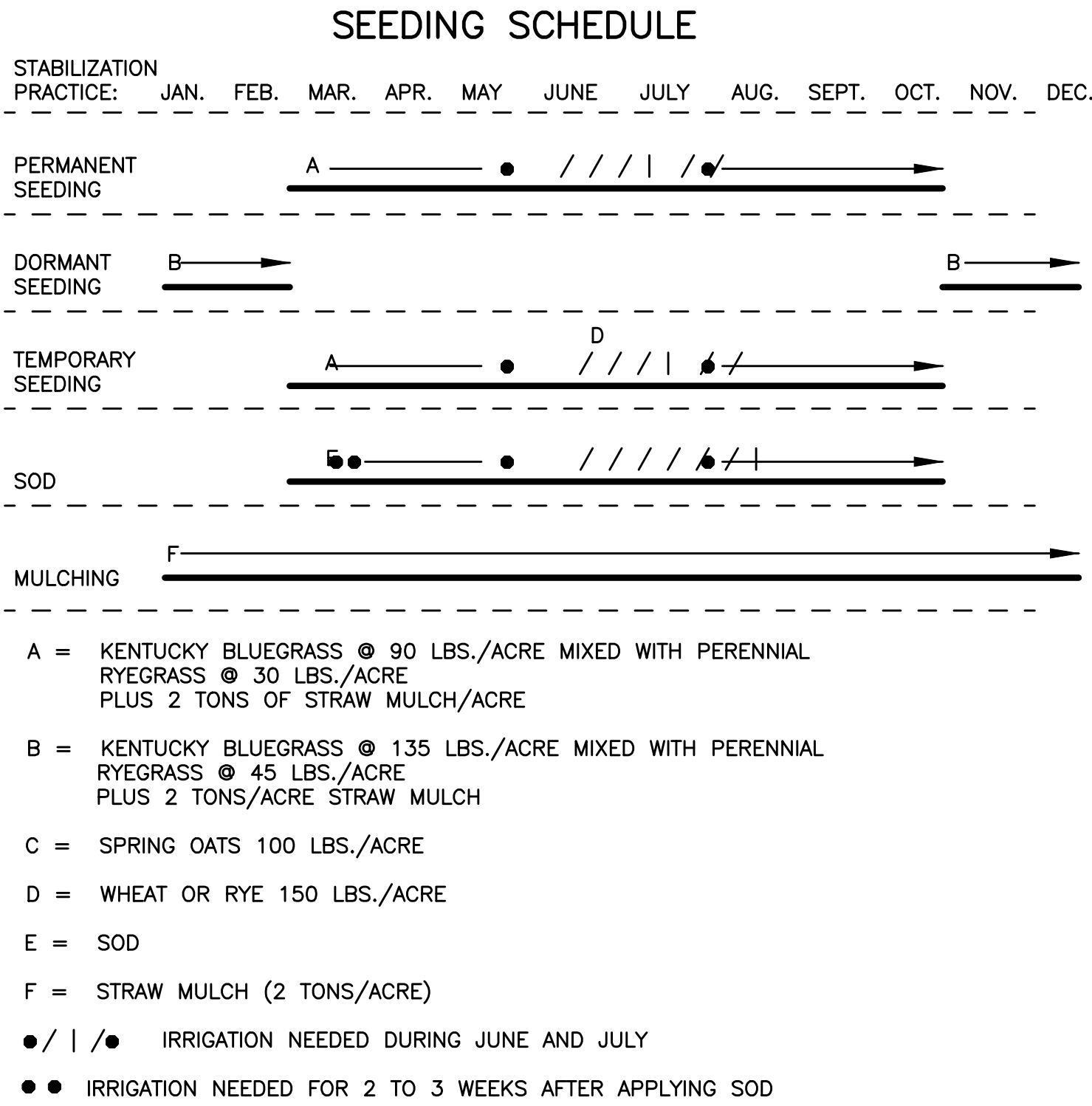
SUBGRADE DRAINAGE AROUND CATCH BASINS (TYPICAL) NTS



TYPICAL FIRE HYDRANT INSTALLATION

MISCELLANEOUS DETAILS - 2
3300 WEST TECH ROAD
PARKING LOT EXPANSION
LOCATED IN SECTION 15, TOWN 2, RANGE 5 M.Rs.
CITY OF SPRINGBORO, WARREN COUNTY, OHIO

DATE: DECEMBER, 2023
SCALE: AS SHOWN
PROJECT No. 8245
FILE No.
SHEET NO.



INSPECTION SCHEDULE

DIVERSION AND STRUCTURAL MEASURES — AT SEVEN (7) DAY INTERVALS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY STORM EVENT GREATER THAN ONE HALF INCH (0.05") OF RAIN PER TWENTY-FOUR (24) HOUR PERIOD.

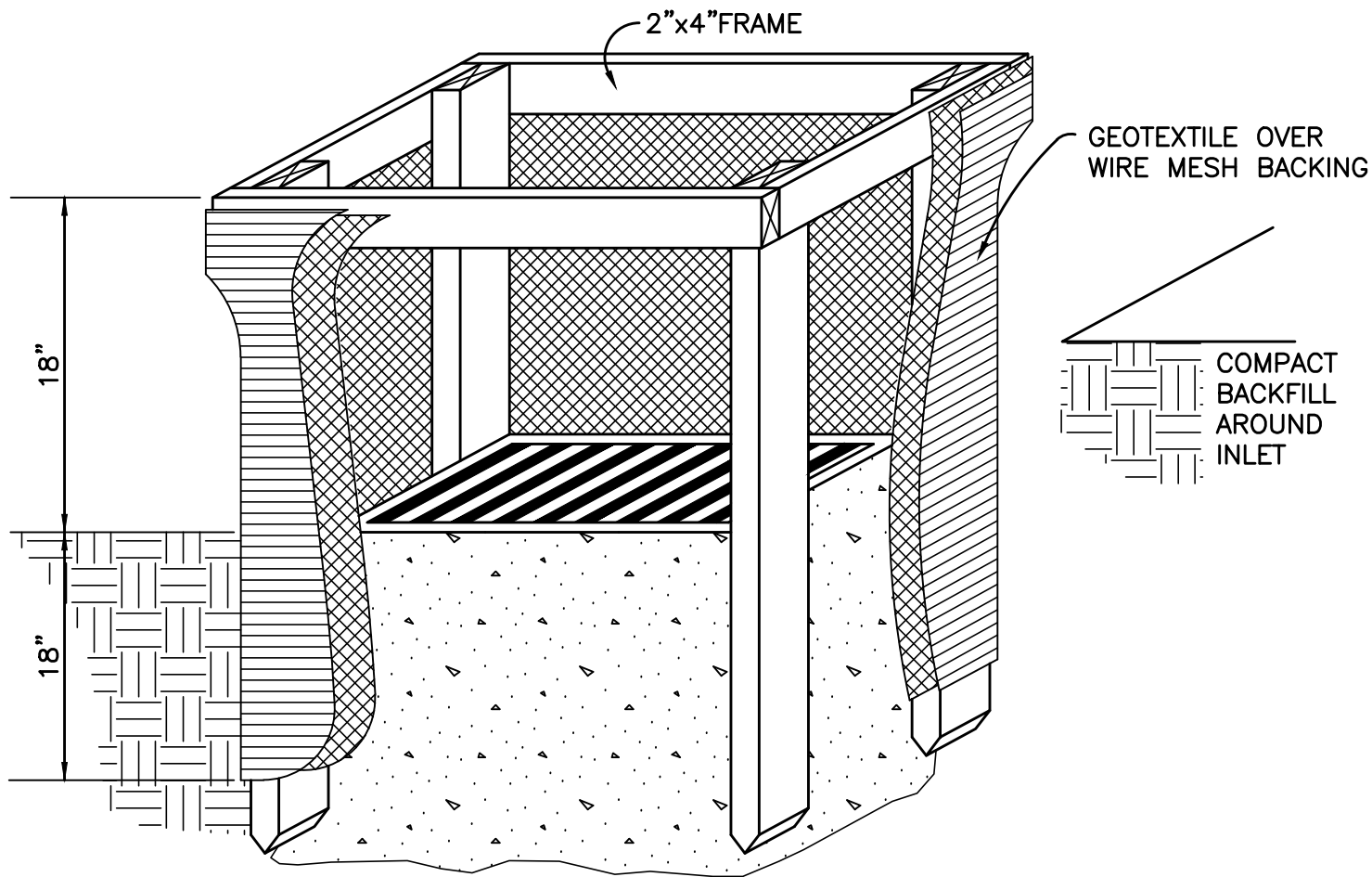
SEDIMENT AND PONDS — SHALL BE CLEANED OUT ONCE THE COLLECTED SILT IN THE POND REACHES FORTY (40%) PERCENT OF THE POND'S CAPACITY (APPROXIMATELY ONE-HALF OF THE POND DEPTH).

VEGETATIVE PLANTING — SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.

REPAIRS — ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN SEVEN (7) DAYS.

MOWING — DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW.

FERTILIZATION — SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE INSPECTED AND FERTILIZED AS NECESSARY.



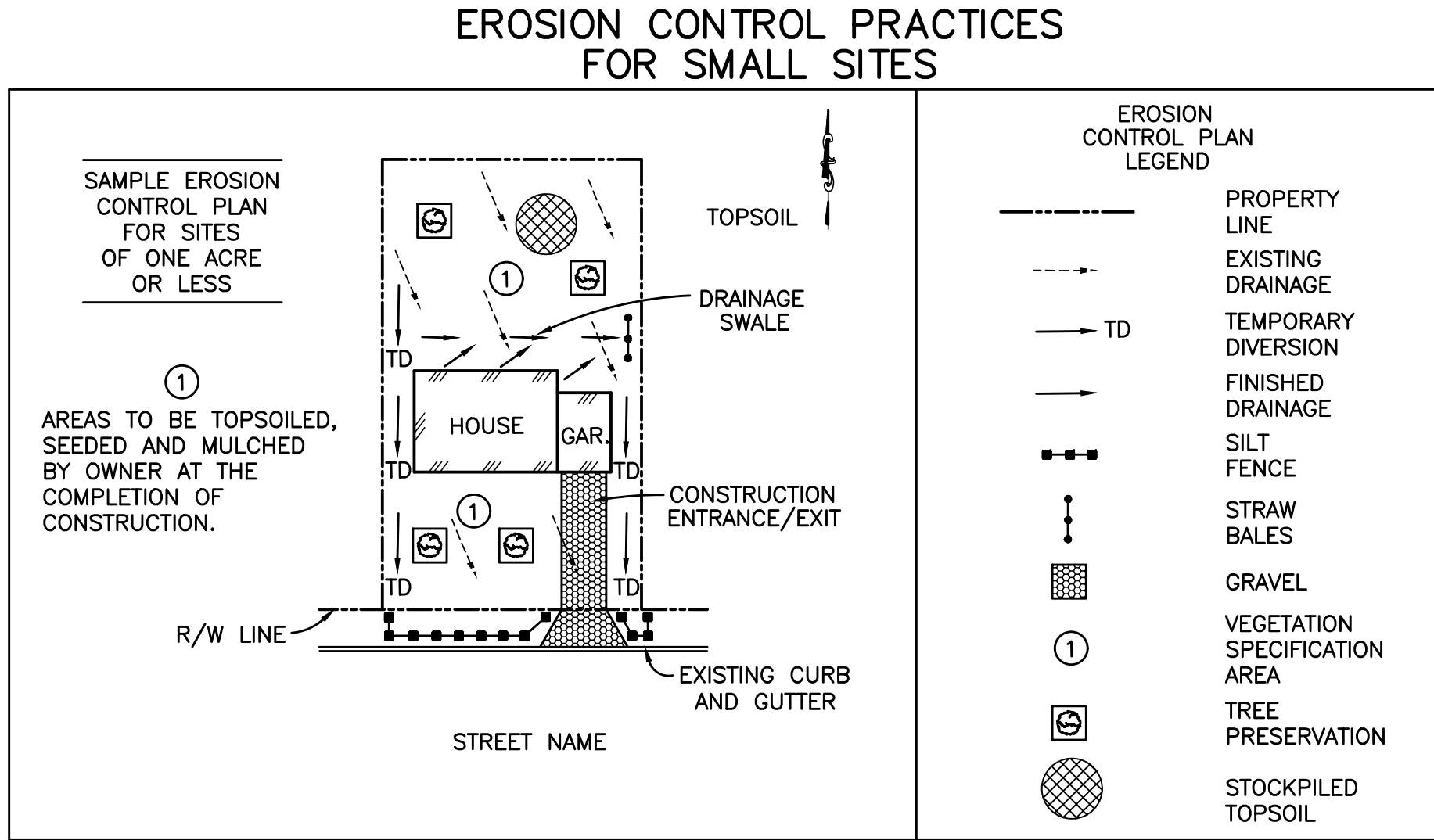
- 1) INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
- 2) THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- 3) THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4 INCH CONSTRUCTION-GRADE LUMBER. THE 2-BY-4 INCH POSTS SHALL BE DRIVEN 1 FOOT INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4 INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- 4) WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- 5) GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- 6) BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- 7) A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

(USE INLET PROTECTION ON ALL NON-CURB INLETS CATCH BASINS)

INLET PROTECTION

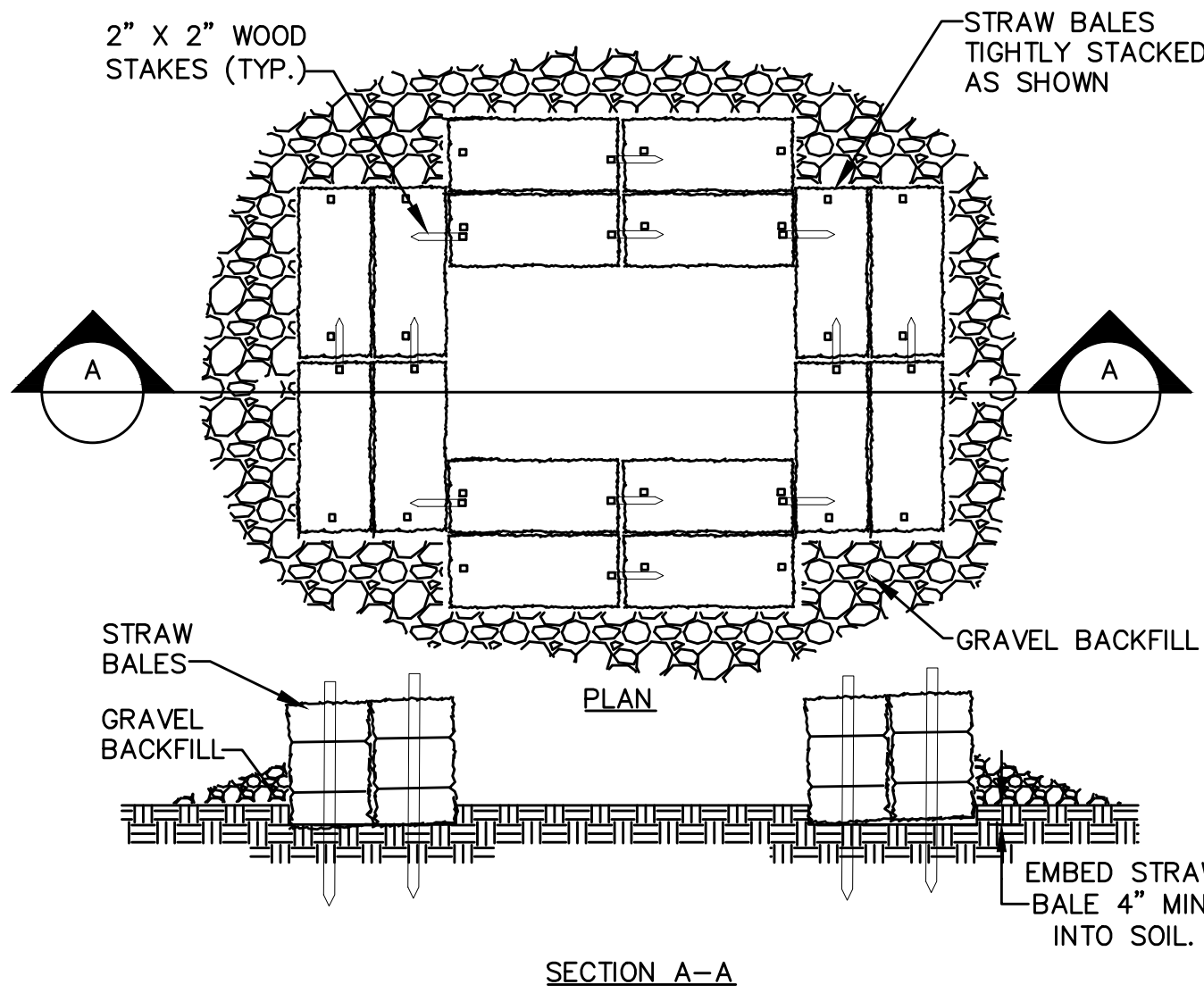
(IN SWALES, DITCH LINES OR YARD INLETS) (IP)

NTS

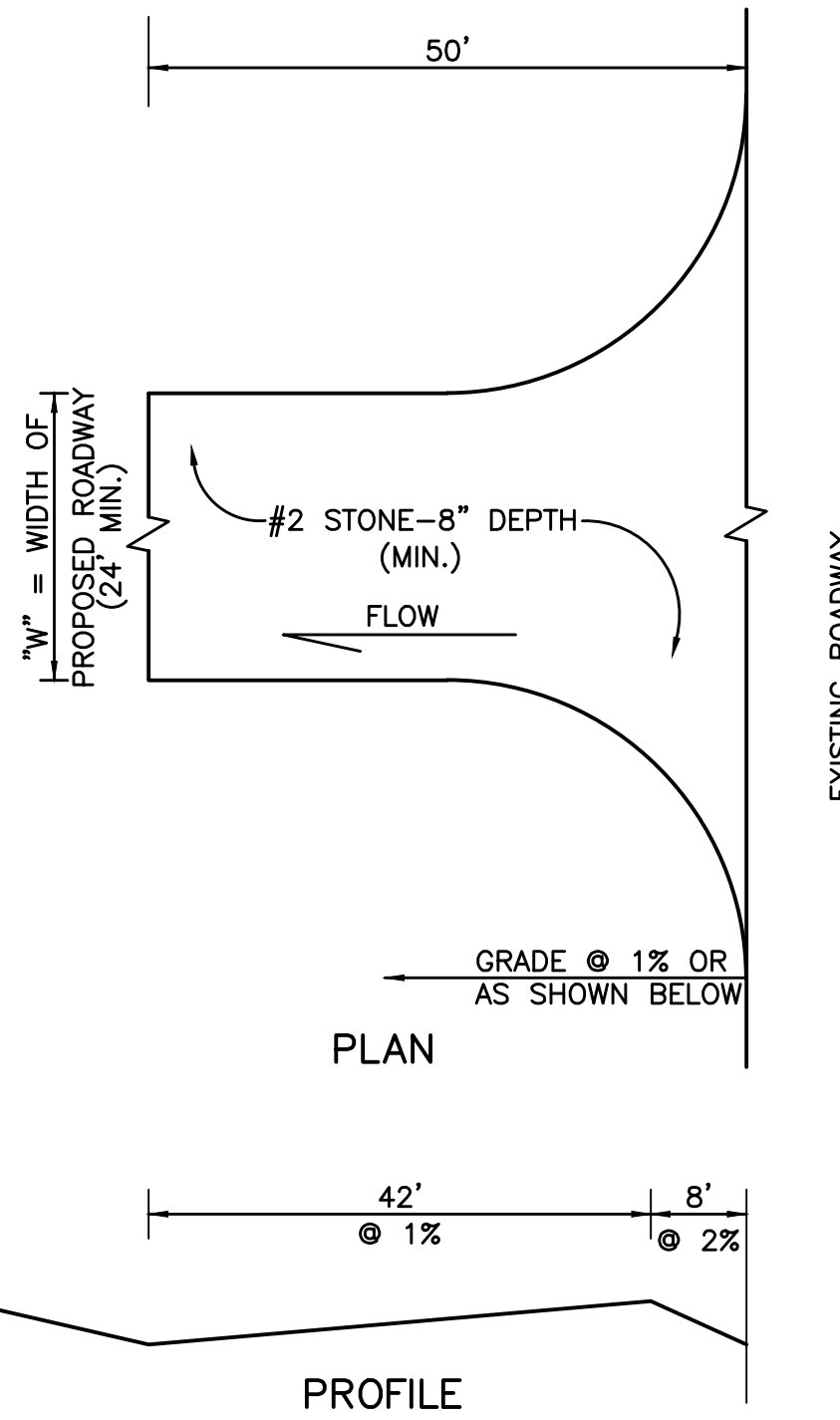


CONCRETE WASHOUT

SPECIFICATIONS FOR CONCRETE WASHOUT



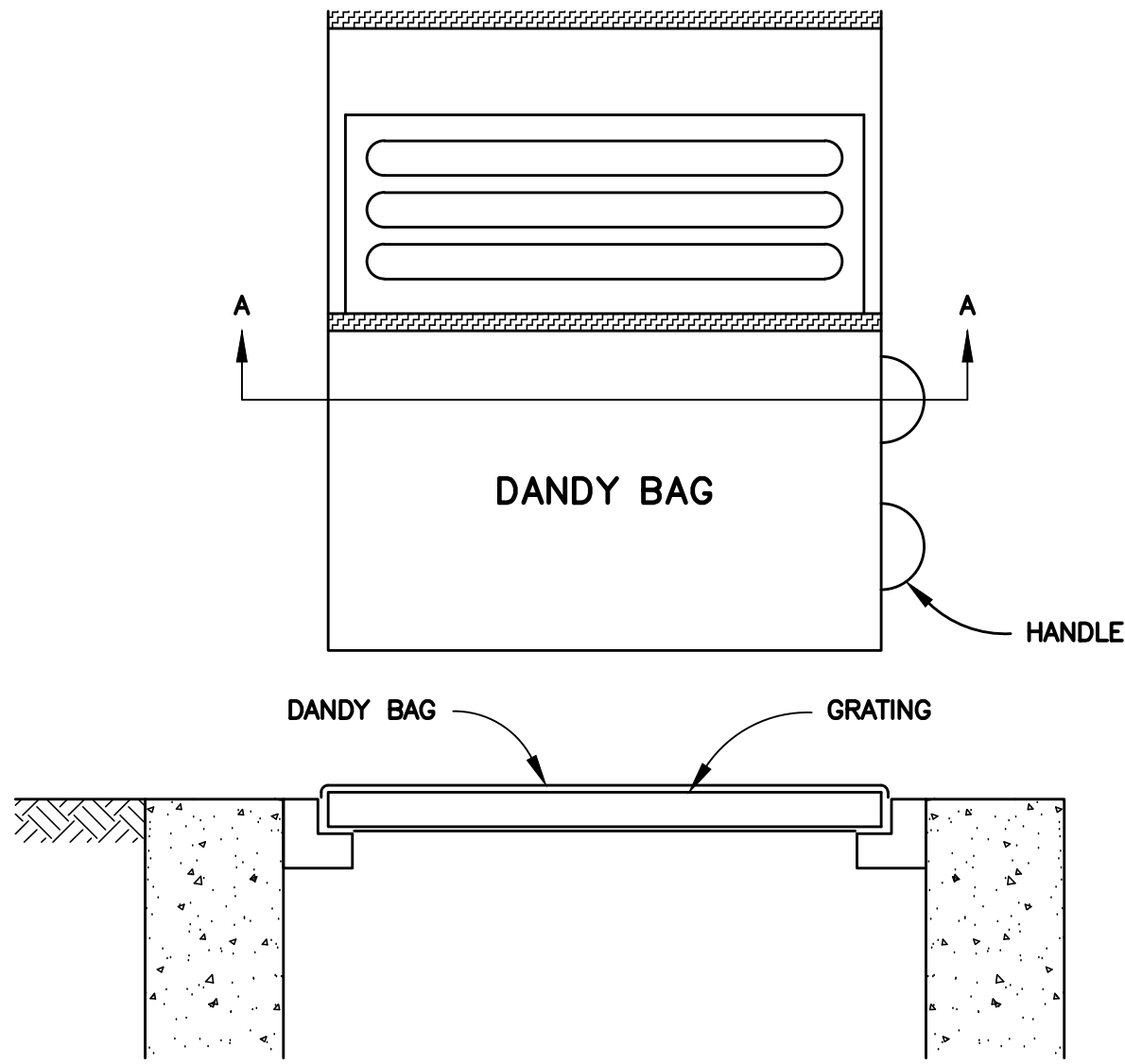
1. THE RESIDUE OR CONTENTS OF ALL CONCRETE MIXERS, DUMP TRUCKS, OTHER CONVEYANCE EQUIPMENT AND FINISHING TOOLS SHALL BE WASHED INTO CONCRETE CLEAN-OUT STRUCTURES CONSISTING OF A STRAW BALE BARRIER WITH GRAVEL BACKFILL. THE LENGTH AND WIDTH OF THESE STRUCTURES SHALL BE AS DETERMINED BY THE CONTRACTOR TO FACILITATE THE PARTICULAR EQUIPMENT USED. THESE STRUCTURES SHALL BE CONSTRUCTED ON LEVEL GROUND AT LEAST 100' FROM THE NEAREST WATERCOURSE, DRAINAGE SWALE OR INLET. AT NO TIME SHALL THE STRUCTURE BE ALLOWED TO BE MORE THAN 50% FULL. THE CONTRACTOR SHALL MAINTAIN THESE PONDS UNTIL ALL CONCRETE PLACEMENT IS COMPLETE FOR THE PROJECT.
2. EMBED THE STRAW BALES 4" INTO THE SOIL. PROVIDE TWO ROWS OF BALES, AS SHOWN ON THE DETAIL, WITH ENDS AND CORNERS TIGHTLY ABUTING. ORIENT THE STRAW BALES LENGTHWISE WITH BINDINGS AROUND THE SIDES OF THE BALES SO THE WIRE DOES NOT CONTACT THE SOIL. DRIVE 2"x2" WOOD STAKES THROUGH EACH BALE, TO SECURELY ANCHOR THE BALE AND CONNECT ADJACENT BALES. GRAVEL BACKFILL SHALL BE PROVIDED AND TAMPED AROUND THE OUTSIDE PERIMETER OF THE BALES TO PREVENT EROSION AND FLOW AROUND THE BALES.
3. THE INTENT OF THESE STRUCTURES IS TO COLLECT ALL CONCRETE WASH OUT WATER AND ALLOW IT TO DRY TO A SOLID MATERIAL. AFTER DRYING, THE SOLID MATERIAL CAN BE REMOVED WITH A LOADER OR EXCAVATOR FOR PROPER DISPOSAL. WASH OUT WILL NOT BE PERMITTED IN ANY OTHER AREAS.
4. USE THE MINIMUM AMOUNT OF WATER TO WASH THE VEHICLES AND EQUIPMENT. NEVER DISPOSE OF WASH OUT INTO THE STREET, STORM INLET, DRAINAGE SWALE OR WATERCOURSE. DISPOSE OF SMALL AMOUNTS OF EXCESS DRY CONCRETE, GROUT AND MORTAR IN THE TRASH. ANY SOAPS THAT ARE UTILIZED SHALL BE PHOSPHATE-FREE AND BIODEGRADABLE.
5. ADDITIONAL CONCRETE CLEAN-OUT STRUCTURES SHALL BE CONSTRUCTED WITHIN THE SPECIFIED AREA AS NEEDED BASED UPON THE VOLUME OF WASH OUT GENERATED DAILY.



1. STONE SIZE SHALL CONFORM TO ASTM D48 SIZE #1 (1 1/2" TO 3 1/2" DIA.).
2. PERIODIC 2" STONE TOP DRESSING & WASHING AS REQUESTED BY COUNTY.

TEMPORARY CONSTRUCTION ENTRANCE DETAIL

NTS



SECTION A-A

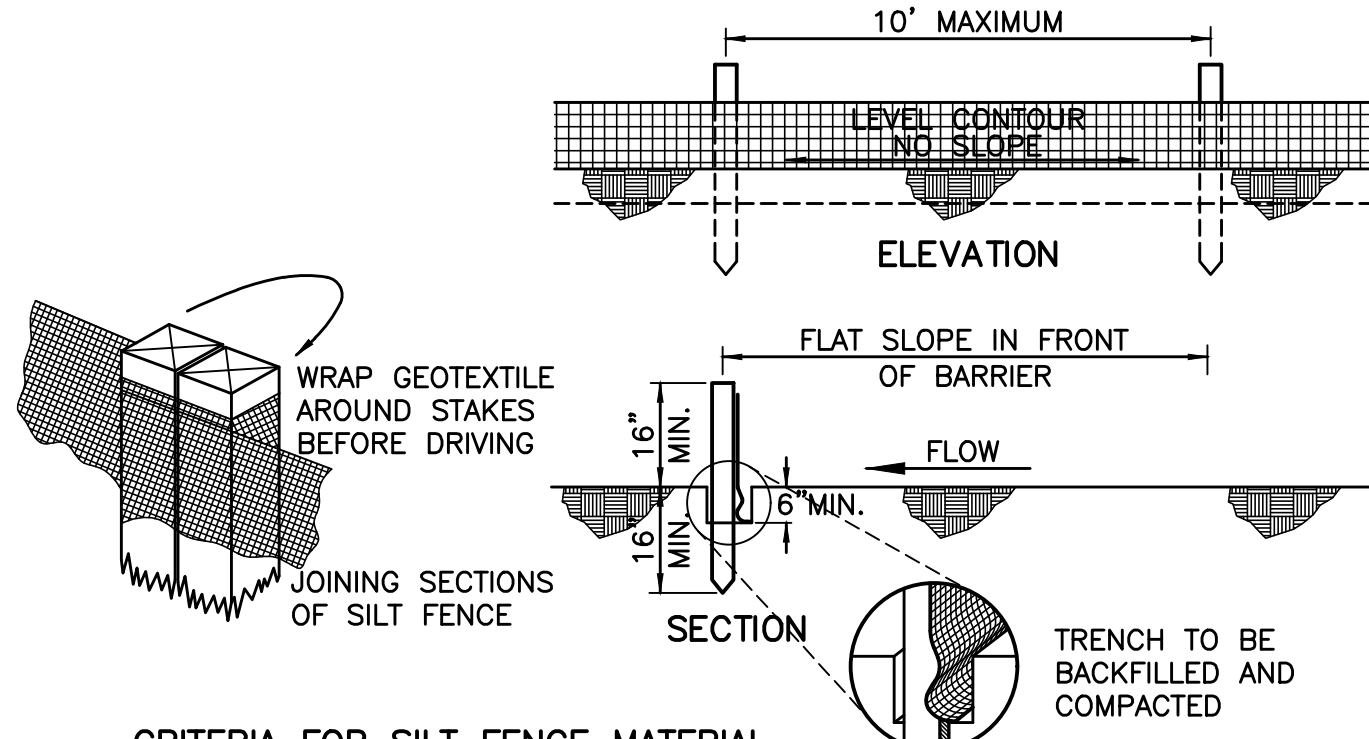
INSTALLATION : STAND GRATE ON END, PLACE DANDY BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE : AFTER SILT HAS DRIED, REMOVE IT FROM THE SURFACE OF DANDY BAG WITH BROOM.

DANDY BAG

NTS (DB)

- 1) SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- 2) ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- 3) TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
- 4) WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- 5) WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- 6) THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 7) THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE, WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- 8) THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 INCHES OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
- 9) SEAMS BETWEEN SECTION OF SILT SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
- 10) MAINTENANCE — SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.



CRITERIA FOR SILT FENCE MATERIAL

- 1) FENCE POSTS — THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2 BY 2-INCH HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FEET.
- 2) SILT FENCE SHALL BE ODOT TYPE C GEOTEXTILE FABRIC OR AS DESCRIBED BY THE CHART BELOW;

MINIMUM TENSILE STRENGTH.....	120 LBS.
MAXIMUM ELONGATION AT 60 LBS.	50%
MINIMUM PUNCTURE STRENGTH.....	50 LBS.
MINIMUM TEAR STRENGTH.....	40 LBS.
MINIMUM BURST STRENGTH.....	200 PSI
APPARENT OPENING SIZE.....	≤ 0.84 MM
MINIMUM PERMITTIVITY.....	1 x 10 SEC.
ULTRAVIOLET EXPOSURE STRENGTH RETENTION	70%

CONSTRUCTION OF A FILTER BARRIER (SILT FENCE)

NTS (SF)

EROSION CONTROL DETAILS

3300 WEST TECH ROAD

PARKING LOT EXPANSION

LOCATED IN SECTION 15, TOWN 2, RANGE 5 M.R.S.

CITY OF SPRINGBORO, WARREN COUNTY, OHIO

DATE: DECEMBER, 2023

SCALE: AS SHOWN

PROJECT No. 8245

FILE No. _____

SHEET NO. _____

1. THE OWNER AGREES TO MAINTAIN IN PERPETUITY THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH APPROVED MAINTENANCE PLANS LISTED IN #2 BELOW AND IN A MANNER THAT WILL PERMIT THE STORM WATER MANAGEMENT PRACTICES TO PERFORM THE PURPOSES FOR WHICH THEY WERE DESIGNED AND CONSTRUCTED. THIS INCLUDES ALL PIPES, STRUCTURES, IMPROVEMENTS, AND VEGETATION PROVIDED TO CONTROL THE QUANTITY OF THE STORM WATER.
2. NO ALTERATIONS TO THE WATER QUALITY/RETENTION BASINS WITHOUT APPROVAL FROM THE JURISDICTIONAL REVIEWING AUTHORITY.
3. THE OWNER SHALL PROVIDE A MAINTENANCE PLAN FOR EACH STORM WATER MANAGEMENT PRACTICE. THE MAINTENANCE PLANS SHALL INCLUDE A SCHEDULE FOR MONTHLY AND ANNUAL MAINTENANCE. THE OWNER SHALL MAINTAIN, UPDATE AND STORE THE MAINTENANCE RECORDS FOR THE STORM WATER MANAGEMENT PRACTICES. THE SPECIFIC MAINTENANCE PLANS FOR EACH STORM WATER MANAGEMENT PRACTICE ARE AS FOLLOWS.

- REMOVE TRASH AND/OR ACCUMULATED SEDIMENT FROM POND AREA.
- REMOVE OBSTRUCTIONS IN ORIFICES AND/OR OUTLETS WITHIN POND.
- REMOVE DEBRIS AND SEDIMENT FROM INLET PIPES, OUTLET PIPES AND STRUCTURES.

- REPAIR EROSION TO OUTFALL OR SPILLWAY OF THE POND
- REPAIR AND/OR REPLACE DAMAGED STRUCTURES, SUCH AS CATCH BASINS, RISERS, PIPES AND HEADWALLS.
- MOW EMBANKMENTS AND REMOVE WOODY VEGETATION ON EMBANKMENTS

SKETCH SHOWING GENERAL AREA OF BMP'S, SUMMARY OF ALL MAINTENANCE ACTIVITIES SINCE LAST ANNUAL INSPECTION, PHOTOS AND DESCRIPTION OF ALL BMP DESIGN FEATURES, INDICATION OF ANY DEVIATION FROM APPROVED PLAN FOR BMP IDENTIFICATION OF IMPROVEMENTS NECESSARY TO RESTORE ORIGINAL DESIGN FUNCTION, MAINTENANCE ACTIVITIES REQUIRED IN THE NEXT 6 MONTHS, IDENTIFICATION AND CONTACT INFORMATION OF ENTITY RESPONSIBLE FOR BMP, AND IDENTIFICATION AND CONTACT INFORMATION FOR ENGINEER PREPARING THE REPORT INCLUDING SIGNATURE AND SEAL.

1. CONDUCT PRE-CONSTRUCTION MEETING
2. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING CONSTRUCTION ENTRANCE, SEDIMENT TRAPS, ROCK CHECK DAMS, INLET PROTECTION & SILT FENCE.
3. CONSTRUCT TEMPORARY PARKING AND STORAGE AREA.
4. PERFORM CLEARING AND GRUBBING AS NECESSARY.
5. BEGIN GRADING THE SITE, MAKING SURE THAT EROSION CONTROL MEASURES ARE IN PLACE AND WORKING PROPERLY THROUGHOUT GRADING OPERATIONS.
6. APPLY TEMPORARY SOIL STABILIZATION WITHIN (7) DAYS OF EXCAVATION.
7. BEGIN CONSTRUCTION OF ALL UTILITIES INCLUDING STORM SEWER. INSTALL INLET PROTECTION CONCURRENT WITH CONSTRUCTION OF PROPOSED STORM STRUCTURES.
8. BEGIN CONSTRUCTION OF BUILDING PADS AND STRUCTURES.
9. BEGIN CONSTRUCTION OF STREETS. INSTALL CURB AND GUTTER. PREPARE FOR PAVING.
10. PERMANENTLY SEED AND MULCH & LANDSCAPE REMAINDER OF PERVIOUS AREAS. PERMANENT SEEDING SHALL BE INSTALLED WITHIN (7) DAYS OF COMPLETION OF FINAL GRADING IN UNPAVED AREAS.
11. PAVE SITE.
12. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SITE ACHIEVES "FINAL STABILIZATION"

1. ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO: SWPPP AND DETAIL PLANS; ACCORDING TO THE LATEST OHIO EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES); AND ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. SEE OHIO EPA PERMIT NO. OH0C00004 FOR SWPPP RULES AND REGULATIONS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
2. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT. EVERY EFFORT SHALL BE MADE TO PRESERVE THE NATURAL RIPARIAN SETBACK ADJACENT TO STREAMS OR OTHER SURFACE WATER BODIES.
4. SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABILIZED. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.
5. TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
 WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE REMAINING DORMANT FOR OVER FOURTEEN (14) DAYS.
 WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN FOURTEEN (14) DAYS.
 PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
6. PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
 WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
 WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
 WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
7. TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:
 SEEDING: ANNUAL RYEGRASS AT 2.02 #/1,000 S.F.
 MULCHING: STRAW MATERIAL SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 80-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.
 FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER STATE DOT SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.
8. PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH ODOT STANDARD SPECIFICATIONS.
9. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEED,ED, AND CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.
10. OHIO EPA SWPPP REGULATIONS REQUIRES THAT A SEDIMENT TRAP OR POND BE SIZED TO PROVIDE AT LEAST 104 CUBIC YARDS (67 CY FOR DEWATERING AND 37 CY FOR SEDIMENT STORAGE) OF STORAGE PER ACRE OF TOTAL CONTRIBUTING AREA. MAXIMUM DEPTH OF SEDIMENT SETTLING POND SHALL BE EQUAL OR LESS THAN 5- FEET WITH A LENGTH TO WIDTH RATIO GREATER THAN OR EQUAL TO 2:1)
11. OUTLET STRUCTURES IN SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT MUST BE REMOVED FROM BASINS AND OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 40% (APPROXIMATELY ONE-HALF OF POND DEPTH).
12. NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF.
13. ALL TOXIC WASTES, HAZARDOUS WASTES AND NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE. NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS OR BY BURYING, BURNING OR MIXING THE WASTES.
14. CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS SHALL BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
15. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
16. BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
17. CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
18. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN AN OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE 3745-20).
19. AREA SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
20. EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
21. A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
22. ALL DESIGNATED CONCRETE CURTME OR WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
23. THERE IS A POTENTIAL FOR HIGH GROUND WATER AT THIS SITE. CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND IMPLEMENTING A PLAN TO CONTROL BOTH SURFACE AND GROUND WATER DURING THE COURSE OF CONSTRUCTION.
24. DISCHARGE OF WATER WITH POTENTIAL SEDIMENT FROM THE SITE SHALL BE THROUGH A FILTER BAG, SUMP PIT OR OTHER SEDIMENT REMOVAL DEVICE.
25. ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).
26. IF THE SITE CONTAINS CONTAMINATED SOIL, THE FOLLOWING SHALL BE USED TO PREVENT CONTAMINATION FROM BEING RELEASED:
 1. BERMS, TRENCHES AND PITS TO COLLECT CONTAMINATED RUNOFF AND PREVENT DISCHARGES.
 2. PUMPING RUNOFF INTO A SANITARY SEWER (WITH PRIOR APPROVAL OF THE SANITARY SYSTEM OPERATOR) OR INTO A CONTAINER FOR TRANSPORT TO AN APPROPRIATE TREATMENT/DISPOSAL FACILITY.
 3. COVERING AREAS OF CONTAMINATION WITH TARPES OR OTHER METHODS THAT PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.

- IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL. ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. AS SOON AS POSSIBLE, THE SPILL WILL BE REPORTED TO THE APPROPRIATE AGENCIES. AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT, ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES WILL BE PROPERLY REPORTED. THE GENERAL CONTRACTOR WILL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEAN-UP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICH EVER IS LESS.
- ## STORM WATER POLLUTION PREVENTION PLAN NOTES (CONT.)
28. THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800.282.9378, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
29. OPEN BURNING IS NOT PERMITTED ON THE SITE.
30. DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. DUST SUPPRESSANTS SHALL NOT BE APPLIED NEAR CATCH BASINS FOR STORM SEWERS OR OTHER DRAINAGE WAYS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
31. APPROPRIATE MEASURES MUST BE TAKEN TO ENSURE THAT ALL PROPER AIR POLLUTION PERMITS ARE OBTAINED.
32. PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL AND CONCRETE WASH-OUTS) SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
33. SANITARY AND WATER PTH FORMS SHALL BE FILED WITH THE OHIO EPA AS REQUIRED.
34. PROTECTED STORAGE AREAS SHALL BE USED FOR INDUSTRIAL AND CONSTRUCTION MATERIALS IN ORDER TO MINIMIZE THE EXPOSURE OF SUCH MATERIALS TO STORMWATER.
35. ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
36. INSPECTIONS OF BMPs SHALL BE PERFORMED BY QUALIFIED PERSONS PROVIDED BY THE PERMITTEE AND THE INSPECTION LOGS ARE TO BECOME A PART OF THIS PLAN. INSPECTIONS RECORDS SHALL BE SIGNED BY THE INSPECTOR AND WILL BE KEPT FOR 3 YEARS AFTER THE NOTICE OF TERMINATION IS SUBMITTED.
37. INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE IN EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD, FROM THE BEGINNING OF CONSTRUCTION THROUGH THE FINAL INSPECTION PRIOR TO THE NOTICE OF TERMINATION.
38. NON-SEDIMENT POND BMPs TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT POND BMPs WITHIN 10 DAYS OF INSPECTION. BMPs NOT MEETING THE INTENDED FUNCTION SHALL BE REPLACED WITHIN 10 DAYS OF INSPECTION. MISSING BMPs SHALL BE INSTALLED WITHIN 10 DAYS OF INSPECTION.
39. IF THE SITE IS STABILIZED AND WILL BE DORMANT FOR A LONG PERIOD OF TIME, LESS FREQUENT INSPECTIONS MAY BE REQUESTED OF THE OEPA VIA A WAIVER REQUEST.
40. INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION.
41. ALL SEEDS AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
42. SILT FENCES, INLET PROTECTION, SILT DIKES AND PERVIOUS LOGS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT ACCUMULATION MUST BE REMOVED WHEN SEDIMENT HEIGHT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE, INLET PROTECTION, SILT DIKE AND PERVIOUS LOG.
43. MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED AND IN GOOD WORKING ORDER AT ALL TIMES; THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
44. IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION ENTRANCE DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
45. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
46. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
47. CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, INCLUDING DETENTION PONDS, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
48. ALL RIP RAP MUST BE PLACED OVER GEOTEXTILE FILTER.
49. STONE CONSTRUCTION ENTRANCE TO BE MAINTAINED BY CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
50. ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
51. ROCK CHECK DAMS SHOULD BE ROUTINELY CLEANED ONCE SEDIMENT BEGINS TO APPEAR ON THE UPSTREAM SIDE OF THE ROCK.
52. ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
53. CONTRACTOR TO DELINEATE STOCK PILE LOCATION ON PLANS TO BE KEPT ON SITE DURING CONSTRUCTION.
54. CONSTRUCT STOCKPILES IN ACCESSIBLE LOCATIONS THAT DO NOT INTERFERE WITH NATURAL DRAINAGE. INSTALL APPROPRIATE SEDIMENT CONTROLS TO TRAP SEDIMENT SUCH AS SILT FENCE IMMEDIATELY ADJACENT TO THE STOCKPILE OR SEDIMENT TRAPS OR BASINS DOWNSTREAM OF STOCKPILE. STOCKPILE SLOPE SLOPES SHALL NOT EXCEED A RATIO OF 2:1.
55. IF STOCKPILE IS STORED FOR MORE THAN 14 DAYS, IT SHOULD BE TEMPORARY SEEDDED, OR COVERED WITH A TARP.
56. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
57. THE LAST LAYER OF SOIL, INCLUDING TOP SOIL, SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY, IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION. THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY; THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.

THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800.282.9378, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.

29. OPEN BURNING IS NOT PERMITTED ON THE SITE.

30. DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. DUST SUPPRESSANTS SHALL NOT BE APPLIED NEAR CATCH BASINS FOR STORM SEWERS OR OTHER DRAINAGE WAYS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.

31. APPROPRIATE MEASURES MUST BE TAKEN TO ENSURE THAT ALL PROPER AIR POLLUTION PERMITS ARE OBTAINED.

32. PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL AND CONCRETE WASH-OUTS) SHALL BE COLLECTED AND DISPOSED OF PROPERLY.

33. SANITARY AND WATER PTH FORMS SHALL BE FILED WITH THE OHIO EPA AS REQUIRED.

34. PROTECTED STORAGE AREAS SHALL BE USED FOR INDUSTRIAL AND CONSTRUCTION MATERIALS IN ORDER TO MINIMIZE THE EXPOSURE OF SUCH MATERIALS TO STORMWATER.

35. ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:

36. INSPECTIONS OF BMPs SHALL BE PERFORMED BY QUALIFIED PERSONS PROVIDED BY THE PERMITTEE AND THE INSPECTION LOGS ARE TO BECOME A PART OF THIS PLAN. INSPECTIONS RECORDS SHALL BE SIGNED BY THE INSPECTOR AND WILL BE KEPT FOR 3 YEARS AFTER THE NOTICE OF TERMINATION IS SUBMITTED.

37. INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE IN EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD, FROM THE BEGINNING OF CONSTRUCTION THROUGH THE FINAL INSPECTION PRIOR TO THE NOTICE OF TERMINATION.

38. NON-SEDIMENT POND BMPs TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT POND BMPs WITHIN 10 DAYS OF INSPECTION. BMPs NOT MEETING THE INTENDED FUNCTION SHALL BE REPLACED WITHIN 10 DAYS OF INSPECTION. MISSING BMPs SHALL BE INSTALLED WITHIN 10 DAYS OF INSPECTION.

39. IF THE SITE IS STABILIZED AND WILL BE DORMANT FOR A LONG PERIOD OF TIME, LESS FREQUENT INSPECTIONS MAY BE REQUESTED OF THE OEPA VIA A WAIVER REQUEST.

40. INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION.

41. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.

42. SILT FENCES, INLET PROTECTION, SILT DIKES AND PERVIOUS LOGS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT ACCUMULATION MUST BE REMOVED WHEN SEDIMENT HEIGHT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE, INLET PROTECTION, SILT DIKE AND PERVIOUS LOG.

43. MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED AND IN GOOD WORKING ORDER AT ALL TIMES; THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.

44. IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION ENTRANCE DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.

45. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.

46. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

47. CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, INCLUDING DETENTION PONDS, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.

48. ALL RIP RAP MUST BE PLACED OVER GEOTEXTILE FILTER.

49. STONE CONSTRUCTION ENTRANCE TO BE MAINTAINED BY CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.

50. ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.

51. ROCK CHECK DAMS MUST BE ROUTINELY CLEANED ONCE SEDIMENT BEGINS TO APPEAR ON THE UPSTREAM SIDE OF THE ROCK.

52. ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.

53. CONTRACTOR TO DELINEATE STOCK PILE LOCATION ON PLANS TO BE KEPT ON SITE DURING CONSTRUCTION.

54. CONSTRUCT STOCKPILES IN ACCESSIBLE LOCATIONS THAT DO NOT INTERFERE WITH NATURAL DRAINAGE. INSTALL APPROPRIATE SEDIMENT CONTROLS TO TRAP SEDIMENT SUCH AS SILT FENCE IMMEDIATELY ADJACENT TO THE STOCKPILE OR SEDIMENT TRAPS OR BASINS DOWNSTREAM OF STOCKPILE. STOCKPILE SIDE SLOPES SHALL NOT EXCEED A RATIO OF 2:1.

55. IF STOCKPILE IS STORED FOR MORE THAN 14 DAYS, IT SHOULD BE TEMPORARY SEEDED, OR COVERED WITH A TARP.

56. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.

57. THE LAST LAYER OF SOIL, INCLUDING TOP SOIL, SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY, IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION. THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY; THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.

[illegible]



CHAMPLIN
ARCHITECTURE

10 S. Patterson Blvd.
Dayton, OH 45402
T 937.224.4474
thinkchamplin.com

THINK CREATE REALIZE



**SOUTH
CAMPUS
BEHAVIORAL
HEALTH**

ISSUANCES

[illegible]

Drawn By	
----------	--

Author

Checked By

Checker

Client	
--------	--

Number
627

Project	
---------	--

Number
6594-02

DRAWING TITLE

EXTERIOR RENDERINGS

SHEET NO.

AE201

PRELIMINARY

1/2/2024 4:16:06 PM

MATERIALS LEGEND



10 S. Patterson Blvd.
Dayton, OH 45402
T 937.224.4474
thinkchamplin.com

THINK CREATE REALIZE



SYNERGY
BUILDING SYSTEMS



**SOUTH
CAMPUS
BEHAVIORAL
HEALTH**

ISSUANCES

No.	Description	Date
1	Zoning Submission	01/02/20

Drawn By

Author

Checked By

Checker

Client

627

project

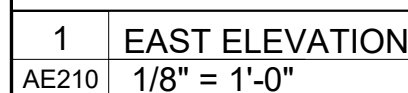
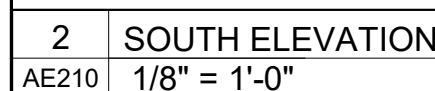
594-02

DRAWING TITLE

EXTERIOR ELEVATIONS

SHEET NO.

AE210



PRELIMINARY

1/2/2024 1:16:07 PM

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

☐ REZONING/GENERAL PLAN

☐ FINAL DEVELOPMENT PLAN

☒ RECORD PLAN

☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

- ☒ Owner
☐ Agent
☐ Lessee
☐ Signed Purchase Contract

APPLICANT NAME: RED LION DEVELOPMENT, LLC, GRAHAM S. PARLIN

Address 9091 MONTGOMERY ROAD

CINCINNATI, OH 45242

Telephone No. (513) 793-2400

Fax No. ()

Email Address gparlin@hpadg.com

PROPERTY OWNER NAME (IF OTHER):

Address:

Telephone No. ()

Property Address or General Location: RT 73; RED LION - FIVE POINTS ROAD

Parcel Number(s): 04013000580 Acreage: 12.08

PUD Category: ☒ Residential ☐ Retail ☐ Office ☐ Manufacturing ☐ Mixed Use

If Mixed Use, Acreage in Each Category:

For Residential Proposed Density 3.4 DU/AC Number of Residential Units 41

Proposed Use: 41 RESIDENTIAL LOTS; CONSISTING OF 41 SINGLE-FAMILY DWELLINGS, SLAB ON GRADE

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.


Graham S. Parlin
(Signature of Applicant and/or Agent)

12/18/23
(Date)


GRAHAM S. PARLIN
Printed Name



Clearview Crossing Cost Estimate

				Phase 1	
				41	
Item	Unit Prices		Quan	Subtotal	
Hard Cost Subtotal					
Site Costs					
Clearing and Grubbing	10,815.00	LS	1	\$	10,815.00
Topsoil Stripping	3.75	CY	5,410	\$	20,287.50
Excavation	3.75	CY	27,725	\$	103,968.75
Embankment	1.10	CY	27,725	\$	30,497.50
Topsoil Redistribution	4.45	CY	5,410	\$	24,074.50
subtotal				\$	189,643.25
Pavement					
Asphalt Base Course	23.25	SY	4,895	\$	113,808.75
Asphalt Intermediate Course	10.60	SY	4,895	\$	51,887.00
Asphalt Surface Course	10.10	SY	4,895	\$	49,439.50
10' Asphalt Path Aggregate Course	16.15	SY	2,430	\$	39,244.50
10' Asphalt Path Base Course	24.15	SY	2,290	\$	55,303.50
Concrete Curb	24.15	LF	3,424	\$	82,689.60
Concrete Curb (Chairback at Ex. Pavement)	85.50	LF	80	\$	6,840.00
Curb Ramps	402.00	EA	2	\$	804.00
subtotal				\$	400,016.85
Sanitary					
Connect to Existing Sanitary MH	6,289.00	LS	1	\$	6,289.00
8" Sanitary Sewer	102.54	LF	1,764	\$	180,880.56
4" Sanitary Sewer	79.25	LF	1,426	\$	113,010.50
Sanitary Manhole	4,608.00	EA	16	\$	73,728.00
8"x4" Wye	299.00	EA	41	\$	12,259.00
subtotal				\$	386,167.06
Storm Sewer					
12" Storm Sewer (ADS N-12)	40.45	LF	720	\$	29,124.00
12" Storm Sewer	61.20	LF	1,037	\$	63,464.40
15" Storm Sewer	73.60	LF	144	\$	10,598.40

Clearview Crossing Cost Estimate

			Phase 1	
			41	
Item	Unit Prices		Quan	Subtotal
18" Storm Sewer	81.20	LF	287	\$ 23,304.40
24" Storm Sewer	113.00	LF	247	\$ 27,911.00
30" Storm Sewer	156.00	LF	115	\$ 17,940.00
Catch Basin CB-3a	2,850.00	EA	18	\$ 51,300.00
Catch Basin Standard	3,953.00	EA	5	\$ 19,765.00
Yard Drain	2,198.00	EA	7	\$ 15,386.00
Storm Manhole 4'	2,895.00	EA	1	\$ 2,895.00
Catch Basin 2-3 O.C.S.	8,123.00	EA	1	\$ 8,123.00
Headwall 12"	1,984.00	EA	1	\$ 1,984.00
Headwall 18"	1,984.00	EA	1	\$ 1,984.00
Headwall 30"	3,098.00	EA	1	\$ 3,098.00
RCP Type C	95.20	CY	10	\$ 952.00
4" Sump Lines	14.40	LF	425	\$ 6,120.00
6" Sump Lines	18.10	LF	1,830	\$ 33,123.00
subtotal				\$ 317,072.20
Water				
Connect to Existing Waterline	11,325.00	LS	1	\$ 11,325.00
Remove and Reset Ex. Hydrant	5,399.00	EA	1	\$ 5,399.00
8" Water Line DIP CL 52	90.85	LF	1,720	\$ 156,262.00
Fire Hydrant Assembly	9,100.00	EA	2	\$ 18,200.00
8" Valve and Box	2,534.00	EA	8	\$ 20,272.00
3/4" Water Taps	1,841.00	EA	42	\$ 77,322.00
subtotal				\$ 288,780.00
Erosion Control and Miscellaneous				
Erosion Control	31,050.50	LS	1	\$ 31,050.50
Seeding	0.45	SY	37,000	\$ 16,650.00
subtotal				\$ 47,700.50
HARD COST SUBTOTAL				\$ 1,629,379.86

☐ REZONING/GENERAL PLAN ☐ FINAL DEVELOPMENT PLAN ☒ RECORD PLAN ☐ VARIANCE

<input type="checkbox"/>	Owner	APPLICANT NAME:	<u>John Konovodoff, Maronda Homes of Cincinnati, LLC.</u>
<input checked="" type="checkbox"/>	Agent		
<input type="checkbox"/>	Lessee	Address	<u>5900 Wilcox Place, Dublin, Ohio 43016</u>
<input type="checkbox"/>	Signed Purchase Contract		

Email Address jkonovodoff@maronda.com

Address: 9091 Montgomery Road

Property Address or General Location: RT 73; Red Lion-Five Points Rd

Parcel Number(s): 04013000580 Acreage: 12.08

PUD Category: ☒ Residential ☐ Retail ☐ Office ☐ Manufacturing ☐ Mixed Use

If Mixed Use, Acreage in Each Category: _____

For Residential Proposed Density 3.4 DU/AC Number of Residential Units 41 Total Units

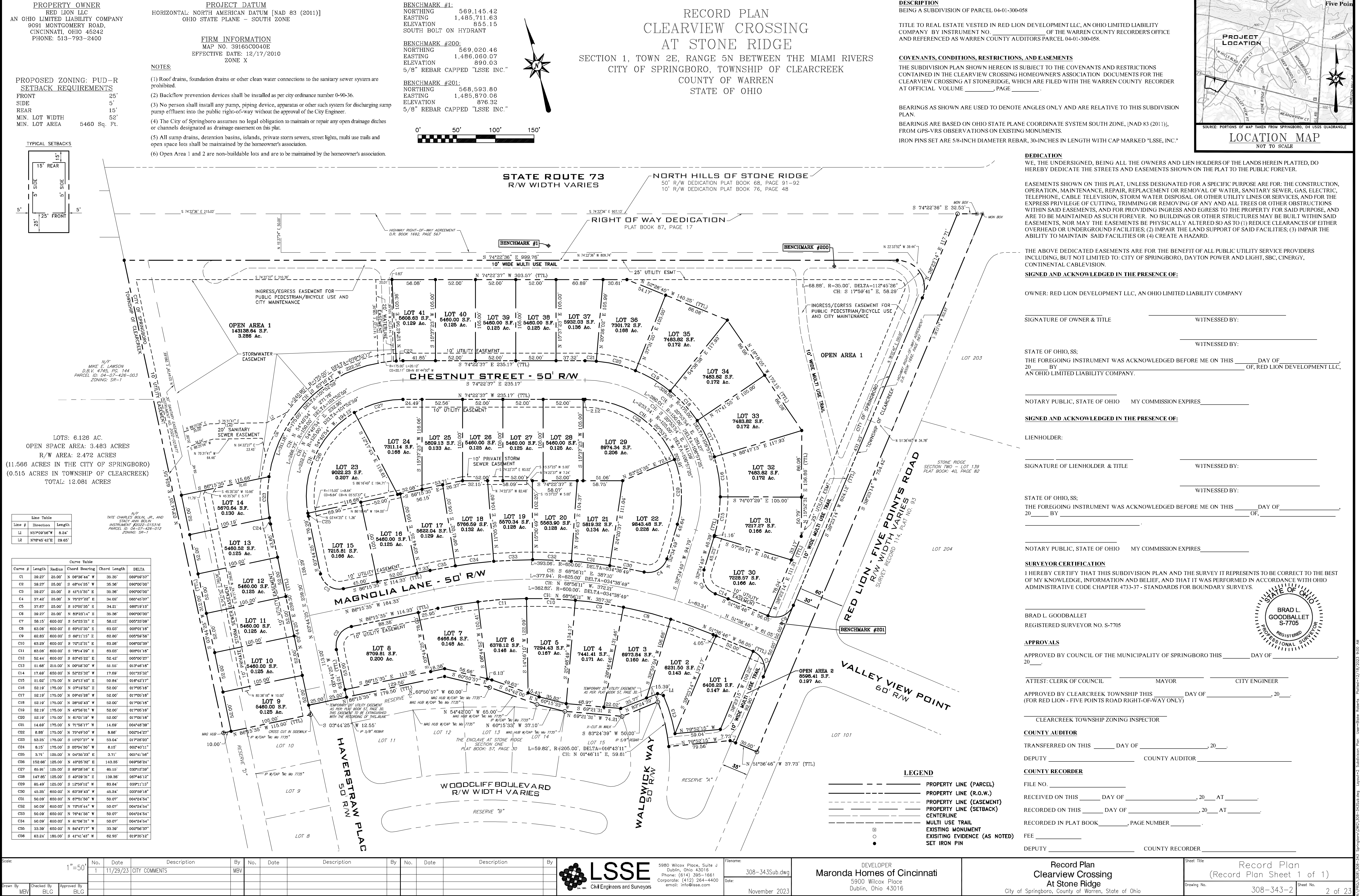
Proposed Use: 41 residential lots; consisting of 41 single-family dwellings, slab on grade.

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

(Signature of Applicant and/or Agent)

(Date)

Printed Name _____



CITY OF SPRINGBORO PLANNING COMMISSION

Application
Case # _____



☐ SITE PLAN ☐ REVISION TO APPROVED SITE PLAN ☐ CONCEPT PLAN ☐ PRELIMINARY SUBDIVISION ☒ RECORD PLAN

The undersigned requests site plan approval for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application, subject to any conditions or safeguards required by the Planning Commission. If the construction of the building or site improvements or activities are not started within two (2) years after date of approval by the Planning Commission, the approval of this site plan shall become null and void

☒ Owner **APPLICANT'S NAME:** Casey Schlensker
☐ Agent Grand Communities, LLC
☐ Lessee
☐ Signed Purchase Contract Telephone No. (513) 300 5308
Fax No. () _____
Email Address cschlensker@fischerhomes.com

PROPERTY OWNER'S NAME: Grand Communities, LLC
Address: 3940 Olympic Blvd, Suite 400
Erlanger, KY 41018
Telephone No. (513) 300 5308

Address of Property: 2555 Factory Road, Springboro, OH 45066 Lot Number: 1-18
Existing Use: Residential Zoning District: R-1
Proposed Use: Development of 18 R-1 lots, 3 common spaces, and associated servicing

NOTE: Applicant will furnish fifteen (17) copies of plans with attached requirements. Please note that all plans submitted with this proposal must be pre-folded. The applicant or a representative who is authorized to speak on behalf of the request must also be present at the meeting.



(Signature of Applicant and/or Agent)

12/13/2023

(Date)

RECORD PLAN
WADESTONE PHASE 1
STATE OF OHIO, COUNTY OF WARREN,
CITY OF SPRINGBORO, TOWNSHIP OF CLEARCREEK,
SECTION 13, TOWNSHIP 2E, RANGE 5N, M.Rs.
DECEMBER 2023

DESCRIPTION:

Situated in the State of Ohio, County of Warren, City of Springboro, Township of Clearcreek, Section 13, Township 2E, Range 5N, Miami Rivers Survey, containing 13.9453 acres and being part of that 19.675 acre tract as described in a deed to Grand Communities, LLC, of record in Document No. 2023-006151, Recorder's Office, Warren County, Ohio.

OWNERS CONSENT AND DEDICATION:

We the undersigned, being the owner of the land hereon platted, do hereby voluntary consent to execution of the said record plan and do dedicate the streets and easements as shown hereon to the public use forever.

Easements shown on this record plan, unless designed for specific purpose, are for: the construction, operation, maintenance, repair, replacement or removal of water, sewer, gas, electric, telephone, cable television, storm sewer disposal or other utility lines or services; and for the express privilege of cutting, trimming or removing any and all trees or other obstructions within said easement, or immediately adjacent thereto, to the free use of said easements or adjacent streets, and for providing ingress and egress to the property for said purpose, and are to be maintained as such forever. No buildings or other structures may be built within said easements, nor may the easement area be physically altered so as to (1) reduce clearances of either overhead or underground facilities; (2) impair the land support of said facilities; (3) impair the ability to maintain the facilities or (4) create a hazard.

The above utility easements are for the benefit of all public utility providers including, but not limited to: City of Springboro, Duke Energy, AT&T, Spectrum.

In Witness Whereof, Grand Communities, LLC owner, has hereunto set his hand this _____ day of _____, 202__.

Signed and Acknowledged
in the presence of:

By: _____
Grand Communities, LLC

COMMONWEALTH OF KENTUCKY
COUNTY OF _____ ss:

Before me, a Notary Public in and for said State, personally appeared _____, Grand Communities, LLC, Owner, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes expressed therein.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this _____ day of _____, 202__.

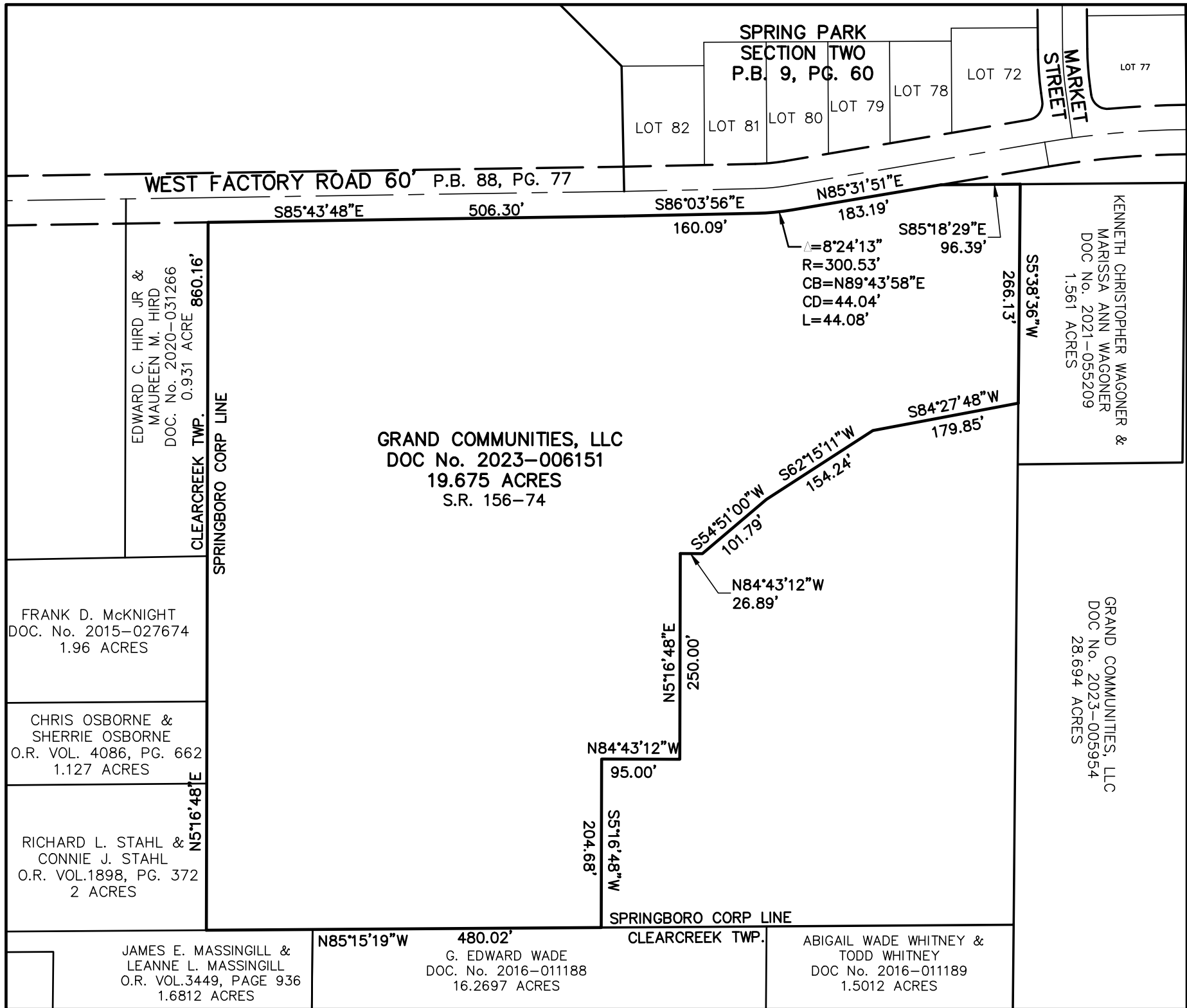
Notary Stamp: _____
Notary Public

NOTES:

- Roof drains, foundation drains, or other clear water connections to the sanitary sewer are prohibit.
- No person shall install any pump, pumping device apparatus, or other such system for discharging sump pump effluent into the public right of way without approval of the city engineer.
- Back flow prevention devices shall be installed per City Ordinance 0-90-36.
- All lots shall be subject to a publicly available drainage easement five (5) feet in width along all side yards and ten (10) feet along rear lot lines, except as otherwise indicated.
- All open space, sump drains, private drainage easement, storm sewers, retention/detention pond and/or non-buildable lots to be maintained by the homeowners a association as recorded in Document No. _____.
- All residential lots to have individual residential post lamps with photo electric cell.
- The within subdivision is subject to declaration of covenants, conditions, and restrictions and reservations for Wadestone, which is recorded in Deed Records of Warren County, Ohio commencing with Document No. 2023-_____, and any amendments or supplements thereto. Also subject to the articles of incorporation and code of regulations for the association.
- No private improvements of any kind shall be made on any right of way or easement which would interfere with access to any proposed street, utility, or other services improvement, present or future, and the city of Springboro shall not be responsible to any present or future owners of the property indicated on this plan from any damage done on said right of way, or easement to sod, shrubbery, trees, driveways or other improvements either natural or artificial by reason of entering for construction, operation, maintenance, repair, replacement or removal of said improvements.
- No development to occur in the Floodway and/or Flood Plain with out prior permit approval by the City Engineer.



LOCATION MAP



SUPERIMPOSED AREA
1"=150'

APPROVALS:

APPROVED AND ACCEPTED BY COUNCIL OF THE MUNICIPALITY OF SPRINGBORO ON
THIS _____ DAY OF _____, 202__.

ATTEST: CLERK OF COUNCIL

MAYOR

CITY ENGINEER

WARREN COUNTY AUDITOR

TRANSFERRED THIS _____ DAY OF _____, 202__

DEPUTY AUDITOR, WARREN COUNTY, OHIO

WARREN COUNTY RECORDER

FILE NO. _____

RECEIVED ON THIS _____ DAY OF _____ AT _____

RECORDED ON THIS _____ DAY OF _____ AT _____

RECORDED IN PLAT BOOK No. _____, PAGES _____

FEE \$ _____

DEPUTY RECORDER WARREN COUNTY, OHIO

BASIS OF BEARING:
BEARINGS HEREIN ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83, 2011 ADJUSTMENT, WHICH ESTABLISHES WITH GPS OBSERVATIONS A BEARING OF SOUTH 85°43'48" EAST, FOR THE CENTERLINE OF WEST FACTORY ROAD.

IRON PINS:
IRON PINS WHERE INDICATED HEREON, UNLESS OTHERWISE NOTED, ARE TO BE SET AND ARE REBAR 5/8" IN DIAMETER AND ARE 30" LONG WITH A PLASTIC CAP INSCRIBED "IBI GROUP S-6872/S-7740".

OCCUPATION STATEMENT
OCCUPATION IN GENERAL AGREES WITH BOUNDARY LINES AS SHOWN.

DEED REFERENCES:
AS NOTED

CERTIFICATION

THIS RECORD PLAN WAS PREPARED IN ACCORDANCE WITH O.A.C. CHAPTER 4733-37 AND O.R.C. CHAPTER 711.01-40. I CERTIFY THAT WE HAVE SURVEYED THE ABOVE PREMISES, PREPARED THE ATTACHED RECORD PLAN AND THAT SAID RECORD PLAN IS CORRECT. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

By: _____
David L. Chiesa
Registered Surveyor No. 7740

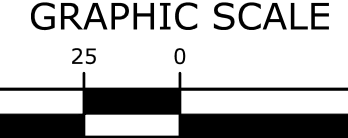
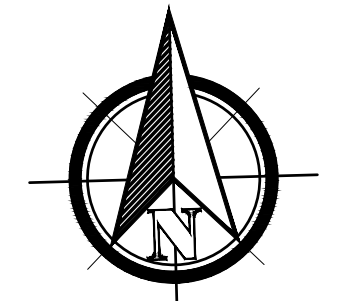
Date 12/13/23



OWNER/DEVELOPER :
GRAND COMMUNITIES LLC
3940 OLYMPIC BLVD. SUITE 400
ERLANGER KY. 41018

8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

RECORD PLAN
WADESTONE PHASE 1
STATE OF OHIO, COUNTY OF WARREN,
CITY OF SPRINGBORO,
TOWNSHIP OF CLEARCREEK,
SECTION 13, TOWNSHIP 2E, RANGE 5N, M.Rs.



(IN FEET)
1 inch = 50 ft.

LEGEND

- IRON PIN FOUND
(AS NOTED & GOOD CONDITION)
- IRON PIN SET
5/8" REBAR 30" LONG
"I"BI GROUP S-6872/S-7740"
- MAG NAIL FOUND

BEARING REFERENCE

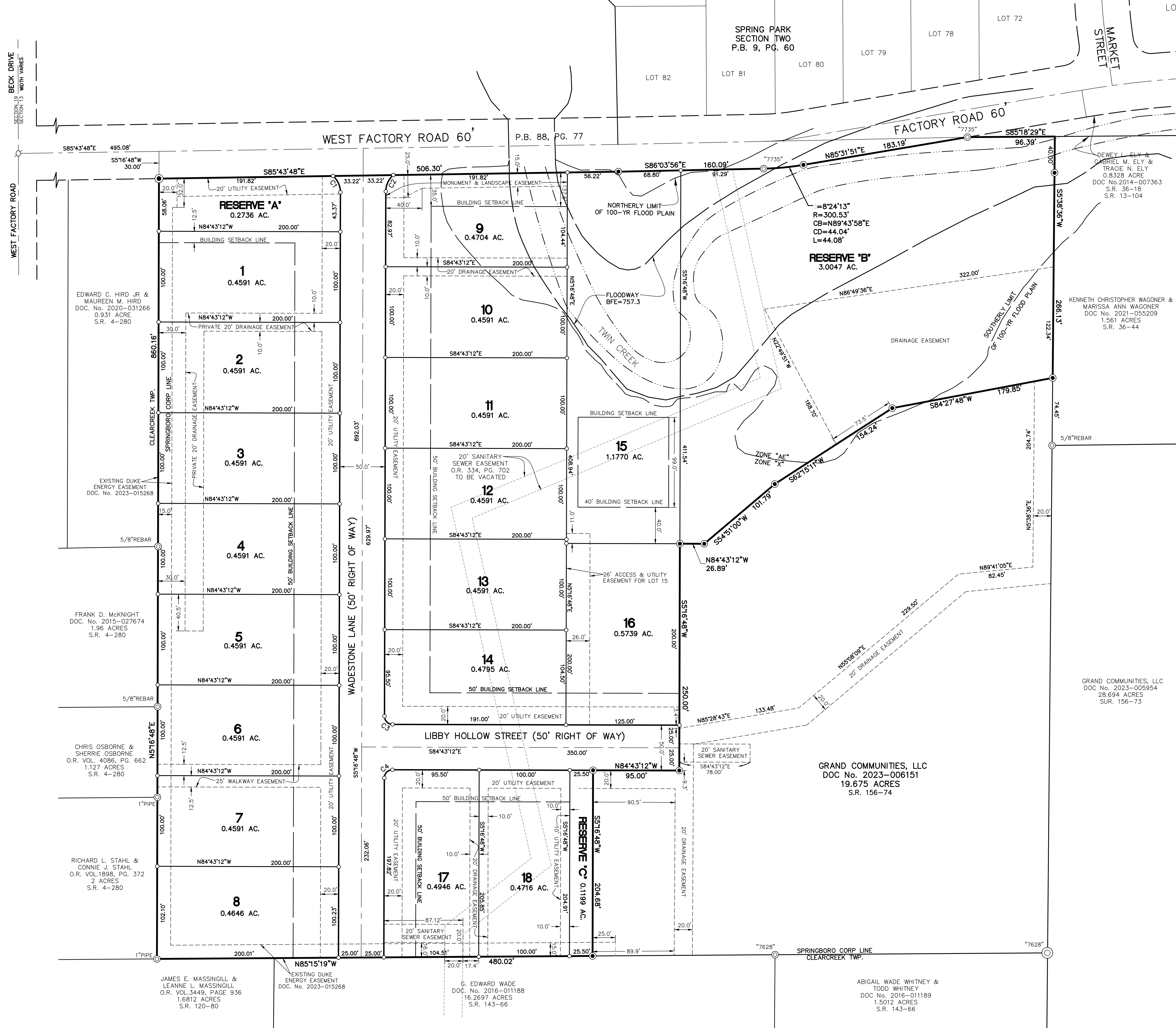
Bearings herein are based on the Ohio State Plane Coordinate System, South Zone, NAD 83, 2011 adjustment, which establishes with GPS observations a bearing of South 85°43'48" East, for the centerline of West Factory Road

NOTES:

- No vehicular access to West Factory Road from Reserves "A" and "B", Lots 9 and 15.
- Reserve "A" is nonbuildable lot and is to be maintained as common area and greenspace.
- Reserve "B" will be used for Stormwater Management facilities.
- Reserve "C" is to be used for a Private Access Drive and utility easement to the adjacent property south.
- 26' Access/Utility Easement located on Lot 16 is to be used for a Private Access Drive and utilities to Lot 15.
- 25' Walkway Easement along the common line to Lots 6 and 7 to be used for a sidewalk.
- Monuments found are in good condition.

BUILDING SETBACKS:				ACREAGE	
FRONT YARD	50 FEET			9.1817 ACRES LOTS	
SIDE YARD	12.5 FEET			3.3982 ACRES RESERVES	
REAR YARD	40 FEET			<u>+1.3654 ACRES RIGHT OF WAY</u>	
				13.9453 ACRES TOTAL	

Curve Table					
Curve #	Length	Radius	Delta	CB	CHORD
C1	20.46'	24.00'	48°51'01"	S19°08'42"E	19.85'
C2	20.48'	24.00'	48°53'10"	N29°43'23"E	19.86'
C3	14.14'	9.00'	90°00'00"	S39°43'12"E	12.73'
C4	14.14'	9.00'	90°00'00"	S50°16'48"W	12.73'



8101 North High Street, Suite 100
Columbus OH 43235 USA
tel 614 818 4900 fax 614 818 4901
arcadis.com

APPLICATION—PLANNED UNIT DEVELOPMENTS CITY OF SPRINGBORO PLANNING COMMISSION

☒ REZONING/GENERAL PLAN

☐ FINAL DEVELOPMENT PLAN

☐ RECORD PLAN

☐ VARIANCE

The undersigned requests the approval identified above. Approvals subject to expiration provided for in Chapter 1266 of Planning & Zoning Code. For all approvals under this application, it is understood that it shall only authorize the approval described in this application, subject to any conditions or safeguards required by the Planning Commission, and/or City Council.

☐ Owner
☐ Agent
☐ Lessee
☒ Signed Purchase Contract

APPLICANT NAME: M/I Homes of Cincinnati, LLC.

Address 9349 Waterstone Boulevard, Suite 100
Cincinnati, OH 45249

Telephone No. (513) 267- 4719

Fax No. _____

Email Address Bwilkins@MIHomes.com

PROPERTY OWNER NAME (IF OTHER): Jeff Bailey

Address: 6821 Red Lion-Five Points Road, PO Box 116

Springboro, OH 45066

Telephone No. (937) 689- 2665

Property Address or General Location: Red Lion-Five Points and W. Lower Springboro Road

Parcel Number(s): 08122260030 & 08122010020 Acreage: Approx. 79.991

PUD Category: ☒ Residential ☐ Retail ☐ Office ☐ Manufacturing ☐ Mixed Use

If Mixed Use, Acreage in Each Category: _____

For Residential Proposed Density 1.63 units/acre Number of Residential Units 130

Proposed Use: 130 new single family homes built on detached fee-simple lots

The applicant or representative who is authorized to speak on behalf of the request must also be present at all meetings.

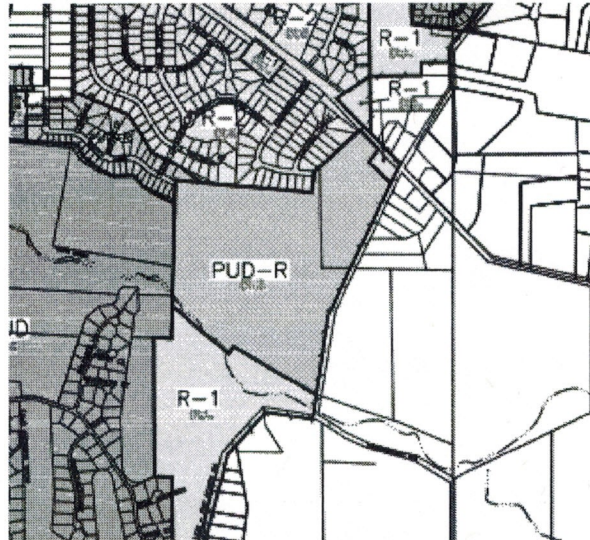
Brent Wilkins
(Signature of Applicant and/or Agent)

11/10/23
(Date)

Brent Wilkins, for M/I Homes of Cincinnati, LLC.
Printed Name

Authorization to Discuss Bailey Property

Please allow this letter to authorize M/I Homes and its agents to discuss the Property identified below (PUD-R) with the City of Springboro, Warren County, and any other governmental jurisdictions as needed.



By: Jeff Bailey

4-9-20
Date



Cincinnati Division
9349 Waterstone Blvd, Suite 100
Cincinnati, OH 45249
(513) 248-5400 **OFFICE**

Daniel Boron, AICP
City Planner, City of Springboro
320 W Central Avenue
Springboro, OH 45066

November 10, 2023

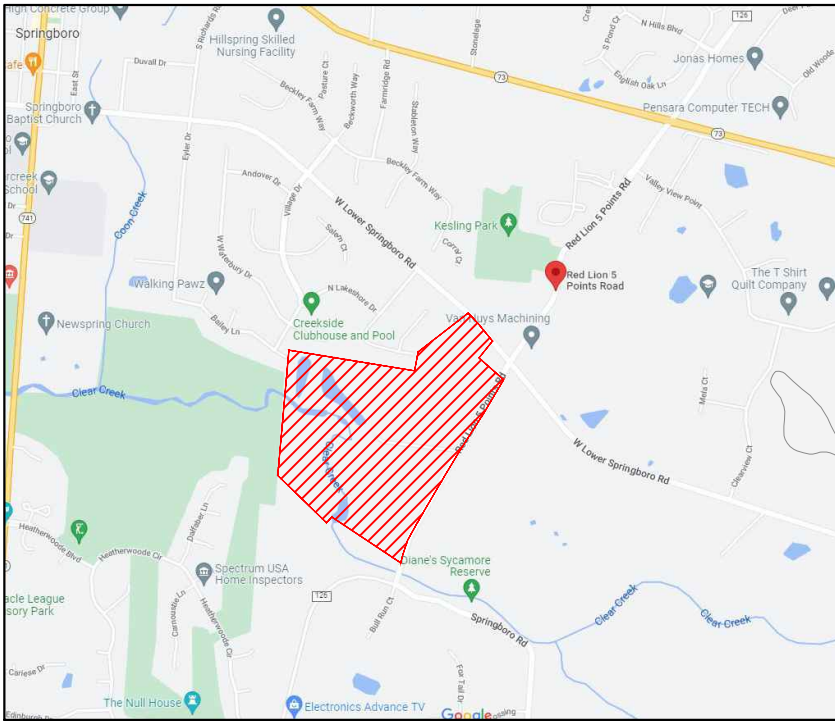
Subject: Open Space for Bailey Farm PUD-R

The 44.24 acres of common open space areas preserved in this development represents 55% of the 80-acre total site area. The formal open space will include landscaping, a walking path connecting to the overall sidewalk network, a playground and a hike/bike path. The open space will be owned and maintained by the homeowners' association established by M/I Homes.

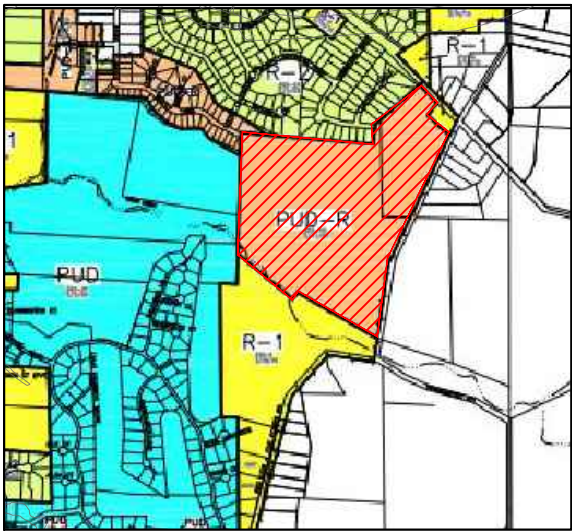
Sincerely,

A handwritten signature in blue ink that reads "Brent Wilkens".

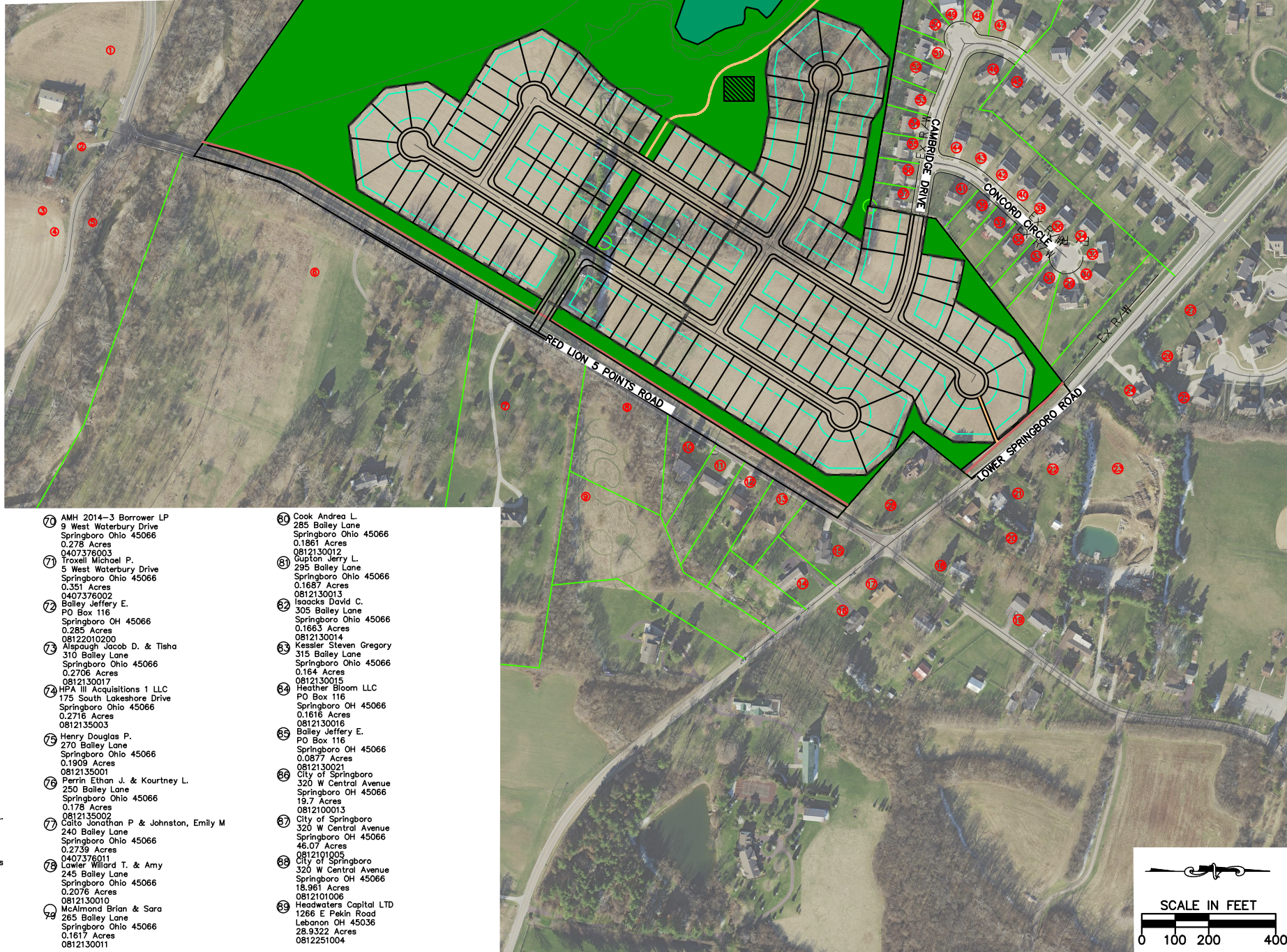
Brent Wilkens



VICINITY MAP
1" = 1,000'

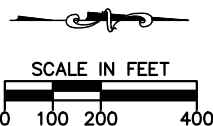


ZONING MAP
1" = 1,000'



PROPERTY OWNERS:

- 1 Headwaters Capital LTD
1266 E Pekin Road
Lebanon Ohio 45036
1.2912 Acres
0812252005
- 2 Morris Ryan S & Misty G
6498 Bull Run Court
Lebanon Ohio 45036
1.3696 Acres
0812275001
- 3 Davis Thomas W. Jr. & Tricia M.
6503 Fox Tail Drive
Lebanon Ohio 45036
2.923 Acres
0812430002
- 4 Macduff Terrence, William & Shelly Lynn
6502 Fox Tail Drive
Lebanon Ohio 45036
2.6972 Acres
0812430001
- 5 Clearcreek Township
7593 Bunnell Hill Road
Springboro Ohio 45066
6.796 Acres
0812276005
- 6 Sprout Thomas M.
PO Box 185
Springboro Ohio 45066
33.0899 Acres
0812276004
- 7 Sprout Samuel M. & Joann
6800 Red Lion-Five Points Road
Lebanon Ohio 45036
8.0311 Acres
0812276003
- 8 Davenport Renee Davis
6836 Red Lion-Five Points Road
Lebanon Ohio 45036
1.966 Acres
081228014
- 9 Garland Brian P. & Paula
991 W Lower Springboro Road
Springboro Ohio 45066
3.009 Acres
081228017
- 10 Norris Jennifer L.
PO Box 94
Springboro Ohio 45066
0.63 Acres
081228006
- 11 Tucker Joel Andrew
6922 Red Lion-Five Points Road
Lebanon Ohio 45036
0.752 Acres
081228005
- 12 Smith Harold Ray & Carol
1509 Hart Road
Lebanon Ohio 45036
0.865 Acres
081228004
- 13 Stiles Austin J. & Conley Makayla N
6950 Red Lion-Five Points Road
Lebanon Ohio 45036
0.594 Acres
081228003
- 14 Smith Peggy Ann
1055 Lower Springboro Road
Springboro Ohio 45066
N/A
081228002
- 15 Graham Robert C. & Debbi
6990 Red Lion-Five Points Road
Lebanon Ohio 45036
0.63 Acres
081228001
- 16 Mack Cynthia Faye
1064 Lower Springboro Road
Springboro Ohio 45066
0.954 Acres
0812277005
- 17 Patrick Lucinda J.
236 Lake Street
Delaware Ohio 43015
0.819 Acres
0407478006
- 18 Bailey Jeffrey E & Norris Jennifer
PO Box 116
Springboro Ohio 45066
1.23 Acres
0407476010
- 19 England Rebecca H. & Timothy L.
7089 Red Lion-Five Points Road
Springboro Ohio 45066
1 Acre
0407476006
- 20 Thomas Theresa & Robert
1134 W Lower Springboro Road
Springboro Ohio 45066
0.57 Acres
0407476009
- 21 Mousa Kevin M. & Lori
1150 Lower Springboro Road
Springboro Ohio 45066
0.541 Acres
0407476008
- 22 Rund Derek & Megan
1184 Lower Springboro Road
Springboro Ohio 45066
1.642 Acres
0407476007
- 23 Swigart Steven F. & Brid
7147 Red Lion-Five Points Road
Springboro Ohio 45066
3.6123 Acres
0407476019
- 24 Marsh Vincent C & Mollie
1234 Lower Springboro Road
Springboro Ohio 45066
0.9498 Acres
0407476016
- 25 Rogers Timothy J & Gladys Rogers
50 Corral Court
Springboro Ohio 45066
0.4115 Acres
0407408027
- 26 Eversding Bryan & Verdoorn Beth J.
60 Corral Court
Springboro Ohio 45066
0.4115 Acres
0407408027
- 27 Brill John Michael
55 Corral Court
Springboro Ohio 45066
0.4944 Acres
0407420013
- 28 Bremar James G & Lindsay
1129 Lower Springboro Road
Springboro OH 45066
1.47 Acres
0407477013
- 29 Mast Jeffrey A Jr. & Patricia
70 Concord Circle
Springboro Ohio 45066
0.552 Acres
0407477006
- 30 Oesterlin Peter E. & Bev
80 Concord Circle
Springboro Ohio 45066
0.306 Acres
0407477005
- 31 Patterson James B. Jr.
60 Concord Circle
Springboro Ohio 45066
0.482 Acres
0407477007
- 32 Weinman Charles R. & Amy
75 Concord Circle
Springboro Ohio 45066
0.398 Acres
0407451029
- 33 Slade Bob & Bowlin Andr
50 Concord Circle
Springboro Ohio 45066
0.349 Acres
0407477008
- 34 Paradise James J.
35601 Meadowdale Drive
Solon Ohio 44139
0.24 Acres
0407451028
- 35 Thomas Earl E. & Angela
40 Concord Circle
Springboro Ohio 45066
0.328 Acres
0407477009
- 36 James E. Marsh & Retta A.
55 Concord Circle
Springboro Ohio 45066
0.258 Acres
0407451027
- 37 Crawford Victor T.
30 Concord Circle
Springboro Ohio 45066
0.305 Acres
0407477010
- 38 Sams Laura C.
45 Concord Circle
Springboro Ohio 45066
0.258 Acres
0407451026
- 39 Burt Robert F. & Kristin
20 Concord Circle
Springboro Ohio 45066
0.281 Acres
0407477011
- 40 Flay Evan & Christine
35 Concord Circle
Springboro Ohio 45066
0.258 Acres
0407451025
- 41 Selbel Johnathan & Heather
10 Concord Circle
Springboro Ohio 45066
0.341 Acres
0407477012
- 42 Moran William C. & Pamela
25 Concord Circle
Springboro Ohio 45066
0.258 Acres
0407451024
- 43 Kennedy Matthew J. & Rebekah L.
15 Concord Circle
Springboro Ohio 45066
0.306 Acres
0407451023
- 44 Bell William E.
5 Concord Circle
Springboro Ohio 45066
0.412 Acres
0407451022
- 45 PAG Holdings LTD
140 Cambridge Drive
Springboro Ohio 45066
0.261 Acres
0407451018
- 46 FKX SFR Propco K
160 Cambridge Drive
Springboro Ohio 45066
0.446 Acres
0407451021
- 47 Stull Michael J. & Tracy
125 Cambridge Drive
Springboro Ohio 45066
0.336 Acres
0407465011
- 48 Freeman Benjamin T. & Caroline
PO Box 341262
Springboro Ohio 45066
0.285 Acres
0407465010
- 49 MC George Asher
145 Cambridge Drive
Springboro Ohio 45066
0.394 Acres
0812201019
- 50 Pag Holdings LTD
155 Cambridge Drive
Springboro Ohio 45066
0.342 Acres
0812201018
- 51 Glenn John B. & Renee M.
165 Cambridge Drive
Springboro Ohio 45066
0.280 Acres
0812201017
- 52 Szabo Brian P.
175 Cambridge Drive
Springboro Ohio 45066
0.261 Acres
0812201016
- 53 Pag Holdings LTD
185 Cambridge Drive
Springboro Ohio 45066
0.243 Acres
0812201015
- 54 Farley William J. Jr.
195 Cambridge Drive
Springboro Ohio 45066
0.224 Acres
0812201014
- 55 Pham Hui
205 Cambridge Drive
Springboro Ohio 45066
0.215 Acres
0812201013
- 56 Wang Changzeng & Zhou R
215 Cambridge Drive
Springboro Ohio 45066
0.215 Acres
0812201012
- 57 Kendel LLC
2331 Oakglen Ct.
Dayton Ohio 45459
0.218 Acres
0812201011
- 58 Angel Gary D. & Glynn An
90 East Waterbury Drive
Springboro Ohio 45066
0.429 Acres
0812201004
- 59 Davis William E. & Sauer
85 East Waterbury Drive
Springboro Ohio 45066
0.478 Acres
0812201005
- 60 Kennedy Christopher A.
69 East Waterbury Drive
Springboro Ohio 45066
0.249 Acres
0812201006
- 61 Antill Michael L.
53 East Waterbury Drive
Springboro Ohio 45066
0.274 Acres
0812201007
- 62 Boeck Michael & Jennifer
37 East Waterbury Drive
Springboro Ohio 45066
0.263 Acres
0812201008
- 63 Murdock James C.
PO Box 6502
Springfield Ohio 45501
0.245 Acres
0812201009
- 64 Stanifer, Charles
110 South Lakeshore Dr.
Springboro Ohio 45066
0.328 Acres
0812201010
- 65 Bauer Adam M. & Randell R.
66 East Waterbury Drive
Springboro Ohio 45066
0.335 Acres
0407465008
- 66 Owens Joseph S. & Tamara
52 East Waterbury Drive
Springboro Ohio 45066
0.306 Acres
0407465005
- 67 Garbark Phillip R. & Ren
38 East Waterbury Drive
Springboro Ohio 45066
0.293 Acres
0407465004
- 68 Allen Charles, Gregory & Jennifer L.
24 East Waterbury Drive
Springboro Ohio 45066
0.238 Acres
0407465003
- 69 American Homes 4 Rent, Properties
Seven LLC
10 East Waterbury Drive
Springboro Ohio 45066
0.288 Acres
0407465002
- 70 AMH 2014-3 Borrower LP
9 West Waterbury Drive
Springboro Ohio 45066
0.278 Acres
0407376003
- 71 Traxell Michael P.
5 West Waterbury Drive
Springboro Ohio 45066
0.351 Acres
0407376002
- 72 Bailey Jeffrey E.
PO Box 116
Springboro OH 45066
0.285 Acres
08122010200
- 73 Alspaugh Jacob D. & Tisha
310 Bailey Lane
Springboro Ohio 45066
0.2706 Acres
0812130017
- 74 HPA III Acquisitions 1 LLC
175 South Lakeshore Drive
Springboro Ohio 45066
0.2716 Acres
0812135003
- 75 Henry Douglas P.
270 Bailey Lane
Springboro Ohio 45066
0.1909 Acres
0812135001
- 76 Perrin Ethan J. & Kourtney L.
250 Bailey Lane
Springboro Ohio 45066
0.178 Acres
0812135002
- 77 Gatto Jonathan P & Johnston, Emily M
240 Bailey Lane
Springboro Ohio 45066
0.2739 Acres
0407376011
- 78 Parades Willard T. & Amy
245 Bailey Lane
Springboro Ohio 45066
0.2076 Acres
0812130010
- 79 McAlmond Brian & Sara
265 Bailey Lane
Springboro Ohio 45066
0.1617 Acres
0812130011
- 80 Cook Andres L.
285 Bailey Lane
Springboro Ohio 45066
0.1861 Acres
0812130012
- 81 Traxell, Jerry L.
295 Bailey Lane
Springboro Ohio 45066
0.1687 Acres
0812130013
- 82 Isaacs David C.
305 Bailey Lane
Springboro Ohio 45066
0.1663 Acres
0812130014
- 83 Kessler Steven Gregory
315 Bailey Lane
Springboro Ohio 45066
0.164 Acres
0812130015
- 84 Heather Bloom LLC
PO Box 116
Springboro OH 45066
0.1663 Acres
0812130016
- 85 Bailey Jeffrey E.
PO Box 116
Springboro OH 45066
0.0877 Acres
0812130021
- 86 City of Springboro
320 W Central Avenue
Springboro OH 45066
19.7 Acres
0812100013
- 87 City of Springboro
320 W Central Avenue
Springboro OH 45066
46.07 Acres
0812101005
- 88 City of Springboro
320 W Central Avenue
Springboro OH 45066
18.961 Acres
0812101006
- 89 Headwaters Capital LTD
1266 E Pekin Road
Lebanon OH 45036
28.922 Acres
0812251004

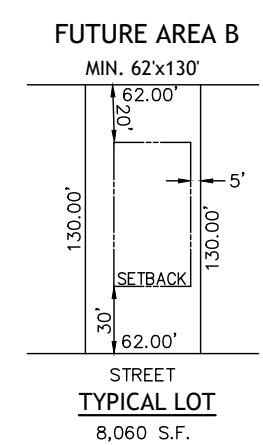
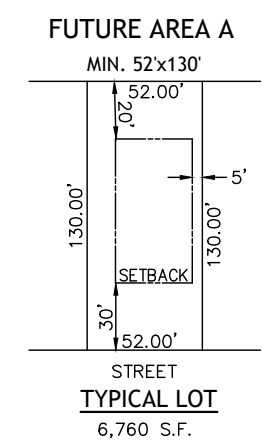


REVISIONS:

FILE NAME	VICINITY
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2202
DATE	11-15-2023
SHEET NUMBER	1 OF 4

**BAILEY FARM CONCEPT
CITY OF SPRINGBORO
GENERAL PLAN**

REVISIONS:	
FILE NAME	PHASE
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2202
DATE	11-15-2023
SHEET NUMBER	2 OF 4



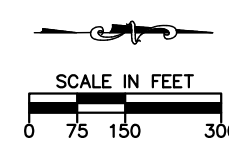
PROPOSED STREET RIGHTS OF WAY
TO BE 50' IN WIDTH.
INTERNAL STREETS TO BE 29' BACK
TO BACK CURB WITH 5' SIDEWALKS.

SITE: 80.1 AC.
SUMMARY TABLE:
PROPOSED USE: SINGLE FAMILY
RESIDENCE
NUMBER OF DWELL UNITS: 130
NET DENSITY OF RESIDENTIAL USES:
130 UNITS / 80.1 AC.
= 1.623 UNITS / ACRE
EXISTING ZONING: PUD-R ZONING

OPEN SPACE: 44.24 AC. / 55%
64 LOTS 62'x130'
66 LOTS 52'x130'

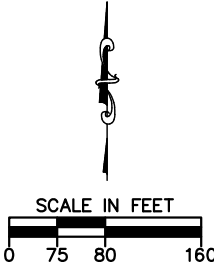
130 TOTAL LOTS
FRONT SETBACK = 30'
REAR SETBACK = 20'
SIDE SETBACK = 5', 10' TOTAL

- OPEN SPACE MAINTAINED BY HOA
- EXISTING FLOODWAY
- PROPOSED WALKING PATH
- PROPOSED HIKE/BIKE PATH





- OPEN SPACE MAINTAINED BY HOA
- EXISTING FLOODWAY
- PROPOSED WALKING PATH
- PROPOSED HIKE/BIKE PATH




**BAILEY FARM CONCEPT
CITY OF SPRINGBORO
GENERAL PLAN**

REVISIONS:

FILE NAME	SOUTH
DRAWN BY	JLH
CHECKED BY	JSP
PROJECT No.	WARSPR2202
DATE	11-15-2023
SHEET NUMBER	3 OF 4





ChoiceOne
Engineering

SIDNEY, OHIO 937.497.0000
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

BAILEY FARM CONCEPT
CITY OF SPRINGBORO
GENERAL PLAN

REVISIONS:

NO.	DESCRIPTION	DATE

FILE NAME
NORTH

DRAWN BY
JLH

CHECKED BY
JSP

PROJECT No.
WARSPR2202

DATE
11-15-2023

SHEET NUMBER
4 OF 4

Proposed Products – Area A

- Avery – 1,476 SF
- Remington – 1,514 SF
- Brody – 1,626 SF
- Cameron – 1,715 SF
- Turnbull – 1,769 SF
- Steinbeck – 1,845 SF
- Emerson – 1,947 SF
- Yeats – 2,262 SF
- Sinclair – 2,310 SF
- Inglewood – 2,558 SF
- Cooke – 2,624 SF
- Barrett – 3,035 SF
- Thoreau – 3,067 SF

- 13 Unique House Plans (5 Ranch Plans & 8 2-Story Plans)
- Elevations to be comprised of brick, stone and/or vinyl siding. All plans to meet or exceed the requirements set forth in code 1264.06 (a).
- Estimated Average Sales Price Range
 - \$350,000 to \$550,000
- Range of Floor Plan Sizes
 - 1,476 sf to 3,594 sf

Proposed Products – Area B

- Faulkner – 1,544 SF
- Cooper – 1,776 SF
- Steinbeck – 1,845 SF
- Melville – 1,865 SF
- Clayton – 1,927 SF
- Emerson – 1,947 SF
- Cheswicke – 2,188 SF
- Yeats – 2,262 SF
- Sinclair – 2,310 SF
- Serenity – 2,330 SF
- Dawson – 2,461 SF
- Inglewood – 2,558 SF
- Cooke – 2,624 SF
- Hampton – 2,869 SF
- Barrett – 3,035 SF
- Ainsley II – 3,175 SF
- Fairview – 3,322 SF
- Nicholas – 3,390 SF

- 18 Unique House Plans (6 Ranch Plans & 12 2-Story Plans)
- Elevations to be comprised of brick, stone and/or vinyl siding. All plans to meet or exceed the requirements set forth in code 1264.06 (a).
- Estimated Average Sales Prices
 - \$500,000 to \$650,000
- Range of Floor Plan Sizes
 - 1,544 sf to 3,918 sf



M/I HOMES

AVERY



BRODY



CAMERON



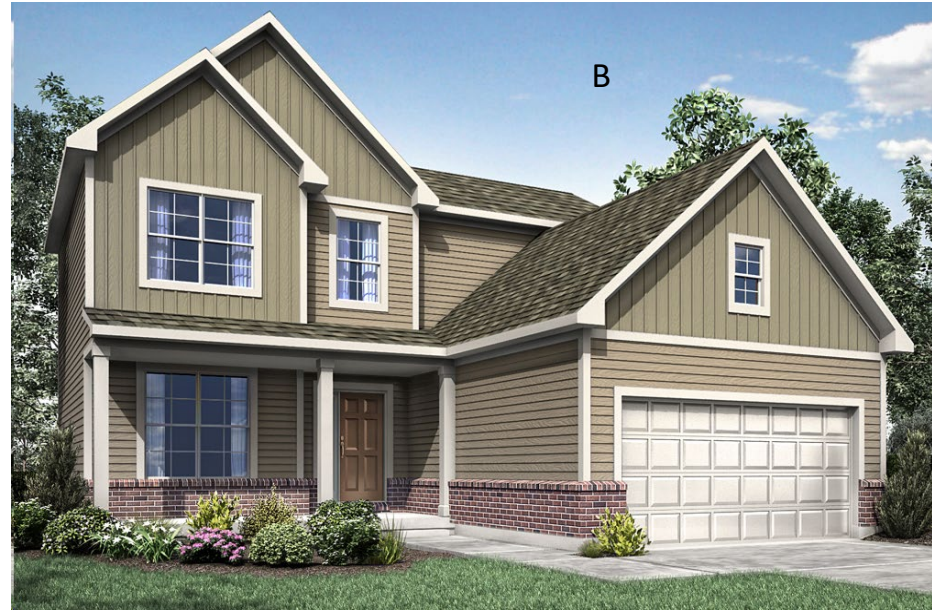
REMINGTON



TURNBULL



STEINBECK



EMERSON



YEATS



SINCLAIR



INGLEWOOD



COOKE

A-w/Bonus Rm.



B



B-w/Bonus Rm.



C-w/Bonus Rm.



COOKE



BARRETT



SERENITY



THOREAU



FAULKNER



COOPER



MELVILLE



CLAYTON



CHESWICKE

A



B



C



D



CHESWICKE

D



E



F



G



DAWSON



HAMPTON



AINSLEY II



FAIRVIEW



NICHOLAS

A



B



C



D



**City of Springboro
320 West Central Avenue, Springboro, Ohio 45066
Planning Commission Meeting
Wednesday, December 13, 2023**

I. Call to Order

Chair Becky Iverson called the December 13, 2023 Springboro Planning Commission Meeting to order at 6:00 pm at the Springboro Municipal Building, Council Chambers, 320 West Central Avenue, Springboro, Ohio.

Present: Becky Iverson, Chair, Steve Harding, Matt Leedy, John Sillies, and Mike Thompson.

Staff Present: Dan Boron, City Planner; Chad Dixon, City Engineer; and September Bee, Planning Commission Secretary.

Mr. Thompson motioned to excuse Mr. Dimmitt and Mr. Pearson. Mr. Sillies seconded the motion.

Vote: Iverson, yes; Harding, yes; Leedy, yes; Sillies, yes; Thompson, yes (5 yes - 0 no)

II. Approval of Minutes

October 11, 2023 Planning Commission Minutes

Ms. Iverson asked for corrections or additions to the minutes. There were none.

Mr. Harding motioned to approve the October 11, 2023 Planning Commission minutes. Mr. Thompson seconded the motion.

Vote: Iverson, yes; Harding, yes; Leedy, yes; Sillies, yes; Thompson, yes (5 yes - 0 no)

III. Agenda Items

A. Preliminary Review

General Plan, near southwest corner of West Lower Springboro Road and Red Lion-Five Points Road, 6821 Red Lion-Five Points Road, Bailey Farms PUD-R, Planned Unit Development-Residential, single-family residential development

Background Information

This agenda item is based on an application filed by M/I Homes, Cincinnati, Ohio, seeking general plan approval for the development of a single-family, residential subdivision under the terms of the City's Planned Unit Development (PUD) provisions, Chapter 1266 of the Planning and Zoning Code. The subject property is approximately 79.9 acres in area. The subject property is located southeast of the corner of West Lower Springboro Road and Red Lion-Five Points Road. The subject property does not include a 1.47-acre residential lot located immediately adjacent to that corner. A total of 130 single-family detached residential units are proposed in the PUD-R, Planned Unit Development-Residential.

This item was reviewed on a preliminary basis at the September 21, 2022 Planning Commission meeting. Following that review, the applicants pulled the proposal off the table to resolve estate and site layout issues.

The subject property was annexed into the City from Clearcreek Township in 2006 and accepted by City Council in January 2007. The annexation was subject to an intergovernmental agreement between the City and Clearcreek Township that included statements (1) restricting development to single-family residential development, (2) with a street pattern approved by the Springboro Planning Commission, (3) allowing no more than 130 lots in the buildable portion of the property, and (4) the installation of a buffer along the Red Lion-Five Points Road portion of the property.

Rezoning to incorporate the agreement was the responsibility of the City. Rezoning to PUD-R was accomplished through Ordinance O-07-15 approved by City Council on May 17, 2007 and effective June 16, 2007. The Planning Commission approved a recommendation of approval of the rezoning at its February 28, 2007 meeting. The PUD-R was consistent with the Springboro Comprehensive Land Use Plan of 1998, the land use and development guidance at the time. The property owners, the Bailey family, elected to continue to use the property as is: a farm and residential use.

Rezoning is one-half of the first step of the three-step PUD approval process, the other half being general plan review and approval that is the subject of this agenda item. At the time, general plan and rezoning reviews and approval could take place separately. General plan review requires review of both Planning Commission and City Council, the latter in the form of a resolution, and no Public Hearing.

Following general plan review, the second stage of the PUD review and approval process, final development plan, may proceed. For a development of this size it is anticipated that a number of final development plans may be submitted for review and approval so that development may proceed in an incremental manner or in sections. For example, Settlers Walk includes 10 neighborhoods and 44 sections with its 1,300 residential dwelling units. The final step in the PUD approval process is record plan approval coinciding with the creation of lots, and the dedication of right-of-way and open space. Record plans are reviewed and approved by Planning Commission and City Council.

The proposed general plan submitted for review includes 130 single-family residential lots. A total of 66 6,760-square foot lots (52 feet wide and 130 feet deep) and 64 8,060-square foot (62 feet wide and 130 feet deep) are proposed. Setbacks and other details are included in the general plan exhibits.

Primary access to the site is from Red Lion-Five Point Road roughly midway between West Lower Springboro Road and the intersection of Red Lion-Five Points Road and Springboro Road to the south. Secondary access is provided through an extension of Cambridge Drive and the Creekside subdivision to the west. While the subject property has frontage on West Lower Springboro Road, no access is proposed. The dedication of right-of-way is needed to accommodate the development both from the City (West Lower Springboro Road) and Clearcreek Township (Red Lion-Five Point Road). The eastern edge of the subject property coincides with the City corporation line. Fairway Drive to the west will be extended into the site with a cul-de-sac and terminated with no lots in the area.

A multiuse trail is proposed for public use along Red Lion-Five Points Road, extending through the development to West Lower Springboro Road. This trail will eventually connect with a similar trail to the south in the Clearcreek Reserve West subdivision. The bike lane on West Lower Springboro Road will be extended to the east corporation boundary concurrent to development of the Bailey Farm. Additional private trails are proposed within the development. All streets will incorporate sidewalks as provided by City code.

The proposed general plan includes 45.36 acres of open space, or 55% of the subject property land area. This includes a proposal for a common area including a playground and trails around an existing pond. A significant portion of this area is defined as the floodway and floodplain of Clear Creek.

Following the discussion at the December 13 Planning Commission meeting the Planning Commission may authorize this agenda item to be placed on a future agenda for formal action in the form of a recommendation to City Council.

Adjacent land uses include to the west the Creekside residential subdivision, on the north side of Lower Springboro Road a residential lot and beyond the Fieldstone residential subdivision. To the east in Clearcreek Township, residential lots on the north side of Lower Springboro Road and continuing to the east side of the property on the east side of Red Lion-Five Points Road in Clearcreek Township. The south side of the property coincides with the open space portion of the Clearcreek Reserve East residential subdivision in Springboro.

Adjacent zoning in the Springboro portion of the vicinity includes R-2, Low-Density Residential District, in the Creekside, Fieldstone, and Clearcreek Reserve East subdivisions, and R-1 for remaining lands in the vicinity in the City. For the Clearcreek Township vicinity, R-1, Rural Residence Zone to the north and northeast, and to the east SR-1, Suburban Residence Zone, and OSR-1, Open Space Rural Residence Zone.

Staff Comments

City staff has the following comments on this agenda item:

1. Vinyl prohibited from use as an exterior building material aside from window and trims.
2. Setbacks are measured at the overhang.
3. Roadway to be built to city specifications. Intersections to be at 90 degrees (revise Cambridge Drive accordingly).
4. Roadway improvements along Lower Springboro Road to include: dedicate 40 feet half right of way, widen the road to 18 feet from center line of road to south, add curb & gutter, storm sewer, sidewalks and bike lane.
5. Provide relief sewer and remove the existing lift station in the Villages of Creekside. Provide water main stub into the golf course along the proposed cul-de-sac at the east end of Bailey Lane.
6. No development is to occur in the floodway and or floodplain, without prior permit approval by the City Engineer.
7. Revise General Plan drawings to have standard engineering scale type on each sheet, i.e. 1"=20', 30', 40', 50', 60', 100', 200'. Please verify that sheets are printed to scale.
8. Provide minimum dwelling unit S.F. for each Area (A & B) on General Plan.
9. Details regarding the improvements along Red-Lion Five Points Road to meet requirements of Warren County/Clearcreek Township and meet the requirements of the previous annexation of the property, specifically: When the subject property is proposed to be developed, the owner will, as part of its Record Plat establish a fifty foot (50') wide buffer strip along the west side of Red Lion-Five Points Road, to be owned and maintained by the homeowners' association for the subdivision. With the filing of such record plat, the owner shall also guarantee the construction of an attractively-contoured seven-foot (7') high, minimum, landscaped mound within the buffer strip, with side slopes not to exceed a grade of 3:1. The minimum height of the mound shall be measured from the existing grade of the adjoining pavement on Red Lion-Five Points Road. The buffer strip may be reduced in width to no less than 40' where the side of the mound away from Red Lion-Five Points Road is terminated into a decorative stone retaining wall. The retaining wall need not follow the lot line provided that it is entirely within the buffer strip. In such event, the adjacent building lot may extend to that retaining wall. Included in the landscaping of the buffer strip shall be trees of appropriate species. Evergreen trees shall be at least 5' tall and deciduous trees shall be at least 1-1/2" caliper at the time of planting.
10. An approved traffic impact study to be completed prior to general plan approval. Any associated improvements required by the study to be implemented on the general plan and subsequent construction drawings.
11. Provide metes and bounds of the boundary lines.

12. Basements shall be served by gravity sewer and shall not be permitted otherwise. Grinder pumps are not permitted.
13. Details for proposed common areas to be provided during final development plan, stage 2 of PUD approval process.
14. Provide legal description of property and survey.
15. Lighting planned for individual home sites to be provided at final development plan.
16. Pursuant to Section 105.4.3 of the Ohio Fire Code, it shall be the responsibility of the applicant to ensure that the construction documents include all of the fire protection requirements and shop drawings are complete and in compliance with the applicable codes and standards. Construction documents reviewed by the fire code official in accordance with paragraph (D)(2)(a)(104.2.1) of this rule or construction documents approved with the intent that such construction documents comply with all aspects with the code. Review and approval shall not relieve the applicant of the responsibility of compliance with the code.
17. New home shall be provided with approved address identification. The address identification shall be legible and be placed in a position that is visible from the street or road fronting the property. Address identification shall contrast with their background. Address numbers shall not be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall not be less than 4 inches (12.7 mm).
18. Streets and roads shall be identified with approved signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an approved size, weather resistant until replaced by permanent signs.

Discussion:

Mr. Brent Wilkens, M/I Homes, and Mr. Michael Goettemoeller, Choice One Engineering, were present to answer any questions from Planning Commission members and City staff.

Mr. Brent Wilkens and Mr. Michael Goettemoeller introduced themselves to Planning Commission and staff.

Ms. Iverson asked Mr. Boron for a brief summary of the project.

Mr. Boron said that this project has been before the Planning Commission approximately one year ago but was withdrawn until estate and design issues were resolved. As a courtesy, all City residents who live within 300 feet of this property were notified of the rezoning request by mail.

Mr. Boron stated that this item dates back to 2007 when the property was rezoned to PUD but without a general plan, which at the time was permitted. This property was annexed by the City of Springboro from Clearcreek Township in order to square off the City boundary and to provide a continuous utilities connection on the east boundary of the community. City code now requires a general plan to be submitted which will typically show where open space is located, street connections, lots, developments and details regarding the homes that are being proposed. This general plan is now catching up with the rezoning that has already occurred.

Mr. Wilkens said that after getting several legal issues settled with the property they are ready to move forward with this project. They have changed the lot widths to 52 feet and 62 feet to allow for the setbacks required. The 62 feet wide lots are located on the eastern side and the 52 feet wide lots will be located on the western portion of the property. The greenspace has been increased per staff recommendations. He added that 42 of the smaller lots will be on slab foundations due to the sewer availability; 24 of the smaller lots and all of the 64 larger lots will have basements for a total of 130 proposed sites. Buffers have been increased as well.

Ms. Iverson thanked Mr. Wilkens for adding the additional buffers and greenspace to the plans.

Mr. Sillies asked why so much of the property is designated as greenspace.

Mr. Wilkens stated there is a flood plain and floodway on the property as well as an existing pond which will remain to help with storm water retention.

Mr. Sillies asked if the reason no cul-de-sacs or stub streets are proposed is because there is no connectivity available to City properties.

Mr. Boron and Ms. Iverson said the answer is yes, it's very similar to what was built in the Beck Ridge subdivision. There is nowhere to connect to other locations but there are two access points to go in and out.

Ms. Iverson asked about the connectivity of the walking trail proposed.

Mr. Boron stated that in future development plans, the City will ask M/I Homes to allow for public access to portions of the open space so that the paved multi-use trail can be used by all residents, not just the property owners in the subdivision.

Mr. Sillies asked if the City is putting any limits on the types of homes to be built or will the contractor be able to build whatever he wants? Will this be designated as senior living?

Mr. Boron said that that is part of what the Planning Commission and staff are deciding with this meeting. This PUD review is a clean slate.

Mr. Wilkens asked Mr. Boron to explain the difference between the rezoning plan and the general plan.

Mr. Boron stated that the rezoning covers the permitted uses on the site and the general layout parameters. The general plan covers everything else: the layout of the roads, the homes being proposed and the nature of the homes to be offered, as well as all the other design and development standards laid out on their plans. The zoning is already in place as single-family detached homes.

Mr. Harding asked if the slab homes would all be single-story homes.

Mr. Wilkins replied that there has been some discussion by their group about designating the slab homes as single-story, but it has not been determined if that will be the case for certain at this point.

There was a general discussion among Planning Commission members about the necessity of requiring what style of homes will be built. The general consensus was that the marketplace will decide what buyers want to build.

Mr. Leedy asked if the size of the lots was determined by the amount of unbuildable space on the property. At the time the property was rezoned, was it known that the 45 acres were unbuildable?

Mr. Boron said that from what he has seen throughout this process with the property owners is that they were aware that the flood plain and floodway were a consideration. Some of the rules may have changed and the floodway may have been altered slightly, but overall the floodway/flood plain boundary of the property has remained generally the same.

Mr. Dixon said that no development may occur in the floodway. The flood plain can be developed.

Ms. Iverson asked about the timeline M/I Homes wants to pursue; do they want to try to come back for the next Planning Commission meeting in January? What would the next step be as far as Planning Commission is concerned?

Mr. Boron said that M/I would need to re-appear at another meeting for preliminary review and if they can meet the submission deadline of Monday, December 18, 2023, they could be on the agenda for the January 10, 2024. After further review by the Planning Commission, they can send a recommendation to City Council for review and possible approval. If Council members approve the resolution, final development plans will be required with more details.

Ms. Iverson asked Mr. Wilkens and Mr. Goettemoeller if they have any further questions.

Mr. Wilkens asked if fibrous cement board products would be the only siding that would be considered; if he brought samples of other siding products to the next meeting would the Planning Commission consider those.

Ms. Iverson said that yes, if samples were provided that were not vinyl they would look at them for possible approval.

Mr. Boron asked Mr. Wilkens if he wanted to come back for a preliminary review in January.

Mr. Wilkens said that he would collect a variety of products and would bring them to the next meeting.

Mr. Boron asked Mr. Wilkens if he had any further questions regarding the staff comments and recommendations.

Mr. Wilkens said that Mr. Goettemoeller would ask any engineering-related questions they have.

Mr. Goettemoeller asked if there were questions regarding the traffic study conducted.

Mr. Boron asked about what the status is of the traffic study.

Mr. Goettemoeller said that the traffic impact study has been completed and submitted to Mr. Dixon and the Warren County Engineer. The results of the study show that there are no roadway improvements needed with the development. Site distance was studied and there is clear site distance in both directions from the proposed entrance.

Mr. Dixon said that the City's consultant, Scott Knebel, has the completed study, along with the Dave Mick, Warren County Engineer's office, and once comments have been received from them, they will be incorporated into the study.

Mr. Thompson asked about the width of the entryways; would they be adequate to handle all the new traffic.

Mr. Goettemoeller said the capacity analysis showed the Level of Service (LOS) at B or better. LOS is based on a five grade system, A being the best, E being the worst. Improvements would not be required unless the level of service dropped to LOS D or lower.

Mr. Thompson asked if the cul-de-sac was large enough for school busses and emergency vehicles to turn around.

Mr. Boron said that another concern with cul-de-sacs is being able to get the snow removal vehicles in and out. Comments were received from the fire department but they did not include any concerns about the cul-de-sac, but staff could ask them again if it is satisfactory.

Mr. Thompson asked if the construction entrance would be located off of Red Lion-Five Points Road.

Mr. Wilkens said yes, that would be the construction entrance.

Mr. Boron advised Mr. Wilkens to have that designation added to the construction plans so that when construction actually begins, contractors will know which entrance they are to use to avoid them accessing the site through the neighboring subdivision.

Mr. Wilkens thanked the Planning Commission for the feedback.

B. Preliminary Review

Planning & Zoning Code Text Amendment, public notifications

Discussion:

Mr. Boron referenced his memorandum included in the meeting materials for this discussion. He stated that through our Law Director, Jerry McDonald, a recent change in state law was incorporated into the budget approved in June 2023 that included a provision that allows communities to provide notifications by website but does not require notification through general circulation media anymore.

Mr. Boron asked for the Planning Commission to authorize moving ahead with this item for final approval at the next meeting in January. He said that all other notifications, such as rezoning notifications, would continue to occur. In addition, the City posts notifications at three other locations throughout the City. With respect to the Board of Zoning Appeals, they are also currently required to provide notification through general circulation media. This change will save both time and money for the City and some applicants.

Mr. Boron said that he would also like to ask Planning Commission to change the notification standard for nearby residents from 300 feet to within 200 feet of the site. 200 feet is the standard throughout the Miami Valley. This is for a Resolution, not a Public Hearing, so it would go straight to City Council if approved by Planning Commission members.

C. Motion to Add Agenda Item

Add a Member of Planning Commission member to the Board of Zoning Appeals Board

Ms. Iverson called for a motion to approve adding this agenda item to tonight's meeting.

Mr. Harding motioned to approve the addition to the agenda. Mr. Sillies seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Harding, yes; Leedy, yes; Sillies, yes; Thompson, yes (5 yes - 0 no)

D. Motion to Approve Adding a Planning Commission member to the Board of Zoning Appeals Board

Add Mike Thompson, Planning Commission member, to the Board of Zoning Appeals Board

Ms. Iverson called for a motion to approve adding Mr. Thompson to the Board of Zoning Appeals Board.

Mr. Harding motioned to approve the final approval. Mr. Sillies seconded the motion.

Ms. Iverson called for roll call.

Vote: Iverson, yes; Harding, yes; Leedy, yes; Sillies, yes; Thompson, abstain (4 yes - 0 no – 1 abstain)

V. Guest Comments

Ms. Iverson asked if there were any guest comments.

Mr. Bob Slade, 50 Concord Circle, approached the podium to address Planning Commission members. He wanted to know if the 62 foot lots would be backed up against Concord Circle in Creekside.

Mr. Wilkens confirmed the 62 foot lots back up to Concord Circle.

Mr. Slade asked if the easement that runs along the west side of the property would be removed during the new development process.

Mr. Wilkens was not certain about the status of the easement on the west side of the property. Information regarding that is still being studied by the development group.

Mr. Slade asked if the traffic study included traffic coming out into Cambridge Drive.

Mr. Goettemoeller confirmed that the traffic into Cambridge Drive was included in the traffic study.

Mr. Slade commented that he is concerned about his property value if ranch homes on slabs become a big part of this new development. Currently there no ranch home in his neighborhood. He is also concerned about the setbacks noted on the development plans; the lots appear to be very close to one another with very small backyards.

Mr. James Patterson, 60 Concord Circle approached the podium for comments. He has the same concerns as Mr. Slade regarding the status of the easement on the western end of the property. He asked if the greenspace between Concord Circle and the new development would include trees and bushes as a buffer or just be flat greenspace with no buffer.

Mr. Boron said buffer areas have minimum standards regarding the width and number of trees to be included but that minimum can be increased by the Planning Commission with additional improvements in the buffer zone if deemed necessary.

Ms. Iverson said that further discussion regarding the greenspace will occur later on in the planning stages if the project moves forward.

Mr. Patterson is concerned about the additional traffic that will be coming through his neighborhood from Cambridge Drive. There are a lot of children in the area and the fact that so many people park on the street narrows the roads even further. There is a curve in the road that is already hard to maneuver.

Mr. Goettemoeller said that the traffic study had included Cambridge Drive during peak hours as well as off hours and it showed that the impact would be minimal to the neighborhood.

Ms. Iverson said that perhaps some traffic calming measures could be put into place to help with safety concerns.

Mr. Boron said that typically speed bumps are not used to address traffic calming. After the results of the traffic impact study are reviewed by the City's Traffic Engineer.

Mr. Patterson asked what the next step in the approval process will be.

Ms. Iverson said that at the next meeting the developer attends, there will be at least one more preliminary review before it goes before Planning Commission for Final Approval. She also noted that all materials are available on the City's website.

Mr. Boron said that after the applicants appear at the January meeting, the earliest the plans could be formally adopted would be after the February 14, 2024 Planning Commission meeting then it would be sent to the next available City Council meeting, late February or early March 2024 for Final Approval.

Mr. Chuck Weinman, 75 Concord Circle, approached the podium to address Planning Commission members. His major concern is the traffic flow through his neighborhood. He suggested that the road should be designated as a No Parking Zone in the area where traffic bottlenecks so badly and near the island in the road. When delivery trucks are blocking the street, people often go left of center to get by. He suggested perhaps the road could be widened to reduce the blockage that occurs.

Mr. Weinman asked who would maintain the greenspace; the City or the new HOA.

Mr. Wilkens said the HOA will maintain the majority of the greenspace if not all. The flood plain area will probably be more like a nature preserve with native vegetation.

Mr. James Brown, 1129 Lower Springboro Road, approached the podium to address Planning Commission members. He asked if the lots had been made smaller to allow for additional greenspace in the flood plain area.

Mr. Boron explained that initially the property owner had a concept plan but that never appeared before Planning Commission or City Council. There is approximately one-third of the property that cannot be developed because of the flooding issue, and that is why the units are closer to the north side of the property.

Mr. Brown said their home is supplied with water through a well and a cistern. There is a natural spring near the property line and he is concerned the new homes with basements in the development could affect the aquifer. Can a natural spring be re-routed?

Mr. Harding said that he know of two cases where a natural spring had to be re-routed to accommodate new development.

Mr. Stephen Forsythe, 95 North Lakeshore Drive, approached the podium to address Planning Commission members. He is concerned about the intersection of Red Lion-Five Points Road and Lower Springboro Road and the four-way stop. Will the new traffic that will be generated affect the efficacy of the stop signs? He is concerned there will an increase in accidents at the intersection.

Mr. Goettemoeller said the intersection was part of the traffic impact study and it was determined that the intersection currently operates at a LOS A standard, resulting in a nine-second delay at the stop sign. With the new development, the delay is anticipated to increase from nine seconds to ten seconds.

Mr. Dixon clarified that the intersection of Red Lion-Five Points Road and Lower Springboro Road is a County-maintained intersection, so any suggestions would come from Warren County.

Ms. Iverson asked for any additional guest comments. There were none.

VI. Planning Commission and Staff Comments

Ms. Iverson thanked the Planning Commission members and Staff for all their hard work this past year.

Ms. Iverson asked Mr. Boron if he had any additional comments or information.

Mr. Boron said that the new Planning Commission meeting schedule and deadlines for 2024 was included in the meeting packet. He said the next meeting will be on January 10, 2024. All items to be considered at that meeting will be posted to the City's website no later than January 4, 2024.

VII. Adjournment

Ms. Iverson called for a motion to adjourn.

Mr. Harding motioned to adjourn the December 13, 2023 Planning Commission Meeting at 7:23 pm
Mr. Thompson seconded the motion.

Vote: Iverson, yes; Harding, yes; Leedy, yes; Sillies, yes; Thompson, abstain (5 yes - 0 no)

Ms. Iverson said that the motion is approved unanimously.

Becky Iverson, Planning Commission Chairperson

Dan Boron, Planner

September Bee, Planning Commission Secretary

Memo

To: Members, Springboro Planning Commission; Chris Pozzuto, City Manager; Elmer Dudas, Development Director; Chad Dixon, City Engineer; Ann Burns, Planning Commission Secretary

From: Dan Boron, Planner

Date: December 4, 2023

Re: Amendment to Codified Ordinances, Public Notifications of Public Hearings

This agenda item is a follow-up to my brief comments at the conclusion of the October 11th meeting and will change part of the manner in which the City notifies the general plan of public hearings of Planning Commission and the Board of Zoning Appeals (BZA). A recent change in state law brought to my attention by Jerry McDonald, Law Director, contained in the biennial budget included a provision that removed the requirement that the City post public hearing notices in the newspaper of general circulation. For us that has meant the Dayton Daily News or the Springboro Star Press recent past. In 2023 alone the City spent \$1,281 in public notifications for rezoning and variance cases.

The state law change allows the posting of notices on the City's website, something the City already does under "Springboro News/What's Happening" at www.cityofspringboro.com. City staff will continue to post public hearing notifications at the City Building, Performing Arts Center, and Springboro Public Library as required under Section 224.01 of the Codified Ordinances. The City will also continue to send notifications to adjacent property owners by regular mail, but move and clarify the language so it is together in one section of the code, not two as at present. Lastly with respect to public hearings, the City will continue to post a rezoning sign on the property, although not required by Ordinance.

With respect to Planning Commission's part in rezoning reviews, the City will continue to distribute complementary notification letters to all property owners within 300 feet making them aware of a preliminary review of a zoning map amendment before Planning Commission. I'd welcome any thoughts on reducing that number to 200 feet which is the standard for BZA variance public hearings, rezoning cases here before 2004/2005, and for rezoning in other communities.

Planning and Zoning Text Amendment Public Hearings. With respect to Planning and Zoning Code text amendments like this one, as well as amendments to the Official Zoning Map of the City of Springboro, the following text amendments are recommended. Deleted text appears in ~~strikeout~~, text to be added appears in **bold and underline**.

Section 1287.01, General Requirements. Delete the second paragraph:

~~1262.29~~ There is hereby adopted in and for the City a sensible "good neighbor" policy, whereby notification of proceedings concerning Municipal land use planning and rezoning shall be given to all property owners who own properties located within the immediate neighborhood, being located within 300 feet of the subject property, regardless of what jurisdiction these neighboring properties are located within, and also to any local governmental jurisdiction whose boundaries are located within 300 feet of the subject property, which notifications shall be mailed to the respective owners and jurisdictions which so qualify, so that their comments and concerns can be considered in land use and zoning decisions which concern property located within such close proximity to such other jurisdictions. It is hoped that this policy of cooperation will also be adopted by all of the City's neighboring jurisdictions so as to help create a more cooperative environment within which better, more coordinated land use decisions can be made. (Res. 373. Passed 3-18-82.)

Note: "1262.29" is a cross-reference to the section of the previous Planning and Zoning Code from where this provision was taken prior to 2015.

Section 1287.06, Public Hearing by City Council. Before any amendment may be passed, City Council shall hold a Public Hearing, within 120 days from date of receipt of recommendation from the Planning Commission. Such hearing shall be publicized as follows:

- (a) ~~**Newspaper.** Written notice shall be placed in a newspaper of general circulation in Springboro at least 30 days prior to the date of the Public Hearing, stating the time, place of hearing and general nature of the amendment(s) proposed and that copies of the proposed amendment(s) and Zoning Code shall be on file with the City for public examination.~~
- (b) **Mail Notification.** If the amendment proposed is intended to rezone or re-district 10 or fewer parcels as listed on the tax duplicate, written notice of the hearing shall also be mailed by the Clerk by first class mail at least 20 days before the date of the Public Hearing to the owners of the property within, ~~contiguous to, and directly across the street from the area~~ **300 feet of the property** proposed to be rezoned to the address of such owners appearing on the County Auditor's current tax list, or the Treasurer's mailing list or any other lists that may be specified by Council.
- (c) **Delivery Failure.** The failure of mail delivery of such notice shall not invalidate any such amendment.
- (d) **Posting Places.** The notice of Public Hearing shall be publicized according to the provisions of Section 224.01 (a), Posting Places.

BZA Public Hearing Notifications for Variances. With respect to the recent state law change, no amendments are needed to the BZA notification requirement since it cross references state and local law in Section 1285.04(c), Variances, Notice of Public Hearings. There is a need to include a statement on the notification of property owners within 200 feet of the property subject to a variance request; that number has been consistently used in the BZA proceedings, is included in the variance application, but has not been listed specifically in the ordinances since at least 2015.

The following text change is recommended in **bold and underline**:

- (c) **Notice of Public Hearing.** Before holding the Public Hearing, notice of such hearing shall be given at least 15 calendar days before the date of such hearing. The owner of the property for which the application is made, or his or her agent, shall be notified by general mail or personal delivery. **All property owners within 200 feet of the property shall be notified by mail.** Notice of such hearing

shall be posted on the property for which the application is made, at the Municipal Building, and in other locations required under City Code Section 224.01(a), Posting Places, at least 15 days prior to the Public Hearing.

Following Planning Commission preliminary review and formal action, this item will need to be approved by City Council ironically with a public hearing announcement in the paper of general circulation.

If you have any questions regarding this proposed amendment, please feel free to reach out to me at (937) 748-6183 or danb@cityofspringboro.com.